

CITY OF WOODINVILLE, WASHINGTON

ORDINANCE NO. 276

AN ORDINANCE OF THE CITY OF WOODINVILLE, WASHINGTON, REPEALING ORDINANCES NO. 112 AND 123; REVISING INTERIM DESIGN PRINCIPLES AND INTERIM DESIGN PRINCIPLES ADMINISTRATIVE PROCEDURES TO PERMANENT COMMERCIAL DESIGN PRINCIPLES; CREATING THRESHOLDS FOR DESIGN REVIEW APPLICABILITY; REFORMATTING TEXT AND NUMBER SYSTEM; ADDITION OF PHOTOGRAPH EXAMPLES; ADDITION OF NEW SECONDARY ENTRIES SECTION; ADDITION OF DEFINITIONS; AND UPDATED ILLUSTRATIONS.

WHEREAS, on March 13, 1995, the City Council adopted Ordinance No. 112, Interim Design Principles based on the adopted Vision and Comprehensive Plan of the City of Woodinville; and

WHEREAS, on June 26, 1995, the City Council amended Ordinance No. 112 regarding the Interim Design Principles by adopting Ordinance No. 123; and

WHEREAS, the City of Woodinville has implemented the Interim Design Principles for development; and

WHEREAS, the City Council has always intended that the Interim Design Principles should become permanent commercial design principles; and

WHEREAS, experience working with the Interim Design Principles indicates changes to the design principles are necessary to carry out the City's Vision; and

WHEREAS, the Planning Commission reviewed the changes to the Interim Design Principles on July 21, 1999, and recommended approval by the City Council; and

WHEREAS, at the October 16, 2000 Study Session, the City Council reviewed the revised commercial design principles and directed staff to prepare the proposed "Commercial Design Principles" document in the form of an ordinance;

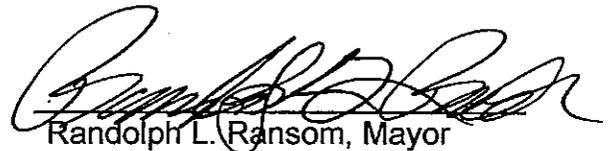
NOW, THEREFORE, THE CITY COUNCIL OF THE CITY OF WOODINVILLE, WASHINGTON, DO RESOLVE AS FOLLOWS:

Section 1. Commercial Design Principles Document. The City Council hereby adopts Exhibit A as the Commercial Design Principles as set forth in full, replacing the Interim Design Principles adopted March 31, 1995.

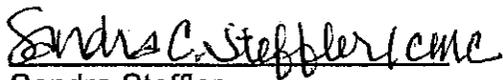
Section 2. Severability. If any section, sentence, clause or phrase of this ordinance should be held to be invalid or unconstitutional by a court of competent jurisdiction, such invalidity or unconstitutionality shall not affect the validity or constitutionality of any other section, sentence, clause or phrase of this ordinance.

Section 3. Effective Date. This ordinance, or a summary thereof consisting of the title, shall be published in the official newspaper of the City, and shall take effect and be in full force five (5) days after publication.

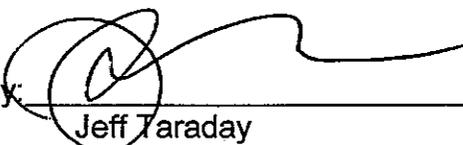
PASSED BY THE CITY COUNCIL OF THE CITY OF WOODINVILLE THIS 4th DAY OF December 2000.


Randolph L. Ransom, Mayor

ATTEST:

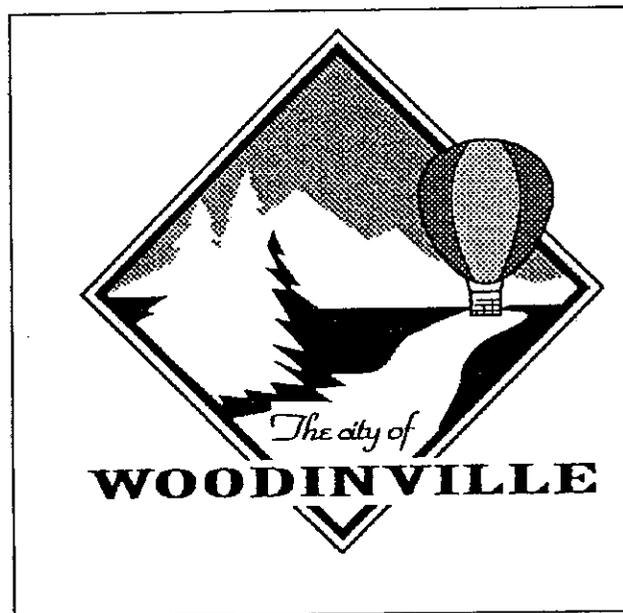

Sandra Steffler
City Clerk

APPROVED AS TO FORM:
OFFICE OF THE CITY ATTORNEY

By: 
Jeff Taraday
City Attorney

FILED WITH THE CITY CLERK:
PASSED BY THE CITY COUNCIL:
PUBLISHED:
EFFECTIVE DATE:
ORDINANCE NO. 276

CITY OF WOODINVILLE
COMMERCIAL DESIGN PRINCIPLES



December 4, 2000

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1. Administrative Procedures

The City of Woodinville (City) has developed design principles in the interest of those who live, work, shop or recreate here. The City and those who develop in the City have a common interest in assuring quality development that benefits property owners and the City.

The Director of Planning will report design review activity regularly to the Planning Commission who will serve as the monitor for these COMMERCIAL DESIGN PRINCIPLES .

The City is committed to incorporating design review procedures that:

- apply to all commercial designated property within the City;
- allow for flexibility to accommodate creative design that meets intent of adopted principles;
- do not prolong approval processes, and
- encourages design review that parallels development design for economy of design resources.

The procedures below are intended to accomplish the objectives above. The underlying premise of the procedures established for design review is to provide City review that parallels design processes . The developer has access to design review as design development progresses so that design resources are directed to known, expected results.

A. APPLICABILITY

Alteration of any structure on commercially designated property within the City that affects the exterior appearance of a building elevation visible from a public right-of-way or public space shall be subject to design review under the Design Principles. If fifty (50) percent or more of a building elevation of a structure subject to design review is altered within a period of three (3) years, the structure shall be subject to the applicable requirements of Chapters I, II, and IV of the Design Principles as determined by the Planning Director.

The Design Principles Checklist will be used for addressing design issues in all review processes.

B. DESIGN REVIEW PROCEDURES

Design review is available and encouraged in phases described below:

1. SCHEMATIC DESIGN REVIEW

Schematic design, as used here, is preliminary graphic representation of the proposed development that is based on information available. The graphic representation may be supplemented with written information.

The intent of SCHEMATIC DESIGN REVIEW is to provide a way for the developer to convey information that describes the developers objectives early so the Design Principles that relate to the development can be identified for consideration. Major issues will be addressed at SCHEMATIC DESIGN REVIEW with the understanding that details of these issues will be addressed subsequently.

SCHEMATIC DESIGN REVIEW will be conducted by the City's Technical Review Committee (TRC). Multiple TRC reviews may be justified for larger developments. TRC review will be most beneficial if the following items are included in schematic plans:

- a. Site Layout;
- b. Pedestrian, bicycle and vehicular circulation on site and in relation to connecting walks and streets;
- c. Building elevations;
- d. Landscaping in concept and general material types;
- e. Storm drainage system concept.

2. PERMIT DOCUMENT DEVELOPMENT DESIGN REVIEW

At the developer's option, the City will provide reasonable periodic design review during preparation of development permit documents. This review may be conducted by TRC or the Staff person responsible for the issue reviewed.

3. DISPUTE RESOLUTION

Either the applicant or the staff may request consultation with the Planning Commission as provided in Section B.9.a. below.

4. FINAL DESIGN REVIEW

A final Design Principles Checklist will be prepared using documents submitted for development permits. Staff will also prepare a final decision with conditions of approval as may be required.

5. APPEAL

Any appeal of the final decision shall be made to the City Council pursuant to Ordinance No. 18 and 81.

C. ALTERNATIVE REVIEW PROCEDURE

1. INTENT

- a. To provide an alternative review procedure that recognizes the unique opportunities and special challenges of developments that merit special considerations. Such considerations include environmental constraints or circumstances or large lot development (five acres or larger);
- b. To permit greater flexibility and encourage more creative and imaginative site planning and design than may be possible under procedures described I.A. above
- c. Qualifying developments may utilize ALTERNATIVE REVIEW PROCEDURE to gain flexibility to vary from the strict requirements of certain of the City's Zoning development standards (WMC21A 12-18) and Commercial Design Principles provided that the City's Planning Director determines that the proposal complies with the City's Comprehensive Plan, meets the intent of the development standards and Commercial Design Principles and provides public benefit by meeting items of I.A.1. SCHEMATIC DESIGN REVIEW and as further specified below.

(1) To promote more economical and efficient use of the land;

(2) To reduce the negative impacts to adjacent properties;

- (3) To increase convenient pedestrian and vehicular circulation in the vicinity to the subject property;
- (4) To upgrade the overall visual quality in the commercial areas of Woodinville and maintain a human architectural scale;
- (5) To produce consistent design identity compatible with the surrounding commercial area;
- (6) To take advantage of special opportunities to create a pleasing composition of buildings and landscape features, and
- (7) To create a focal point in the downtown.

2. APPLICABILITY

Alternate Review Procedures may be used by holders of an equitable interest in or option on property but the applicant must submit evidence of such interest.

3. PERMITTED USES

Land uses of the site plan review process shall be limited to those permitted in the underlying zone.

4. PUBLIC SERVICE AVAILABILITY

Design review under Commercial Design Principles shall consider sufficiency of public facilities such as water lines, sewer lines and streets. Sufficiency shall mean either the system(s) exist or are planned to serve the proposed development and integrate with total systems of which the reviewed system is a part.

5. SITE PLAN REVIEW CRITERIA

- a. The TRC may consider and approve plans submitted under the Alternative Review Procedures for development that vary from the development standards of WMC 21.12-18 and City adopted Commercial Design Principles provided that the TRC finds that all of the following standards are met:
 - (1) The proposal is consistent with the INTENT of the City's Commercial Design Principles and the general intent of goals and policies contained in the *COMMUNITY CHARACTER AND URBAN DESIGN* (Exhibit A attached);

- (2) The proposal complies with the City's Comprehensive Plan;
- (3). The proposal provides a public benefit by meeting the following standards:
 - (a). The site planning for developments reviewed under this Alternative Review Procedure shall demonstrate unifying organization as well as accomplish the following goals:
 - 1). Mitigate transportation impacts and conform to the City's objectives for better circulation by connecting through streets;
 - 2). Provide convenient, inviting pedestrian circulation connecting all on-site activities to adjacent pedestrian routes and street rights of way and encourage bicycle access and use;
 - 3). Encourage buildings to complement adjacent activities and visual character and create human scale;
 - 4) Incorporate open space and landscape design as a significant unifying element;
 - 5). Upgrade the quality of pedestrian oriented streets if adjacent to streets classified as "pedestrian oriented street" for design review purposes;
 - 6). Incorporate screening, environmental mitigation, utilities and drainage as positive elements in site design such as creating a "natural" open space or wet pond as a site feature to accommodate surface water runoff;
 - 7). Reduce the visual and functional impacts of parking through placement and design of parking lots;
 - 8). Where it is warranted and feasible, incorporate shared or joint use parking, transit access and other parking/auto trip reduction measures.

6. SCHEMATIC SITE PLAN REVIEW

- a. Before filing any application, the prospective applicant shall submit ~~for review by the Technical Review Committee (TRC) information~~ noted in I.A.1.a. through e. above for consideration and advice

regarding the relation of the proposal to the City's Design Principles, policies and regulations . The TRC will review the information submitted for adequacy of public services.

- b. The TRC will meet with the applicant who will provide information necessary for a complete application. A written record of the TRC's recommendations and comments shall be provided to the applicant after the meeting .
- c. The Planning Director shall issue a letter indicating acceptance when documents submitted for Schematic SITE PLAN DESIGN REVIEW for major issues identified in A.1.a. through e. above are satisfactory to the City. Approved documents, marked for identification, will be provided to the applicant and retained in the files of the City.

7. PERMIT DOCUMENT DEVELOPMENT DESIGN REVIEW

- a. Subsequent to SCHEMATIC SITE PLAN REVIEW, the City will provide periodic design review at the applicant's request and reasonably scheduled by the City during development of permit documents. .
- b. The City will reasonably schedule PERMIT DOCUMENT DEVELOPMENT DESIGN REVIEWS until the applicant is prepared to submit documents for Final Design Review.
- c. The applicant may request tentative approval of design acceptance for this phase upon completion of the phase. The Director of Planning shall respond to the applicant by written tentative approval, approval with conditions, or disapproval with reasons for disapproval. The applicant and the City are to retain duplicates of documents accepted for design review as references for FINAL DESIGN CONFIRMATION.

8 FINAL DESIGN CONFIRMATION

- a. Documents submitted for FINAL DESIGN CONFIRMATION are documents submitted for permit approval. Where the project is to be developed in phases, a master plan shall be prepared that indicates phasing and methods for ensuring functionality of phased utility, circulation and drainage systems.
- b. Submission requirements for FINAL DESIGN CONFIRMATION shall conform to permit submission requirements as follows:
 - (1). Building and Planning Departments requirements;
 - (2). SEPA Check List or determination from prior SEPA review for the project proposed;
 - (3). Updated Design Review Check List indicating conformance with Design Principles of the final design compared with Checklist review conducted for SCHEMATIC SITE PLAN REVIEW and PERMIT DOCUMENT DEVELOPMENT DESIGN REVIEWS;
 - (4). A written description of phasing proposed and measures included in the design to assure the public, safety and welfare during all phases of the development.
- c. FINAL DESIGN CONFIRMATION will be part of permit approval.

9. APPEALS

- a. Request for dispute resolution to the Planning Commission:
 - (1). The applicant or the Planning Director may request consultation with the Planning Commission during SCHEMATIC SITE PLAN REVIEW or PERMIT DOCUMENT DEVELOPMENT DESIGN REVIEW to resolve interpretation disputes of the Commercial Design Principles.
 - (2). The Planning Director shall schedule a requested consultation with the Planning Commission within a reasonable time period after the request. The reasonableness of time shall give consideration to any time required to review an environmental checklist and make a threshold determination and to develop and review an environmental impact statement, if required under SEPA, as well as time consumed by Planning Commission optional review.

The Planning Commission shall render a decision on the design review issue(s) subject of the requested consultation. Thereafter, the Planning Director shall consider the decision of the Planning Commission and shall issue a final decision.

b. Appeal of Final Decisions to City Council:

- (1). Design review decisions may be appealed to the City Council by the applicant after they are heard by the Planning Commission. Appeals to the City Council shall be considered on the basis of whether or not the proposed design(s) are consistent with the Design Principles and otherwise comply with the provision of law.
- (2). Permitted land uses in the underlying zone cannot be appealed under design review processes.
- (3). Appeals shall be made in accordance with the provisions of Ordinance No. 18, 81, and WMC 17.17.

10. AMENDMENT OF SITE PLAN

- a. Major change(s) to plans approved by the Planning Director or City Council may only be amended by the same procedures provided herein for original site plan approval. Design review for amendments shall be limited to the proposed change except the proposed amendment shall be considered in context with approved design review.

A major change is a change that affects a design principle reviewed in the original approval(s).

11. EXPIRATION

- a. Site plan approval shall expire within two years of the date of approval, except as provided for phased site plan approvals below. A single two-year extension may be granted for good cause as determined by the Planning Director.
- b. The Planning Director may grant site plan approval for large projects planned to be developed in phases over a period of years exceeding the normal time limits of subsection 11. a. above. Such approval shall include time limits for particular phases of the development as agreed upon by the applicant and the Planning Director. If the time limits of a phase cannot be met, a single two-year extension may be granted for good cause by the Planning Director.

12. NOTICE

Notice of the final staff decision for design review or the alternate review procedure shall be posted and published in the same manner as SEPA threshold determinations.

City of Woodinville
Commercial Design Principles

2. DESIGN PRINCIPLES

I. Site Planning

1.0. Relationship to Street Front

1.1. INTENT

People experience the City from streets. Streets are some of the vital spaces that bind the community together and allow for various modes of movement within the City. The intent for street fronts is:

- 1.1.1. To create an active, safe pedestrian environment;
- 1.1.2. To upgrade commercial areas and to establish visual identity for each area;
- 1.1.3. To reflect a small village tradition in structures;
- 1.1.4. To unify street-scapes; and
- 1.1.5. To improve circulation including options for pedestrians, bicycles and vehicles.



Figure I-1

All development for properties fronting on a designated "Pedestrian-Oriented Street" as listed in Appendix A-Definitions, shall include: site planning measures to define the street edge; encourage pedestrian access amenities; and support the commercial area's design objectives stated in the Commercial Land Use Goals and Policies (see Figure I-1). Accordingly, the development shall comply with 1.2.1. or 1.2.2 and 1.2.5. below. Subject to City approval, development may be exempt from the 10' minimum street setback requirement of WMC 21.12.040 and the 10' wide landscaping requirement of WMC 21.16.050(4) between the building and street.

1.2. DESIGN PRINCIPLES

1.2.1. Relate development to designated Pedestrian-Oriented Street frontages.

IMPLEMENTING MEASURES

1.2.1.1. Adhere to the following standards unless the City determines that they prevent viable site development:

- a. Buildings located along designated Pedestrian-Oriented streets shall provide pedestrian weather protection at least 3' wide along sidewalks and pedestrian routes of the building's front face. The weather protection may be in the form of awnings, marquees, canopies, or building overhangs (see Figure I-2). There may be gaps in the covering for architectural features, landscaping, or to provide visual variety in the facade.
- b. Buildings must present a "Pedestrian-Oriented facade" (See Appendix A-Definitions) to the street.
- c. Building entries must have direct access to the public sidewalk (entries may be on the side of buildings but they must be visible from the street and connected by a pedestrian pathway) (see Figure I-3).
- d. Unless there is no alternative for parking behind a structure on a designated Pedestrian-Oriented street as determined by the City,

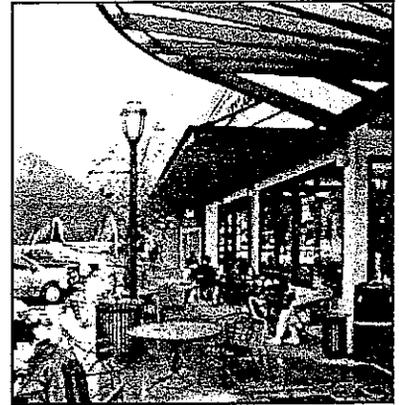


Figure I-2

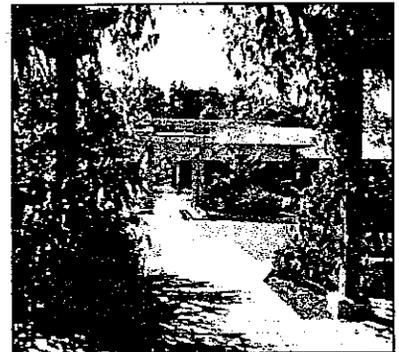


Figure I-3

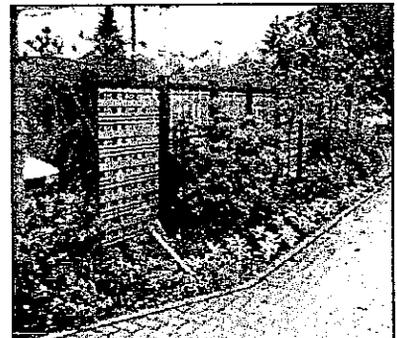


Figure I-4

no more than 65' of the street frontage (measured parallel to the curb, excluding public/access street rights of ways) may be occupied by parking and driveways (vehicle access) as noted in Figure I.A.2.a.

Where parking and right of way create a frontage greater than 65', incorporate measures such as decorative screens (see Figure I-4). Such decorative screens shall include pedestrian amenities and street visual continuity along the street frontage.

- e. Driveways are limited to one entry lane and one exit lane per 300'; or one lane each way per lot if the site frontage is less than 300' except as provided in Section III.C.2.a.
- f. If insufficient right-of-way exists to allow for 12' of public sidewalk, set the building back sufficiently to provide at least 12' of walking surface according to Section II.B.2.a. Subject to City approval, development may be exempt from the 10' minimum street setback requirement of WMC 21.12.040 and the 10' wide landscaping requirement of WMC 21.16.050D between the building and street.
- g. No large item display areas are permitted (e.g. auto sales in the front yard area). Sidewalks shall not be enclosed as building space for retailing. Small, temporary displays for items such as groceries, hardware, nursery stock, books, etc. may be allowed provided the display does not unduly impede pedestrian sidewalk traffic.

The diagrams in Figure I.A.2.a. (See Appendix B - Figures) illustrate examples of acceptable site configurations along pedestrian-oriented streets.



Figure I-5

1.2.1.2. Provide the following pedestrian amenities near the sidewalk.

- a. Pedestrian furniture such as seating space, lighting, drinking fountain, etc (see Figure I-5).
- b. Pedestrian weather protection.
- c. Pedestrian-Oriented open space (See Section II-H-2.a.) if used.
- d. Perimeter landscaping (or lawn if configured in a "front yard" setting between building front and the sidewalk.)
- e. Space for transit stop with seating if applicable.

f. Window displays over the majority of the front façade (see Figure I-6).

g. Pedestrian lighting.

1.2.1.3. Optional amenities near the sidewalk.

a. Artwork (see Figure I-7).

b. Decorative screen wall, trellis, or other building or site feature.



1.2.1.4. The City may permit deviation from the specific standards if it determines that public benefit can be achieved in terms of the intent described above. The applicant must demonstrate there is a compelling reason to deviate from specific standards and that the deviation will result in increased pedestrian activity and visual interest along the street.

Figure I-6



Figure I-7

1.2.2. Relate development to street fronts for streets that are not designated as Pedestrian-Oriented Streets.

IMPLEMENTING MEASURES

All development for properties on streets not designated as Pedestrian-Oriented Streets shall include site planning measures to create an attractive street edge, accommodate pedestrian access, and comply with the Commercial Land Use Goals and Policies. Accordingly the development must conform to provisions contained in Section 1.2.2.a. or 1.2.2.b. below.

1.2.2.1. Provide the following amenities near the sidewalk:

- a. Physically define the street edge with building, landscaping or other features as approved by the City.
- b. Provide sufficient room for a sidewalk at least 8' wide if there is not space in the public right-of-way.
- c. Provide direct access to building fronts from the sidewalk. Preferably these areas should be separate from the parking lot. If access traverses the parking lot, then it should be raised and/or specially marked (see Section II.B).

The diagrams in Figure I.A.2.b. (see Appendix B - Figures) illustrate acceptable lot configurations.

1.2.3. To use the architectural elements of a building and landscaping to highlight and define the entrance.

IMPLEMENTING MEASURES

1.2.3.1. Enhance the primary building entry access of businesses and multifamily residential buildings by required and optional measures indicated below.

a. Required measures:

- (1). Provide weather protection such as an awning, canopy, marquee, or other building element to create a covered pedestrian open space of at least 100 square feet; (see Figure II.G.2.a.(1) in Appendix B - Figures);
- (2). Provide at least 200 square feet of landscaping at or near the entry;
- (3). In addition to WMC 21.18.030 (4) regarding bicycle parking, provide benches and other pedestrian facilities, such as, kiosks, special paving, etc. (see Figure I-8);
- (4). Provide special pedestrian scaled lighting;



Figure I-8

b. Optional items - these items are encouraged and may be substituted if required items are restricted by site conditions or design:

- (1) Provide a trellis, canopy, porch, or other building element that incorporates landscaping;
- (2) Provide adjacent window displays;
- (3) Provide building ornamentation such as mosaic tile, relief sculpture, ornamental wood, or metal trim, etc.;
- (4) Provide artwork or special pedestrian-scaled signs;
- (5) Other enhancements as approved by the City.

See Figure II.G.2.a.(1) in Appendix B - Figures

2.0. Interior Yard Compatibility

2.1. INTENT:

To promote functional and visual compatibility between adjacent properties.

In addition to the requirements of WMC 21.14.250 and in compliance with 2.2.1.1 through 2.2.1.4 below, locate service areas, outdoor storage areas, and other intrusive site features away from neighboring properties to reduce conflicts with adjacent uses.

Landscape screening, buffer, or other form of screening must be provided along property lines adjacent to "incompatible uses". Incompatible uses include: outdoor storage areas adjacent to any other use, service areas adjacent to any other use, commercial development adjacent to a residentially zoned or developed property. (Note: This requirement does not apply to existing uses in place before January 1, 1995, unless these uses expand toward the property line. See also Section V.A for parking lot screening.)

2.2. DESIGN PRINCIPLES

2.2.1. Minimize visibility and impacts of service areas.

IMPLEMENTING MEASURES

Landscape screening, buffer, or other forms of screening must be provided along property lines adjacent to "incompatible uses". Incompatible uses include: outdoor storage areas adjacent to any other use, service areas adjacent to any other use, commercial development adjacent to a residentially zoned or developed property.

- 2.2.1.1 The buffer must conform with the requirements of WMC 21.16.060 - Landscaping-interior lot lines.
- 2.2.1.2 Where outdoor storage is greater in size than 120 square feet and abuts another commercial area or industrial use, 10' width of Type II landscaping shall be provided.
- 2.2.1.3 Integrate outdoor storage areas and loading facilities into the site design to minimize their size, reduce visual impact, and where appropriate allow for pedestrian and vehicular movement between sites.
- 2.2.1.4 ~~If changes in topography between the residentially zoned~~ or developed property and adjacent property is sufficiently

great, then modifications to some of the above buffer options may be allowed through the City's approval. The City may waive screening requirement if shared parking advantage and/or other landscaping is approved.

3.0. Multiple Building / Large Lot Developments

3.1. INTENT

The intent of this section is to encourage project designers to coordinate design principle requirements into an innovative organizational scheme such as a "village green," "small town grid," "pedestrian square," "perimeter walk," etc. that integrate the new development into the existing/proposed structure and create a Pedestrian-Oriented focus. See Figure I.C.2.b. (see Appendix B - Figures) for an example; see also Figure I-9.

In addition to other requirements, multiple building / large lot developments are:



Figure I-9

3.1.1. To reduce the negative impacts to adjacent properties.

3.1.2. To take advantage of special opportunities to create a composition of buildings and landscape features (see Figure I-10).



Figure I-10

3.2. DESIGN PRINCIPLES:

3.2.1. Take advantage of special opportunities to mitigate impacts of large developments.

IMPLEMENTING MEASURES

The site planning for all developments must demonstrate a unifying, organized design that:

3.2.1.1. Incorporates open space and landscaping as a unifying element (see Design Principle V.A.1; see also Figure I-11).

3.2.1.2. Where possible, incorporate screening, environmental mitigation, utilities and drainage as positive elements (ex: create a "natural" open space or wet pond as a site feature to accommodate surface water runoff).



Figure I-11

3.2.1.3. Provide pedestrian paths or walkways connecting all businesses and the entries of multiple buildings as required by WMC 21.18.100.B.(1) (see Figure I-12).

3.2.2. Provide pedestrian paths from / to all transit stops through commercial areas to residential areas within 1200 feet of the site.



Figure I-12

IMPLEMENTING MEASURES

3.2.2.1. Enhance transit stops by providing rider convenience and amenities such as weather protected seating, newspaper dispensers, postal boxes, automated teller machines (ATM), and small vendor spaces (i.e. cleaners, florist, etc. pursuant to WMC 21-08 Permitted Uses).

3.2.3. Integrate pedestrian accommodations for transit stops into the development of streets, public and private in addition to WMC 21.18.090.

IMPLEMENTING MEASURES

3.2.3.1. Integrate on-site pedestrian circulation with adjoining right of way activity and development.

4.0. Mechanical Equipment and Service Areas

4.1. INTENT

4.1.1. To minimize adverse visual, olfactory, or auditory impacts of mechanical equipment and service areas at ground and roof levels.

4.1.2. To encourage more thoughtful siting of trash containers and service areas.

Locate service areas (loading docks, trash dumpsters, compactors, mechanical equipment, and storage yards) to avoid negative visual, auditory (noise), or physical impact on the street environment, and adjacent residentially zoned or developed properties. See Figure I.D.2.a.(1) in Appendix B - Figures for example.

4.2. DESIGN PRINCIPLES

4.2.1. Reduce impacts of refuse containers and storage areas;

IMPLEMENTING MEASURES

4.2.1.1 Refuse containers are not to be visible from the sidewalk and adjacent properties. They shall be screened by masonry enclosures. The masonry enclosure is to screen refuse containers, including lids, and refuse stacked in containers. Dumpsters, refuse, and recycling collection points shall be screened in accordance with WMC 21.14.250.D. (See Section I.B. Interior Yard Compatibility, above) See Figure I.D.2.a.(2) in Appendix B - Figures for example; see also Figure I-13.

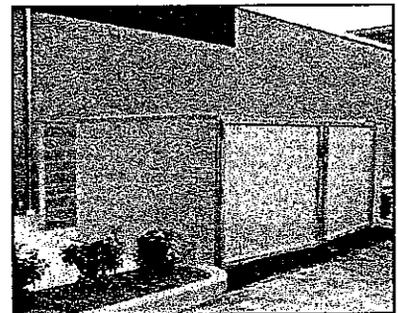


Figure I-13

4.2.1.2. Refuse enclosure shall be a minimum eight feet tall from finish grade of floor of enclosure to top of enclosure wall.

4.2.1.3. Cyclone fencing with wood slats may be used for gates but not for the enclosure.

- 4.2.1.4 Screened trash containers shall be a minimum of 44 feet from the wall of any structure where there is access to the structure for the public.
- 4.2.1.5 Locate and screen mechanical equipment at ground level and attached to structures to reduce visual impacts from streets and adjoining properties;
- 4.2.1.6 Locate and screen service areas to reduce adverse sensory impacts;
- 4.2.1.7 Locate and screen roof mounted mechanical equipment so that the equipment is not visible within 150 feet of the structure when viewed from ground level of adjacent properties. Match the color of roof mounted equipment with the exposed color of the roof to minimize visual impacts when equipment is visible from higher elevations nearby.
- 4.2.1.8 Locate and screen utility meters, electrical conduit, and other service and utilities apparatus so as not to be visible from adjoining and nearby streets.

5.0. Biofiltration Swales

5.1. INTENT

The design principles below are intended to integrate grass swales, if used, into site design while maintaining biofiltration efficiency.

- 5.1.2. To provide attractive options for the provision of grass-lined biofiltration swales.
 - 5.1.3. To incorporate biofiltration swales and ponds into project site design and landscaping more effectively.
-

5.2. DESIGN PRINCIPLES:

- 5.2.1. Integrate biofiltration swales and ponds into the overall site design through one of the following:

IMPLEMENTING MEASURES

Where water quality filtration is required, methods of filtration listed below are in order of preference.

- 5.2.1.1. Locate biofiltration swales, ponds, or other approved biofiltration systems as part of a landscape screen. Trees may be planted near the grass swale as long as they do not substantially shade the grass within the swale. The swale or pond should be designed so it does not impede pedestrian circulation or shared parking between two or more properties.
- 5.2.1.2. Where topography is favorable, locate biofiltration swale, wet pond, or other approved biofiltration system within the paved parking or service area. The swale or pond should be landscaped as part of the required internal parking lot landscaping and oriented so it does not impede pedestrian circulation.
- 5.2.1.3. Locate swale along the front edge of the property. Incorporate landscaping and screening to visually enhance the swale without reducing maintainability and sun exposure.
- 5.2.1.4. The incorporation of screening elements and/or landscaping into biofiltration swale designs is encouraged if the biofiltration swales is located and/or designed as a

positive landscaping feature with approved design and plant materials. Where appropriate, shade tolerant plants should be used. It may be counted as part of the required site landscaping.

6.0. Street Corners

6.1. INTENT

- 6.2.1. To create and preserve visual images for identification and spatial reference at street corners.

6.2. DESIGN PRINCIPLES:

- 6.2.1. Enhance the visual quality of corners at the intersections of public streets.

IMPLEMENTING MEASURES	DPOS	NDPOS
6.2.1. Locate building within 15 feet of either or both front property lines.	R	O
6.2.2. Install substantial landscaping (at least 200 SF of ground surface area with trees and shrubs or living ground cover) at or near the corner of the lot. Landscaping may include plant material to form a low hedge. However, care should be taken to not create a visibility or security problem.	R	R
6.2.3. Install a decorative screen wall (at least 2 feet 6 inches high), a trellis, or other continuous architectural element, with a length of at least 20 feet, along the front property line. Height and location of elements are not to create a visibility or security problem.	O	O
6.2.4. Provide paved pedestrian walkway from the street corner to the building entrance to encourage walking between businesses, especially from one street corner to another.	R	O
6.2.5. Other element or method would be considered for approval if the proposed element or method conforms with the intent of this section as determined by the City.	O	O
DPOS Designated Pedestrian Oriented Street NDPOS Non-Designated Pedestrian Oriented Street NA Not Applicable R Required O Optional		

7.0 Site Lighting

7.1. INTENT

- 7.1.1. To encourage the use of lighting as an integral design component to enhance buildings, landscaping, or other site features.
 - 7.1.2. To encourage night skies' visibility and to reduce the general illumination of the sky in Woodinville.
 - 7.1.3. To reduce horizontal light glare and vertical light trespass from a development site onto adjacent parcels and natural features.
 - 7.1.4. To encourage the judicious use of lighting in conjunction with other security methods to increase site safety.
 - 7.1.5. To discourage the use of lighting for advertising purposes.
-

7.2. DESIGN PRINCIPLES:

- 7.2.1. Provide adequate lighting levels in all areas used by pedestrians or automobiles, including building entries, walkways, parking areas, circulation areas, and other open space areas.

IMPLEMENTING MEASURES

New developments shall provide site lighting that meets the following design criteria:

- 7.2.1.1 All public areas shall be lighted with minimum and maximum levels as follows:

Minimum (for low or non-pedestrian and vehicular traffic areas): 0.5 foot candles

Moderate (for moderate or high volume pedestrian areas): 1-2 foot candles

Maximum (for high volume pedestrian areas and building entries): 4 foot candles

- ~~7.2.1.2 Lighting shall be provided at consistent levels, with gradual transitions between maximum and minimum levels~~

of lighting and between lit areas and unlit areas. Highly contrasting pools of light and dark areas shall be avoided.

- 7.2.1.3. Parking lot lighting fixtures shall be non-glare and mounted no more than 25 feet above the ground, with lower fixtures preferable so as to maintain a human scale. Requests for higher lighting fixtures may be considered with the approval of the Planning Director. All fixtures over 15 feet in height shall be fitted with a full cut-off shield (see Figure I-14).



Figure I-14

- 7.2.1.4. Pedestrian-scaled lighting is encouraged in areas of pedestrian activity.
- 7.2.1.5. Lighting shall enable pedestrians to identify a face 15 yards away in order to promote safety.
- 7.2.1.6. Lighting shall not be permitted to trespass on to adjacent parcels or rights-of-way. Nor shall light source (luminaire) be visible at the property line.
- 7.2.1.7. All building lights shall be directed onto the building itself and/or the ground immediately adjacent to it. The light emissions should not be visible above the roofline of the building.
- 7.2.1.8. Light fixtures other than traditional cobra heads are encouraged.

II. Pedestrian Amenities

1.0. General Access Requirements

1.1. INTENT

- 1.1.1. In keeping with the City's commitment to pedestrians, priority treatment is given to pedestrian accommodations in the design of transportation modes for on-site developments using City street standards.
- 1.1.2. To improve the pedestrian environment by making it easier, safer, and more comfortable to walk between businesses, on street sidewalks, to transit stops, and through parking lots. Pedestrian facilities such as sidewalks, crosswalks, and bus shelters should connect all modes of transportation (see Figure II-1).



Figure II-1

- 1.1.3. To provide convenient pedestrian circulation connecting all on-site activities to adjacent pedestrian routes and street ROWs.
- 1.1.4. To provide safe pedestrian routes across busy streets by a variety of means, including signalized intersections at driveways with heavy traffic volumes and distinctively marked crosswalks.

1.2.1 Provide safe convenient pedestrian circulation for all users.

IMPLEMENTING MEASURES

- 1.2.1.1. Provide pedestrian access onto the site from the main street off of which the use is located. Where a use fronts two streets, access shall be provided from the road closest to the main entrance.
- 1.2.1.2. Provide pedestrian access in accordance with WMC 21.18.100 (Pedestrian Circulation and Access), unless otherwise directed by these design principles.
- 1.2.1.3. Access shall conform with Federal, State and local codes for the Americans with Disabilities Act.
- 1.2.1.4. Provide adequate lighting at building entries, and along all walkways including paths through parking lots. Adequate lighting levels for safety is at least 4 foot-candles average at the building entry and 2 foot-candles average at walkways and paths.

Lighting level uniformity, average to minimum, shall be 2:1 or better.
- 1.2.1.5. Provide safe, convenient, on-site pedestrian circulation.
 - a. Provide paved pedestrian path from the street sidewalk to the main entry of all buildings (see Figure II-2).
 - b. Buildings with entries not facing the street shall have a



Figure II-2

clear and obvious pedestrian accessway from the street sidewalk to the entry.

2.0. Pedestrian Access and Parking Lots

2.1. INTENT

- 2.1.1. To provide safe and convenient pedestrian paths from the street sidewalk through parking lots to building entries in order to encourage pleasant walking experiences between businesses.
- 2.1.2. To provide inviting, pleasant pedestrian circulation system that integrate with parking and serves as access to nearby businesses.

2.2. DESIGN PRINCIPLES

- 2.2.1. Provide pathways through parking lots.

IMPLEMENTING MEASURES

- 2.2.1.1. Provide specially marked or paved walkways through parking lots in accordance with WMC 21.18.100. Generally, walkways should be provided every four rows and a maximum distance of 150 feet shall be maintained between paths (see Figure II-3).

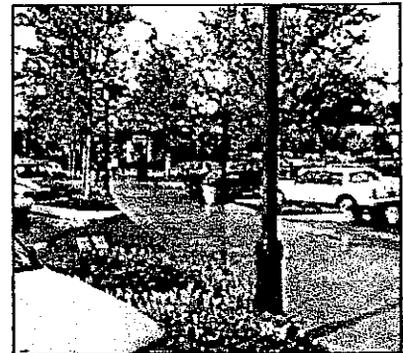


Figure II-3

- 2.2.2. Develop an on-site pedestrian circulation system.

IMPLEMENTING MEASURES

- 2.2.2.1. Develop an on-site pedestrian circulation plan in compliance with WMC 21.18.100.
- 2.2.2.2. Integrate on-site walkways with required parking lot landscaping.

3.0. Sidewalk - Size and Materials

3.1. INTENT

- 3.1.1. To provide safe, convenient and pleasant pedestrian sidewalks for circulation along all streets.
-

3.2. DESIGN PRINCIPLES

- 3.2.1. Provide wide sidewalks along Pedestrian-Oriented streets for a variety of activities that accommodate and complement city life (see Figure II-4).

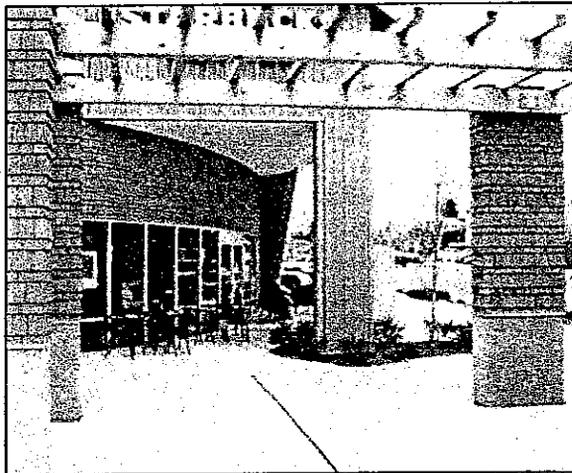


Figure II-4

IMPLEMENTING MEASURES

- 3.2.1.1. On Designated Pedestrian-Oriented streets:
- a. Provide at least 12' wide sidewalks along both sides of Pedestrian-Oriented Streets. Development complying with this section may be exempt from the requirements of WMC 21.12.040A.
 - b. The ground level of all new buildings located adjacent to a Pedestrian-Oriented Street shall be set back from the front property line sufficiently to provide a sidewalk at least 12' wide, distance as measured from the back of the curb to the front edge of the building. This dimension must be

paved with concrete or unit paving in a manner suitable for pedestrian traffic

- c. Unit pavers installed in walks shall relate to existing conditions in color, texture and walk design in all designated Pedestrian - Oriented streets except those in the Tourist District Overlay zone (see Figure II-5).



Figure II-5

- d. If the City of Woodinville (City) has a programmed street improvement for the public ROW in front of a building to be constructed, the required 12' minimum width shall be measured from the proposed back of the curb location and may include public right of way and private property. Upper building stories may extend to the front property lines as long as they do not restrict pedestrian traffic. All new fences, screen walls, and other obstructions to pedestrian traffic shall also be set back 12' from the back of the curb if located on a Pedestrian-Oriented Street.
- e. Where street ROW is insufficient to provide adequate sidewalks, buildings and other site features must be set back from the public ROW to achieve at least the minimum sidewalk widths in accordance with the City's adopted standards.

3.2.2. Relate to existing conditions or to adopted street standards where existing conditions do not conform with applicable street standards.

3.2.3. General requirements for sidewalks not on a designated Pedestrian-Oriented street include the following:



Figure II-6

IMPLEMENTING MEASURES

- 3.2.3.1. Provide a clear and obvious pedestrian accessway from the street sidewalk to the principle entry of a building that does not directly face the street (see Figure II-6). Separate the accessway from vehicular traffic or provide a clearly designated accessway that is raised above the vehicular pavement per WMC 21.18.100 (3) (e) excluding the use of speed bumps. See Figure II.B.2.a (Appendix B - Figures).

- 3.2.3.2. The pedestrian path from the street sidewalk to the building main entry shall be at least 60" wide according to WMC 21.18.100 (3) (b). A walk 96" wide to the main entry of a building is preferred.

4.0. Pedestrian Amenities

4.1. INTENT

- 4.1.1 To provide pedestrian spaces that include accommodations for seasonal climate conditions for a variety of activities.

4.2. DESIGN PRINCIPLES

- 4.2.1. Provide pedestrian weather protection in public spaces such as transit stops, display windows, and outdoor dining.

IMPLEMENTING MEASURES

- 4.2.1.1. All buildings located along Pedestrian-Oriented Streets shall provide pedestrian weather protection at least 6' wide along sidewalks and pedestrian routes of the building's front face (See Figure II.C.2.a). The weather protection may be in the form of awnings, marquees, canopies, or building overhangs (see Figure II-7). The City may allow gaps in the covering for architectural features, landscaping, or to provide visual variety in the facade.

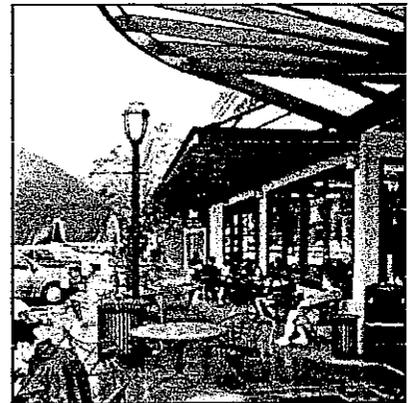


Figure II-7

- 4.2.1.2. Canopies or awnings shall not be higher than 15' above the ground elevation at the highest point or lower than 8' at the lowest point (see Figure II-8). The street-side edge of the canopy or awning shall be 8' above the walking surface

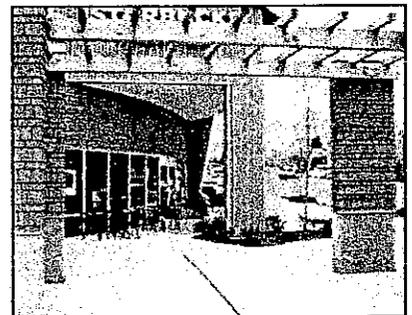


Figure II-8

- 4.2.1.3. The color, material, and configuration of the pedestrian coverings shall be as approved by the City. Coverings with visible corrugated metal or corrugated fiberglass are not permitted unless approved by the City. Fabric and rigid metal awnings are acceptable if they meet the applicable standards. All lettering, color and graphics on pedestrian coverings must conform to the City of Woodinville's Sign Code (see WMC 21.20 Development Standards - Signs).
- 4.2.1.4. At least 500 SF of Pedestrian-Oriented Space must be provided for every 100 linear feet of facade, as measured along the property lines adjacent to the street ROW (see Figure II-9).

4.2.2 Secondary Public Access. Businesses on a pedestrian-oriented street or streets within the CBD that have secondary public access not fronting on NE 175th Street shall include *at least one* of the following measures below to enhance secondary *public* access (applies only to entries used by the public):

IMPLEMENTING MEASURES

- 4.2.1.1. Provide an awning for weather protection over the secondary public access. The width of the awning shall be no greater than the width of the entry (and side-light if the side-light is integral to the entry) plus three (3) feet at each end of the awning. Total height of the awning shall not exceed four (4) feet.
- 4.2.1.2. A sign may be applied to the awning provided the sign (a) complies with WMC 21.20.110 (10); (b) awning signs on the building are similar in mounting, location, configuration, materials, and construction; and (c) the sign area does not exceed 4.5 square feet as measured under WMC 21.20.110(10)(a).
- 4.2.1.3. Plant containers (planters) may be installed that allow for a minimum four (4)-foot passage on walks serving the public access. Planters shall be maintained with viable plant materials or removed.

5.0. Pedestrian Paths

5.1. INTENT

- 5.1.1. To provide safe and direct pedestrian access in commercial areas to accommodate pedestrian movement patterns, to minimize conflicts between pedestrians and vehicular traffic, and to provide pedestrian connections to neighborhoods.
- 5.1.2. To provide safe routes for the pedestrian and disabled person across parking, to entries, and between buildings.
- 5.1.3. To accommodate non-competitive / non-commuter bicycle riders who use bicycles on short trips for exercise and convenience.

5.2. DESIGN PRINCIPLES

- 5.2.1. Provide safe and direct access in commercial areas for all users.

IMPLEMENTING MEASURES

- 5.2.1.1 Provide pedestrian circulation routes in accordance with WMC21.18.100 from building entries of businesses to:
 - a. Services within the same development (see Figure II-10);
 - b. Building entries of nearby residential complexes; and
 - c. Sidewalks along abutting roadways.



Figure II-10

See Figure II.F.2.a. (Appendix B - Figures) for an example.

- 5.2.1.2. Where possible, provide steps and ramps across retaining walls and slopes in accordance with WMC 21.18.100.
- 5.2.1.3. Fences shall provide for pedestrian access by gates to shopping and other common activities, especially to transit.

5.2.1.4. Adjacent landscaping shall not block visibility to and from a path, especially where it approaches a roadway or driveway according to WMC 21.12.200 (see Figure II-11).

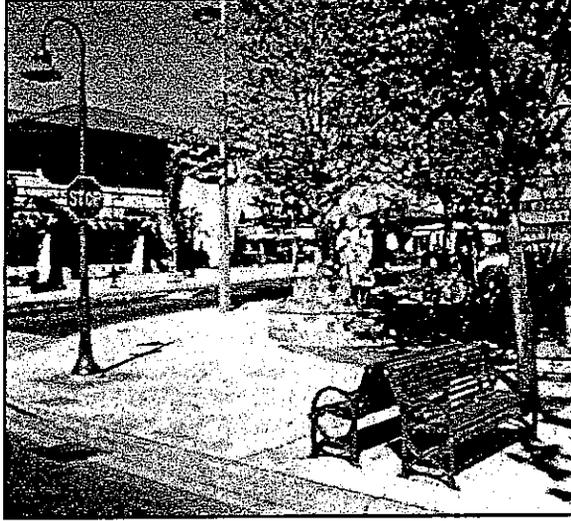


Figure II-11

5.2.1.5. Pedestrian walks shall be separated from structures at least three feet for landscaping.

6.0. Pedestrian Activity and Plazas

6.1. INTENT

- 6.1.1. To provide a variety of pedestrian areas to accommodate shoppers on designated Pedestrian-Oriented streets.

6.2. DESIGN PRINCIPLES

- 6.2.1. Provide Pedestrian-Oriented Open Space (see Appendix A - Definitions) at key locations.

IMPLEMENTING MEASURES

Compliance with the some of the following measures supersede requirements of WMC 21.12.040 and WMC 21.16.050(4).

Where the front building facade on a designated Pedestrian-Oriented Street is not directly adjacent to the sidewalk, the space between the sidewalk pavement and the building (the front yard) shall be developed as a garden, lawn, and/or pedestrian-oriented space meeting the requirements indicated below (see Figure II-12):

- 6.2.1.1. The table below combines requirements for designated and non-designated Pedestrian Oriented Streets. To qualify as a "Pedestrian-Oriented Space" an area must have:

REQUIREMENT	DPOS	NDPOS
a. Visual and pedestrian access (including handicapped access) into the site from the public ROW;	R	R
b. Paved walking surfaces of either concrete or approved unit paving;	R	O
c. Seating: at least 2 linear feet of seating area (bench, ledge, etc.) or one individual seat per 60 SF of plaza area or open space	R	O
d. Landscaping that does not act as a visual barrier.	R	R
e. Site furniture, artwork, or amenities such as fountains, kiosks, etc.	R	O
DPOS	Designated Pedestrian Oriented Street	
NDPOS	Non-Designated Pedestrian Oriented	
NA	Not Applicable	
R	Required	
O	Optional	

6.2.2.2. "Pedestrian-Oriented Space" shall not have:

- a. Asphalt pavement, gravel surface, or crushed, tumbled glass.
- b. Adjacent non-buffered parking lots.
- c. Adjacent chain link fences.
- d. Adjacent "blank walls" (see Appendix A-Definitions) without "blank wall treatment" per Section IV.,7.2.
- e. Any features similar to a. through d. above that are not in character.

Integration of prohibited materials noted above may be used if the materials use conforms with these design principles as determined by the City.

See Figure II.H.2.a. in Appendix B - Figures for an example.

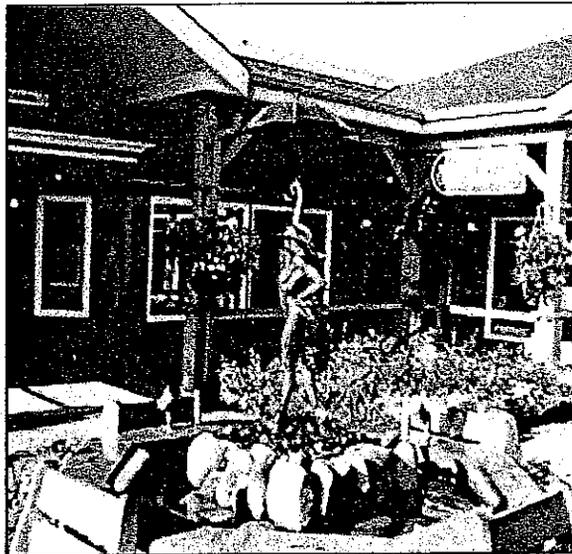


Figure II-12

III. Vehicular Access and Parking

1.0. Access Roads in Large Lot Developments

1.1. INTENT

- 1.1.1. To provide vehicular access routes through large lots by connecting public and/or private roadways as directed by the City to complete the downtown street grid.
- 1.1.2. To create a safe, convenient network for vehicle circulation and parking.
- 1.1.3. To mitigate traffic impacts and to conform to the City's objectives for better traffic circulation.

See Section II for pedestrian improvements associated with these roadways.

1.2. DESIGN PRINCIPLES

- 1.2.1. Development projects on properties which front on two streets are to conform with the Applicable City street specifications and standards for access.
- 1.2.2. Connections between streets are to be provided as indicated by the applicable City's street plans/specifications and standards. (see Appendix A - Definitions).

IMPLEMENTING MEASURES

If access streets are required, they shall conform to the following:

- 1.2.1.1 Streets may be part of the parking lot/site circulation. Only parallel parking fronting directly on the access street is permitted;
- 1.2.1.2 ~~Street trees and sidewalks or pedestrian paths are required along access streets in accordance with Section II.C.2.; and~~

- 1.2.1.3 Location of ingress and egress to and from the access street shall be separated by minimum 300 feet unless property street frontage precludes said separation.

2.0 .Parking Reductions

2.1. INTENT

- 2.1.1. To reduce impervious surfaces and replace those surfaces with landscaping and pedestrian amenities;
 - 2.1.2. To allow more efficient land utilization;
 - 2.1.3. To reduce adverse impacts of parking;
 - 2.1.4. To encourage shared driveway access to parking areas and parking between adjacent properties;
 - 2.1.5. To encourage shared parking facilities between adjacent compatible land uses.
-

2.2. DESIGN PRINCIPLES

2.2.1. Minimize parking areas through joint use and management.

Pursuant to WMC 21.18.040 - titled "*Shared and mixed use parking requirements*", the City shall require that **minimum** overall parking ratio be provided for development. Parking in excess of the minimum stipulated may be allowed if, through a quantified parking demand analysis prepared by a traffic engineer with requisite qualifications as determined by the City, it can be demonstrated that the uses on parcels with shared parking require more parking than would be consistent with the requirements of WMC 21.18.030.

IMPLEMENTING MEASURES

- 2.2.1.1. A parking space reduction of ten percent (10%) of the required parking is encouraged provided there is a coordinated design and shared access to consolidated parking areas linked by pedestrian walkways, see Figure III.B.2.a.(1) in Appendix B - Figures.
- 2.2.1.2. Multiple parcels may be treated as a single development site for parking purposes if owners of all parcels affected sign an agreement for shared parking. (This may provide advantages in the design review process.)
- 2.2.1.3. ~~In accordance with WMC 21.18.040, reduced parking is~~ encouraged by the use of shared parking between /

among primarily night-time uses such as theater, bowling alleys, and restaurants and primarily day-time uses such as banks, offices, and retail stores.

- 2.2.1.4. Off-site parking may be considered to meet parking requirements provided the parking is located within five hundred (500) feet of the associated uses, and a pedestrian walkway is provided between parking and uses.
- 2.2.1.5. Parking ratios may be reduced if the property / business owner has a commuter trip reduction program incorporating transit and car pools approved by the City.
- 2.2.1.6. Reduced parking ratios will be considered if development is within walking distance of residential development or transit.
- 2.2.1.7. Reduced parking will be considered if the applicant can demonstrate how additional development could occur on the site if parking reductions or joint-use parking can be achieved pursuant to WMC 21.18.040.
- 2.2.1.8. Maximum parking shall be five parking spaces per 1,000 square feet as computed in WMC 21.18.030 for all uses except restaurants. For restaurants maximum shall be that prescribed in the table of minimum parking spaces required in WMC Chapter 21.18

2.2.2. Encourage underground parking.

The City may allow greater development intensity (floor area) if structured parking is provided. As a general criterion, one extra square foot of useable building floor area might be allowed for every square foot of structured parking. Structured parking would not count as part of floor area ratio (FAR) calculation.

3.0 Vehicle Entrances

3.1. INTENT

- 3.1.1. To provide safe, convenient access to commercial sites without diminishing quality pedestrian walking or visual experiences.
-

3.2. DESIGN PRINCIPLES

- 3.2.1. Minimize driveway impacts across pedestrian walks.

IMPLEMENTING MEASURES

- 3.2.1.1 Parking lot entrances, driveways and other vehicle access routes onto private property from a public ROW shall be restricted to no more than one entrance lane and one exit lane per three hundred linear feet of property as measured horizontally along the street face.
- 3.2.1.2 Properties with less than three hundred linear feet of street frontage shall make a genuine effort to negotiate shared access with adjoining property owners. One entry and one exit lane for vehicle access will be allowed after there is demonstrable evidence, acceptable to the City, that shared access is not feasible.
- 3.2.1.3. Vehicular access to corner lots shall be located on the lowest classified roadway and as close as practical to the property line most distant from the intersection.

Exception: Corner lots may have one entrance per street provided the owner provides evidence acceptable to the City that they are unable to arrange joint access with an abutting property.

IV. Building Design

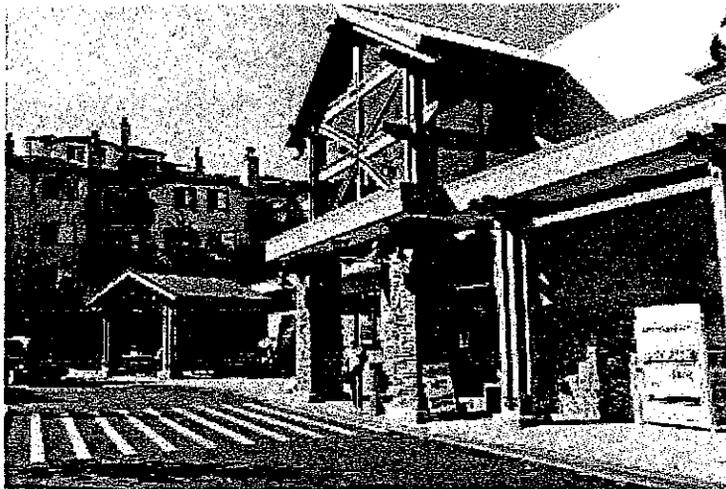
1. Design Character

1.1. INTENT

- 1.1.1. To design buildings that reflect the Northwest woodland character.
 - 1.1.2. To encourage building design that has visual character and creates comfortable human environments
-

1.2. DESIGN PRINCIPLES

Northwest woodland character refers to structures designed in the context of the Northwest natural setting which includes climate, topography, ecosystems, and evolved social organization.



- 1.2.1. Building forms shall reflect Northwest woodland character.

IMPLEMENTING MEASURES

- 1.2.1.1. The general form of structures is to be simple, three dimensional forms. Smaller structures shall have building forms that express wood framing, have traditional Northwest woodland exterior finished, and may use exposed heavy wood timber structural members. Larger, "box" structures shall incorporate wood and agrarian elements at entries and elsewhere to reduce the

Northwest woodland exterior finished, and may use exposed heavy wood timber structural members. Larger, "box" structures shall incorporate wood and agrarian elements at entries and elsewhere to reduce the structure's apparent scale. Additional agrarian treatments of the walls and roof may be required (see Figure IV-1).

- 1.2.1.2. Structures with multiple component forms are to be integrated for visual unity.
- 1.2.1.3. To visually expose those components that support and/or stabilize structures when compatible with design;
- 1.2.1.4. Adapt building access to site conditions for level, convenient, obvious entry.

1.2.2. Exterior finishes are to be compatible with Northwest woodland character.



Figure IV-2

IMPLEMENTING MEASURES

- 1.2.2.1. Material finishes shall reflect the early 1900 domestic agrarian vernacular of materials. (see Appendix A for definition of 'vernacular'). All siding materials should be complemented with wood elements.
- 1.2.2.2. Exterior finish colors are to be neutral shades of natural colors found in northwest woodlands or colors typical of historic agrarian structures of the Northwest, and may include limited use of compatible accent colors (see Figure IV-2).

1.2.3. The arrangement, proportion and design of windows and doors (fenestration) shall conform with the following:

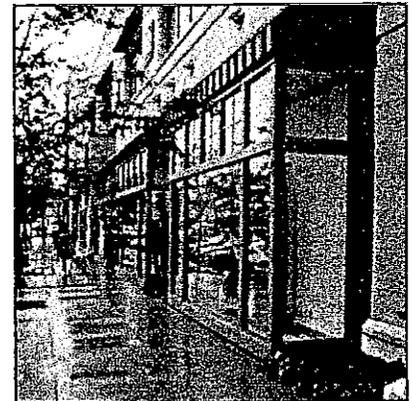


Figure IV-3

IMPLEMENTING MEASURES

- 1.2.3.1. The height to width ratio of single openings and group openings are to be proportionately scaled to the wall.
- 1.2.3.2. Door and window details and trim that is suitably scaled to the wall (see Figure IV-3).

- 1.2.3.3. Reduce large expanses of glass used in windows and doors to smaller component windows reminiscent of early 1900 domestic agrarian structures vernacular when adjacent to sidewalks or other pedestrian accommodations.

2. Human Scale

2.1. INTENT

- 2.1.1. To encourage the use of building components that relate to the size of the human body.
-

2.2. DESIGN PRINCIPLES

2.2.1. Incorporate human-scale building elements.

All new buildings and major exterior remodels must employ elements or techniques indicated in the table below toward achieving "human scale" (See Appendix A-Definitions).

If a proposed building is more than 100' wide as measured along any facade facing a street and visible from that street, then the building shall incorporate the measures indicated for the building heights indicated below:

IMPLEMENTING MEASURES

See table below:

TABLE OF IMPLEMENTING MEASURES

BUILDING HEIGHTS

	<14'	15' - 35'	35' - 45'
a. Balconies or decks in upper stories, at least one balcony or deck per upper floor on the facades facing streets is required. Balconies are encouraged to be at least six feet deep and ten feet wide.	NA	O	R
b. Bay windows or other window treatment that extends out from the building face.	R	R	R
c. At least 150 SF of pedestrian-oriented space (see Appendix A-Definitions) that meets the standards stated in Section II.H.2.a., above.	R	R	R
d. First floor individual windows, generally less than 32 square feet per pane and separated from other windows by at least a 6-inch molding.	R	R	R
e. Gable or hipped roof, provided that the hipped or gable roof covers at least one half of the building's footprint and has a slope greater or equal to 3 feet vertical in 12 feet horizontal. Use gabled forms at corners, entry, wall modulation points, etc. to adapt large structure to character described in subsection IV. 1.0 above.	R	R	O ⁴
f. A porch or covered entry.	R	R	R
g. Spatially defining building elements such as a trellis, overhang, canopy, or other element that defines space that can be occupied by people.	O	O	O
h. Upper story setbacks, provided one or more of the upper stories are set back from the face of the building at least 6 feet.	NA	O	R
i. Composing smaller building elements near the entry of Pedestrian-Oriented Street fronts of large buildings as in the example provided by Figure IV.A.2.a. in Appendix B - Figures.	O	R	R
j. The City may consider other methods to provide human-scale elements not specifically listed here. The proposed methods must satisfy the intent of the design principles.	O	O	O

NA Not Applicable
 R Required
 O Optional.

3.0. Architectural Scale

3.1. INTENT

- 3.1.1. To encourage architectural scale of development that is compatible with nearby commercial areas that have the character of agrarian structures.
-

3.2. DESIGN PRINCIPLES

3.2.1. Reduce scale of large buildings.

All new buildings over three stories, or over 2,500 SF in gross building footprint, shall provide along their facades that are visible from public ROW or pedestrian routes and entries the following:

IMPLEMENTING MEASURES

- 3.2.1.1. Upper story setback – Three-story buildings must setback at least one upper story from the ground floor by at least ten feet from the face of the second floor facing the public ROW, see figure IV.B.2.a.(1) in Appendix B - Figures.

- 3.2.1.2. Horizontal Building Modulation All building facades within 400' of a public ROW or park, and/or visible from that ROW or park, shall conform to the following standards:

- a. The maximum width (as measured horizontally along the buildings exterior) without building modulation shall be 50 feet (see Figure IV-4).
- b. The minimum depth of modulation shall be the greater of 6 feet or not less than 0.2 multiplied by the height of the structure (finish grade to top of wall).
- c. Roof decks or balconies may be used as all or part of the building modulation so long as each individual balcony has a floor area of 100 square feet. See Figure IV.B.2.a.(2) in Appendix B - Figures for illustration of facade modulation standards.

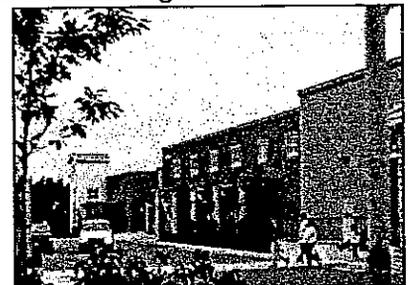


Figure IV-4

3.2.1.3. Modulated roof line - Buildings may satisfy the requirement by modulating the roof line of all facades visible from a public ROW or park according to the following standards:

- a. For flat roofs or facades with a horizontal wave, fascia, or parapet - change roofline so that no un-modulated segment of roof exceeds 50'. Minimum vertical dimension of roof line modulation is the greater of two feet or 0.1 multiplied by the wall height (finish grade to top of wall).
- b. For gable, hipped, or shed roofs - a slope of at least 3' vertical to 12' horizontal.
- c. Other roof forms such as arched, vaulted, dormer, or saw-toothed may satisfy this design principle if the individual segments of the roof with no change in slope or discontinuity are less than 50' in width (measured horizontally). See Figure IV.B.2.a.(3) in Appendix B - Figures.

3.2.1.4. Building "articulation" may be accomplished with design elements such as the following, so long as the interval does not exceed 50'. See Figure IV.B.2.a.(4).

- a. Repeating distinctive window patterns at intervals less than the articulation interval.
- b. Providing a porch, patio, deck, or covered entry for each articulation interval.
- c. Providing a balcony or bay window for each articulation interval.
- d. Changing the roofline by alternating dormers, stepped roofs, gables, or other roof elements to reinforce the modulation or articulation interval.
- e. Changing materials with a change in building plane.
- f. Providing lighting fixtures, trellis, tree, or other landscape feature within each interval. See Figure IV.B.2.a.(5) in Appendix B - Figures.

3.2.1.5. Cluster smaller uses and activities around entrances on street-facing facades (see Figure IV-5).

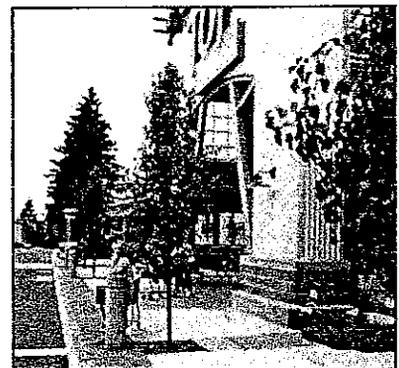


Figure IV-5

- 3.2.1.6. Include massing of substantial landscaping and/or pedestrian-oriented open spaces along the building facade.
- 3.2.1.7. The City may allow other methods that provide architecturally scaled elements not specifically listed in 3.2.1.1-6 above. The proposed methods must satisfy the intent of the design principles. Note that the City may increase the 50' interval for modulation and articulation to better match surrounding structures or to implement an approved design concept pursuant to Section I.C. or Section V.A..

All proposals for achieving architectural scale are subject to approval by the City.

4.0. Building Corners

4.1. INTENT

- 4.1.1. To create visual interest and increased activity at public street corners.
-

4.2. DESIGN PRINCIPLES

- 4.2.1. Architecturally accentuate building corners at street intersections.

All new buildings located within 15' of a property line, at the intersection of streets, public or private, are required to employ two or more of the following design elements or treatments to the building corner facing the intersection.

IMPLEMENTING MEASURES

- 4.2.1.1. Provide at least 100 square feet of sidewalk area or pedestrian-oriented open space in addition to the otherwise required building setback (see Figure IV-6).
- 4.2.1.2. Provide a corner entrance to courtyard, building lobby, atrium, or pedestrian pathway.
- 4.2.1.3. Include a corner architectural element such as:
- Bay window or turret.
 - Roof deck or balconies on upper stories.
 - Building core setback "notch" or curved facade surfaces.
 - Sculpture or artwork either bas-relief, figurative, or distinctive use of materials.
- 4.2.1.4. Special treatment of pedestrian weather protection canopy at the corner of the building

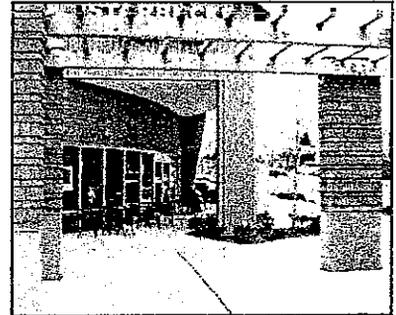


Figure IV-6

4.2.1.5. Other similar treatment or element approved by the City.

See Figure IV.D.2.a. in Appendix B - Figures for examples of acceptable architectural elements for corner treatment.

5.0. Building Details

5.1. INTENT

- 5.1.1. To ensure that buildings have design integrity at all observable distances.
-

5.2. DESIGN PRINCIPLES

- 5.2.1. Enhance buildings with appropriate design details.

When buildings are seen from a distance, the most noticeable qualities are the overall form and color. A three-story commercial building that is 100' wide and 35' tall must be observed at least 200' away in order for the building to fit within a person's cone of vision so its overall shape can be perceived. At that distance, windows, doors, and other major features are clearly visible. However, within 60' to 80' from the building (approximately the distance across a typical downtown street) a person notices not so much the building's overall form as its individual elements. Closer, the most important aspects of a building are its design details, texture of materials, quality of its finishes, and small, decorative elements. In a pedestrian-oriented business area, it is essential that buildings and their contents be attractive up close. Therefore, these design principles include implementing measures which require all buildings to incorporate design details and small scale elements into their facades.

IMPLEMENTING MEASURES

All new buildings shall include on the facades that face a public street, park, or pedestrian route the following:

- 5.2.1.1. The following measures are required for all buildings:
- a. Decorative Rooflines: For example, an ornamental molding, entablature, frieze or other roofline device visible from the ground level. If the roofline decoration is in the form of a linear molding or board, then the molding or board must be at least 8" wide.

- b. **Decorative Treatment of Windows and Doors:** For example, decorative molding/framing details around all ground floor windows and doors, decorative glazing, or door designs located on facades facing public streets or parks.
- c. **Decorative Light Fixtures:** with a diffuse visible light source such as a globe or "acorn" that is non-glaring or a decorative shade or mounting.
- d. **Decorative Building Materials, including the following:**
 - (1) Decorative masonry, shingle, brick or stone.
 - (2) Individualized patterns or continuous wood details such as fancy butt shingles in a geometric pattern, decorative moldings, brackets, wave trim or lattice work, ceramic tile, stone, glass block, carrera glass, or similar materials.
 - (3) Other materials with decorative or textural qualities as approved by the City.

The applicant must submit architectural drawings and material samples for approval.

- e. Paved horizontal surfaces for walks or parking at or near the finish grade of a building shall be separated horizontally from any wall of a structure minimum four feet for landscaping. Paved surfaces may abut the structure at entrances and service areas.

Walks along a Designated Pedestrian Oriented Streets may abut a structure served by the walk.

- f. Note the year of construction of a building by the installation of a plaque attached to the building. Stone or masonry set integral with other masonry on the front building elevation facing the principle street may be used in lieu of a plaque. The year of construction is to be noted by numbers not less than six inches high. Other information associated with the building that may have historic interest in the future may be included in addition to the year of construction.

5.2.1.2. The following are optional measures for all buildings for this section of the design principles. Some of these items may be required for other sections of the design principles.

- a. **Decorative Railings, Grill Work, or Landscape Guards.**
- b. **Landsaped Trellises.**

- c. **Decorative Paving or Artwork:** The artwork may be freestanding or attached to the building, and may be in the form of mosaic mural, bas-relief sculpture, light sculpture, water sculpture, fountain, free standing sculpture, art in pavement, or other similar art work. Painted murals or graphics on signs or awnings do not qualify. All artwork used to satisfy this condition is subject to approval by the City.
- d. Other similar features or treatment approved by the City.



Figure IV-7

All proposed methods for satisfying this design principle are subject to City approval.

5.2.2. Ground story building facades on designated Pedestrian-Oriented streets and public parks shall provide the following:

- 5.2.2.1. Transparent window area or window displays along at least 50% of the ground floor façade (see Figure IV-7);
- 5.2.2.2. At least 500 square feet of Pedestrian-Oriented Space for every 100 linear feet of facade, as measured along the property lines adjacent to streets or public park;
- 5.2.2.3. Optional measures to substitute for required measures above are as follows:
 - a. Sculpture, mosaic, or bas-relief artwork over 50% of the length of the ground floor facade; or
 - b. Special landscaping or building design feature comparable to 'a' above and approved by the City.

6.0. Materials

6.1. INTENT

- 6.1.1. To encourage the use of high-quality compatible materials that will upgrade the visual image of commercial areas of Woodinville.
-

6.2. DESIGN PRINCIPLES

6.2.1. Retain vernacular facades.

Retain facades that reflect the heritage of the City. Facades of vintage buildings may be adapted to contemporary use with compatible materials.

6.2.2. Use compatible building materials.

IMPLEMENTING MEASURES

- 6.2.2.1. Preferred materials reflect the City's Northwest woodland character such as the following:

- a. Wood (as used in agrarian structures) (see Figure IV-8);
- b. Masonry;
- c. Stone;
- d. Other materials subject to approval by the City.

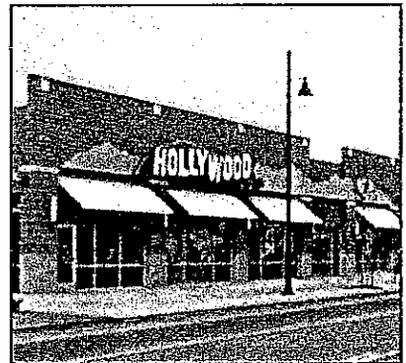


Figure IV-8

Use of metal siding, metal screening, plastic, plywood, sheet wood products, or fiberglass to cover over existing facades is discouraged. Wood should not be used to cover over existing brick or cast stone masonry.

- 6.2.2.2. Materials requiring special detailing to be acceptable are as follows:

- a. If metal siding is used as a siding material over more than 25% of a building's facade, the metal siding must have a matte finish in a neutral or earth tone such as buff, gray, beige, tan, cream, white, or a dulled color such as barn-red, blue-gray, burgundy, ocher, or other color specifically approved by the City. If metal siding is used over 25% of the building facade, then the building design must include the following elements:

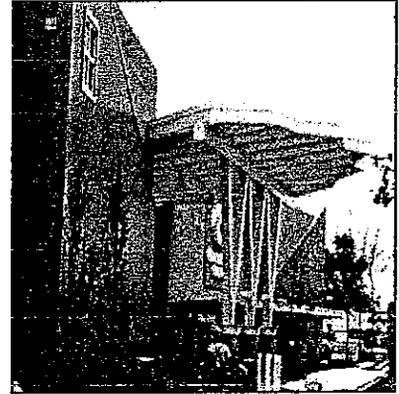


Figure IV-9

- (1) Visible window and door trim painted or finished in a complimentary color.
- (2) Corner and edge trim that cover exposed edges of the sheet metal panels.
- (3) Other detail/color combinations for metal siding approved by the City, provided design quality and permanence meets the intent of this section (see Figure IV-9).

- b. Requirements for concrete block walls:



Figure IV-10

If concrete blocks (concrete masonry units or "cinder blocks") are used for walls that are visible from a public street, park, or pedestrian route then the concrete block construction must be architecturally treated in one or more of following ways:

- (1) Use of textured blocks with surfaces such as split face or grooved.
- (2) Use of other masonry types such as brick, glass block, or tile in conjunction with concrete blocks (see Figure IV-10).
- (3) Use of decorative coursing to break up blank wall areas.

Use matching colored mortar where color is an element of architectural treatment for any of the options above.

c. Prohibited materials:

The following materials are prohibited in visible locations unless an exception is granted by the City based on the integration of the material into the overall design of the structure.

- (1) Mirrored glass.
- (2) Corrugated fiberglass.
- (3) Chain link fencing (except for temporary purposes such as a construction site).
- (4) Crushed colored rock/crushed tumbled glass.

- a. If metal siding is used as a siding material over more than 25% of a building's facade, the metal siding must have a matte finish in a neutral or earth tone such as buff, gray, beige, tan, cream, white, or a dulled color such as barn-red, blue-gray, burgundy, ocher, or other color specifically approved by the City. If metal siding is used over 25% of the building facade, then the building design must include the following elements:

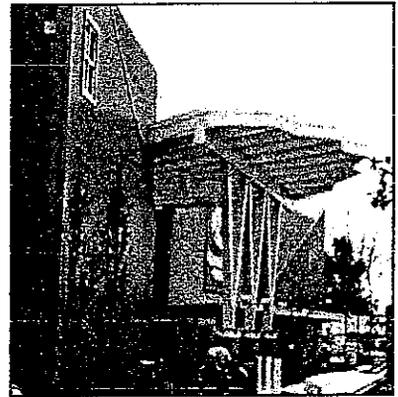


Figure IV-9

- (1) Visible window and door trim painted or finished in a complimentary color.
- (2) Corner and edge trim that cover exposed edges of the sheet metal panels.
- (3) Other detail/color combinations for metal siding approved by the City, provided design quality and permanence meets the intent of this section (see Figure IV-9).

- b. Requirements for concrete block walls:



Figure IV-10

If concrete blocks (concrete masonry units or "cinder blocks") are used for walls that are visible from a public street, park, or pedestrian route then the concrete block construction must be architecturally treated in one or more of following ways:

- (1) Use of textured blocks with surfaces such as split face or grooved.
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- (3) Use of decorative coursing to break up blank wall areas.

Use matching colored mortar where color is an element of architectural treatment for any of the options above.

c. Prohibited materials:

The following materials are prohibited in visible locations unless an exception is granted by the City based on the integration of the material into the overall design of the structure.

- (1) Mirrored glass.
- (2) Corrugated fiberglass.
- (3) Chain link fencing (except for temporary purposes such as a construction site).
- (4) Crushed colored rock/crushed tumbled glass.

7.0. Blank Walls

7.1. INTENT

- 7.1.1. To reduce the visual impact of large, undifferentiated walls.
 - 7.1.2. To reduce the apparent size of large walls through the use of various architectural and landscaping treatments.
-

7.2. DESIGN PRINCIPLES

- 7.2.1. All blank walls (as defined in Appendix A-Definitions) within 50' of the street ROW, park, or adjacent lot, and visible from that street, park, or adjacent lot, shall be treated in one or more of the following measures.

IMPLEMENTING MEASURES

- 7.2.1.1. Install a vertical trellis in front of the wall with climbing vines or plant materials.
- 7.2.1.2. Provide a landscaped planting bed at least 8' wide or raised planter bed at least 2' high and 3' wide in front of the wall. Plant materials that will obscure or screen at least 50% of the wall's surface within 3 years are to be planted in the planting bed.
- 7.2.1.3. Providing artwork (mosaic, mural, sculpture, relief, etc.) over at least 50% of the blank wall surface.
- 7.2.1.4. Other method as approved by the City.

Treatment of blank walls is to be proportional to the wall.

All of the proposed methods are subject to City approval. Applicant must submit architectural plans and elevations showing proposed treatments for approval.

3. APPENDIX A DEFINITIONS

Definitions:

Agrarian Structures - Buildings or other structures created to satisfy a well-stated function, usually associated with land-oriented activities, such as farming. The structures exhibit simple geometric forms, and were created with available materials and without thrills.

Examples of agrarian structures include primitive barns, early saw mill structures and historic wood covered bridges.

Art, Artwork - A device, element or feature whose primary purpose is to express, enhance or illustrate aesthetic quality, feeling, physical entity, idea, local condition, historical or mythical happening, or cultural or social value. Examples of artwork include sculpture, bas-relief sculpture, mural, or unique specially crafted lighting, furniture, pavement, landscaping, or architectural treatment that is intended primarily, but not necessarily exclusively, for aesthetic purpose. Signs, upon approval by the City, may be considered artwork provided they exhibit an exceptionally high level of craftsmanship, special material or construction and include decorative devices or design elements that are not necessary to convey information about the business or product. Signs that are primarily names or logos are not considered art.

Access Street - A private street that is independent of parking lot circulation and connects public rights of way or provides primary access to and on a site

Balcony - A balcony is an outdoor space built as an above-ground platform projecting from the wall of a building and enclosed by a parapet or railing.

Bay Window - A bay window protrudes from the main exterior wall. Typically, the bay contains a surface which lies parallel to the exterior wall, and two surfaces which extend perpendicularly or diagonally out from the exterior wall. To qualify as a bay, the bay must contain a window pane which extends at least 60 percent of the length and 35 percent of the height of the surface of the bay which lies parallel to the exterior wall. There need not be windows in the surface which extend out from the exterior wall.

Blank Walls - Walls subject to "blank wall" requirements meet the following criteria:

- Any wall or portion of a wall that has a surface area of 400 square feet (SF) of vertical surface without a window, door, or building modulation as defined below or other architectural feature (see figure below for measuring methods).
- Any ground level wall surface or section of a wall over 4' in height at ground level that is longer than 15' as measured horizontally without having a ground level window or door lying wholly or in part within that 15' section (see below).

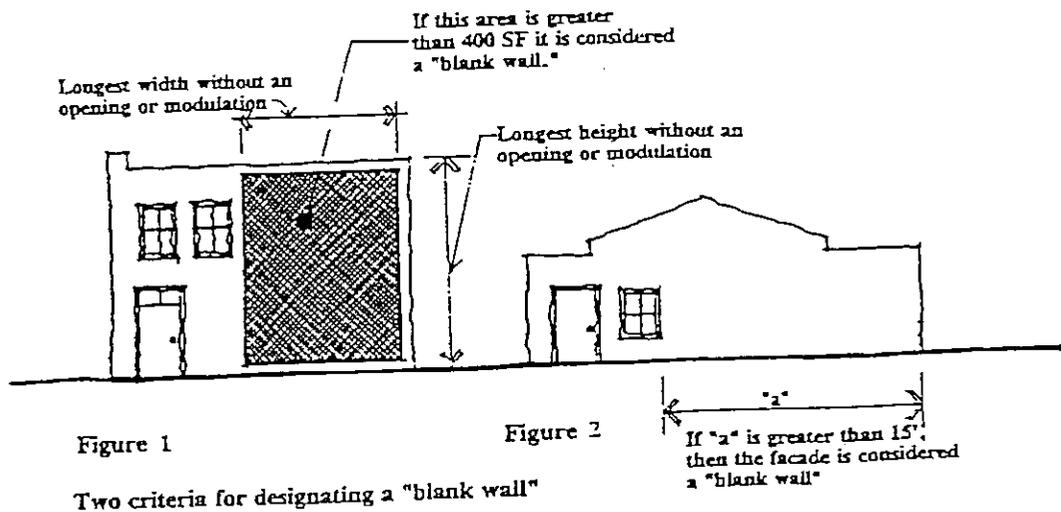


Figure 1
Two criteria for designating a "blank wall"

Figure 2
If "a" is greater than 15", then the facade is considered a "blank wall"

Courtyard - A courtyard is a landscaped space enclosed on at least three sides by a single structure.

Curb Cut - A curb cut is a depression in the curb for the purpose of accommodating a driveway that provides vehicular access between private property and the street.

Deck - A deck is a roofless outdoor space built as an above-ground platform projecting from the wall of a building and connected to the ground by structural supports.

Facade - A facade is any portion of an exterior elevation of a building extending from the grade of the building to the top of the parapet wall or eaves, for the entire width of the building elevation.

Frontage - As used in the code, frontage refers to the length of a property line along a public street or right of way (ROW).

Front Yard - Area between the street ROW and the nearest building facade.

Large Lot Development - A proposed or existing development of five acres or more.

Landscaping - An area is considered to be landscaped if it is:

- Planted with vegetation in the form of hardy trees, shrubs, or grass or evergreen ground cover maintained in good condition; or
- Occupied by sculpture, fountains or pools, benches, or other outdoor furnishings; or
- Occupied by such recreational facilities as playground equipment, swimming pools, game courts, etc.
- See also the definition for Landscaping provided in WMC 21A.06.348.

Major Exterior Remodel - A proposed improvement to any existing building structure or property that changes the exterior appearance of the property and meets either of the criteria below:

- Estimated value of construction exceeds 50 percent of the value of the existing built facilities as determined by the City of Woodinville's building valuation procedure.
- Construction includes an addition to or extension of an existing building.

Minor Exterior Remodel - Any improvement that changes the visual appearance or exterior configuration of a building structure or property, and which has a value less than 50 percent of the existing built facilities as determined by the City of Woodinville's building valuation procedure. Painting and restorative maintenance are not considered *minor remodels*.

Modulation - In the design principles, modulation is a stepping back or projecting forward of portions of a building face within specified intervals of building width and depth, as a means of breaking up the apparent bulk of a structure's continuous exterior walls.

Northwest Woodland Character - Character of early development of the Northwest that balanced the use of local materials (such as timber and high quality aggregates) to construct buildings with the natural environment, including native trees and other vegetation.

Pedestrian-Friendly Building Facades - The ground floor facades facing *Pedestrian-Oriented Streets* and public parks shall feature "pedestrian-friendly" street front facades which consist of one or more of the following characteristics:

1. Transparent window area or window displays along the majority of the ground floor facade.
2. Sculptural, mosaic, or bas-relief artwork over the majority of the ground floor facade.
3. "*Pedestrian-Oriented Space*" - As defined below, at least 500 SF must be located along the sidewalk for every 100 linear feet of facade as measured along the property line adjacent to the street ROW. The pedestrian-oriented space shall also include at least 200 SF of landscaping for every 100 linear feet of building facade as measured along the property line adjacent to the street ROW. The landscaping must conform to the planting standards contained in WMC 21A.16.

Pedestrian-Oriented Space - A pedestrian-oriented space is an area between a building and a public street *or along a pedestrian path* which promotes visual and pedestrian access onto the site and which provides pedestrian-oriented amenities and landscaping to enhance the public's use of the

space for passive activities such as resting, reading, picnicking, etc. To qualify as a "*pedestrian-oriented space*," an area must have:

- Visual and pedestrian access (including handicapped access) into the site from the public ROW.
- Paved walking surfaces of either concrete or approved unit paving.
- On-site or building-mounted lighting providing at least 4 foot candles (avg.) on the ground.
- At least 2' of seating area (bench, ledge, etc.) or one individual seat per 60 SF of plaza area or open space.

A "*pedestrian-oriented space*" is encouraged to have:

- Landscaping that does not act as a visual barrier.
- Site furniture, artwork, or amenities such as fountains, kiosks, etc.

A "*pedestrian-oriented space*" shall not have:

- Asphalt or gravel pavement.
- Adjacent non-buffered parking lots.
- Adjacent chain-link fences.
- Adjacent "*blank walls*" without "*blank wall treatment*."

Pedestrian-Oriented Streets consist of :

- All Streets within the CBD.
- NE 175th St. between 131st Ave. NE and 140th Ave. NE.
- SR202 located in the Tourist District Overlay described in WMC 21.38.065.
- An undefined north/south corridor connecting NE 171st Street and Woodinville-Snohomish Road in the vicinity of 135th Avenue NE.

Pedestrian-Oriented Use (or Business) - A pedestrian-oriented business is a commercial enterprise whose customers commonly arrive to the business by foot; or whose signage, advertising, window display, and entryways are oriented toward pedestrian traffic. Pedestrian-oriented businesses may include restaurants, retail shops, personal service businesses, travel services, banks (except drive-through windows) and similar establishments.

Scale, Human - The perceived size of a building relative to a human being. A building is considered to have "good human scale" if there is an expression of human activity or use that indicates the building's size. For example, traditionally sized doors, windows, and balconies are elements that respond to the size of the human body, so these elements in a building indicate a building's overall size.

Scale, Architectural - The perceived relative height and bulk of a building relative to that of neighboring buildings. A building's apparent height and bulk may be reduced by modulating facades.

Streetscape - The streetscape is the visual character of a street as determined by various elements such as structures, greenery, open space, view, etc.

TRC (Technical Review Committee) - An administrative review panel composed of department heads or designated representatives that conduct development review for the City.

Vernacular Façade - A unique expression of a building façade that is representative of a popular architectural expression that evolved in a specific geographic area or place during a particular period of time.

4. APPENDIX B

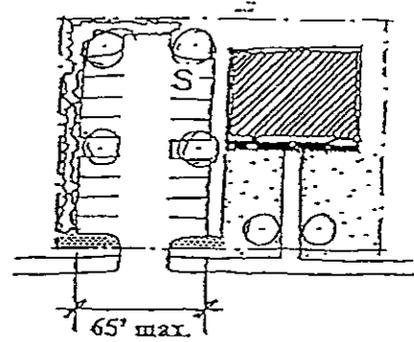
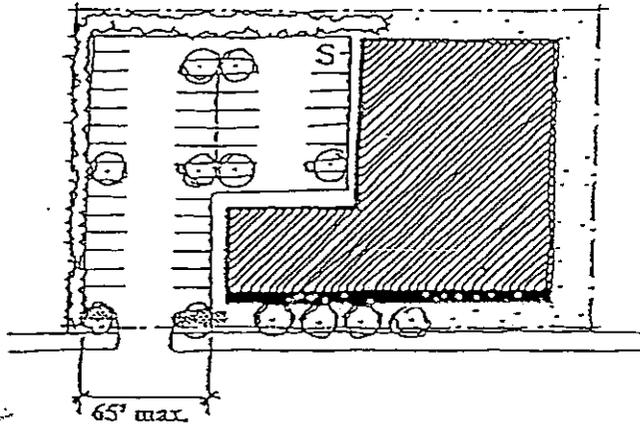
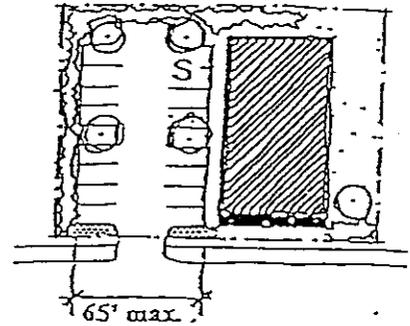
FIGURES

Figure I.A.2.a

Acceptable configurations for development on pedestrian-oriented streets

Legend

-  pedestrian friendly facade
-  screening or approved landscaping
- S service area



Development on corner of two pedestrian-oriented streets

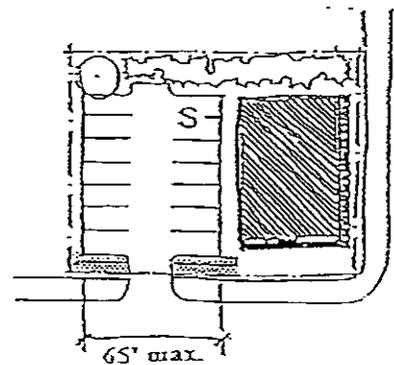
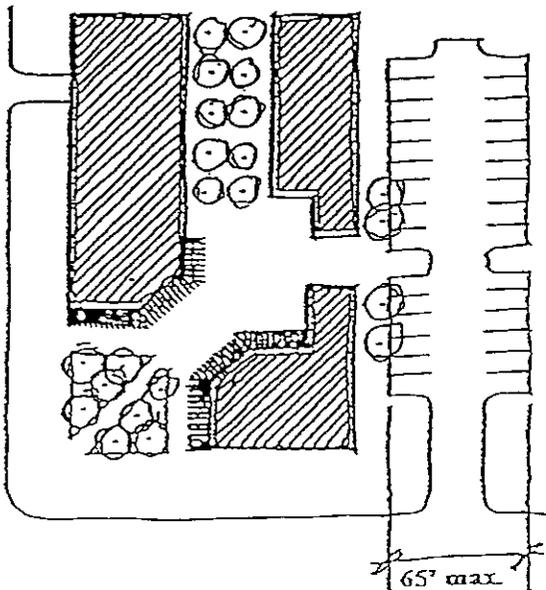
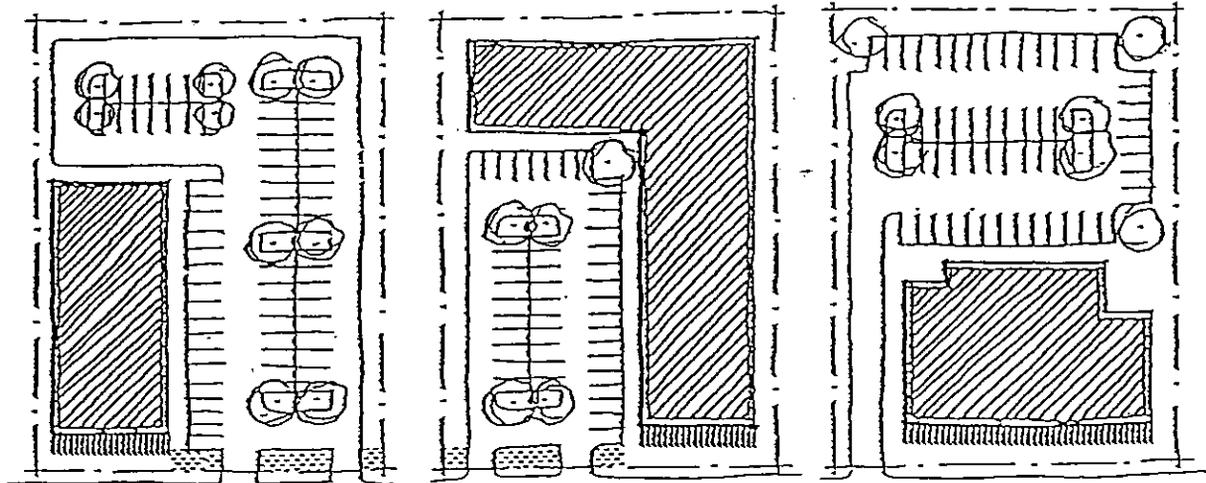
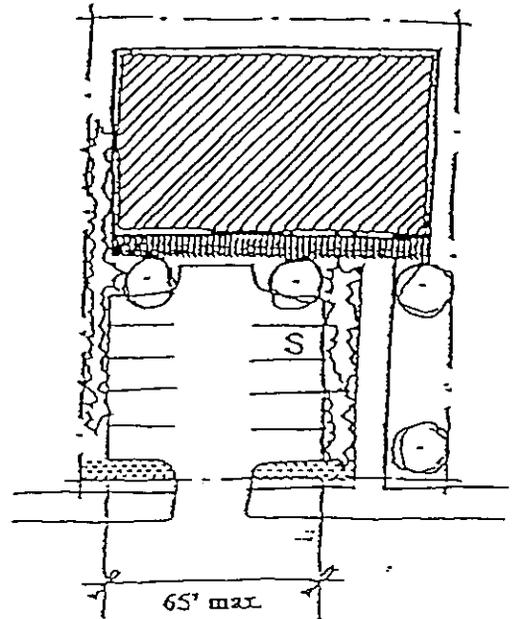


Figure I.A.2.b.

Acceptable configurations for development on streets other than pedestrian-oriented streets

Legend

-  pedestrian friendly facade
-  screening or approved landscaping
- S service area

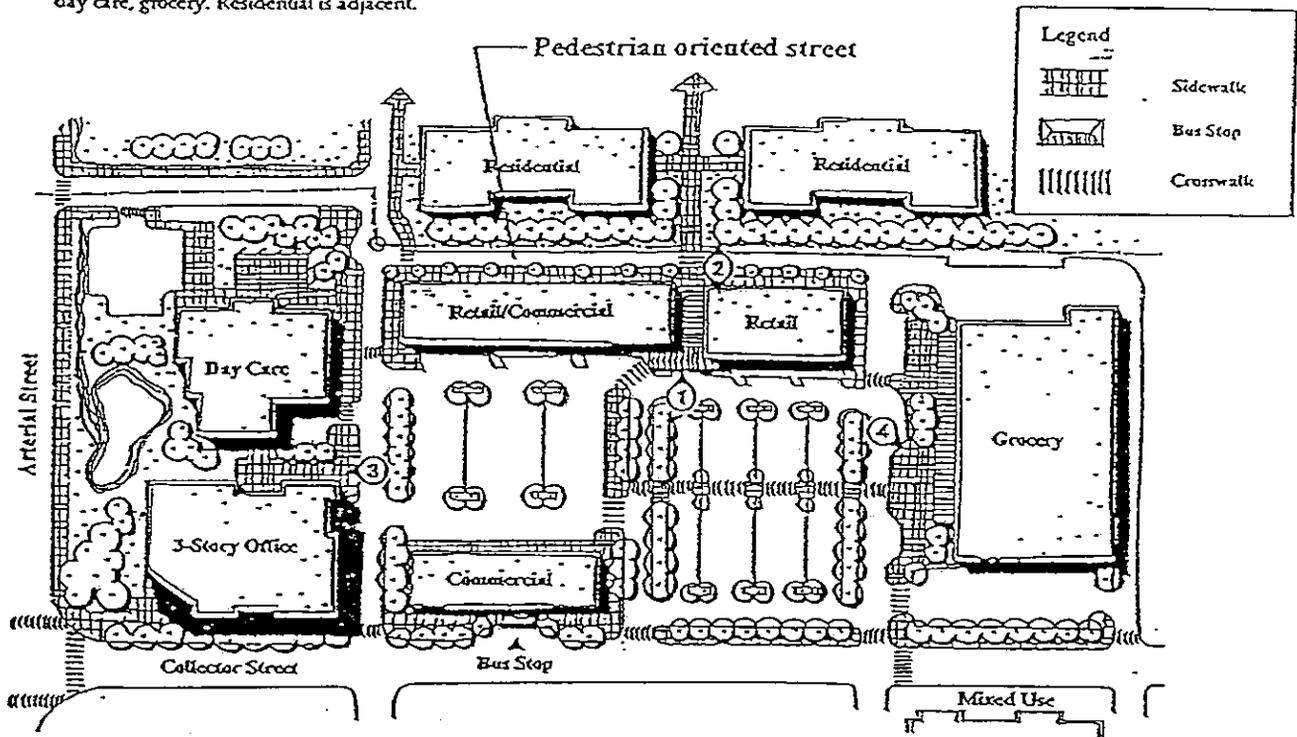


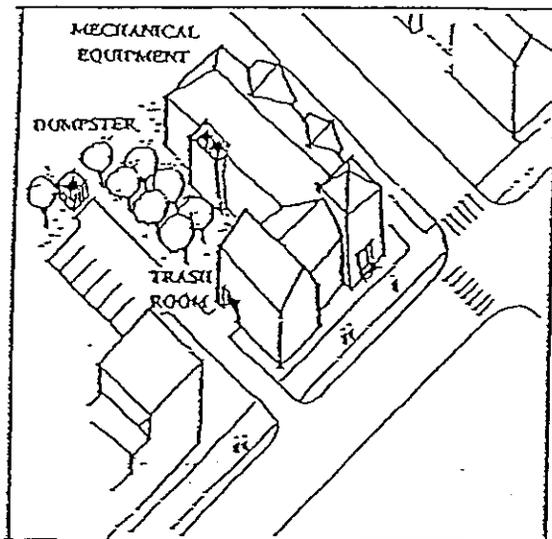
Alternate site plans illustrating different building configurations to give building more prominence and utilize site more efficiently. Note that there is only a 15' required front yard setback for commercial buildings. However, street facades must conform to visual design guidelines.

Example of a large lot development that furthers objectives in

Transit-Compatible Features:

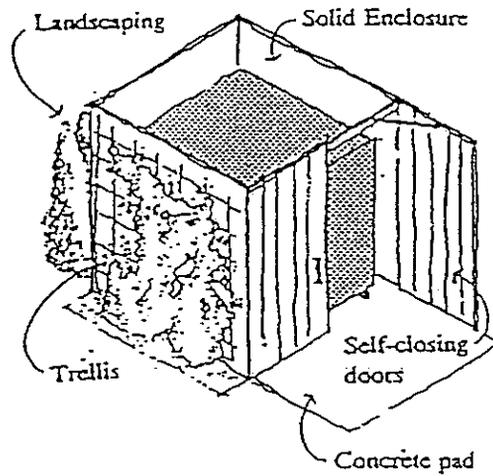
1. Canopies offer pedestrian protection from the weather.
2. A mixture of uses including retail, office, bank, day care, grocery. Residential is adjacent.
3. Several pedestrian plazas.
4. A wide, safe walkway in front of stores.





The proper location of service elements is important to reduce their impact.

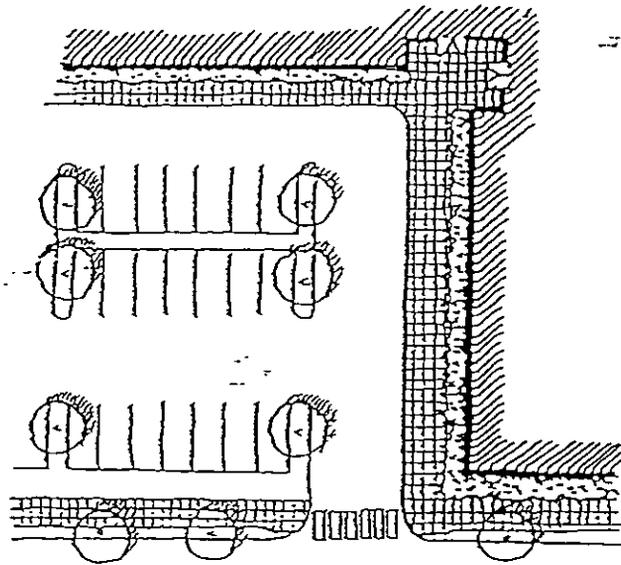
Figure I.D.2.a.(2)



Waste receptacles should be screened from view.

Figure II.B.2.a.

Provide a clear pedestrian path -
to the main entry of all buildings
from the sidewalk along the
street.



Example of development that adequately supports on-site pedestrian circulation

Desired Features:

1. A wide, safe walkway in front of stores (16 feet minimum, 20 feet preferred).
2. Driveways located away from fronts of stores to minimize conflicts between pedestrians and cars.
3. Safe internal pedestrian access and circulation with connections to surrounding properties.
4. Canopies in front of stores offer weather protection to the patrons.

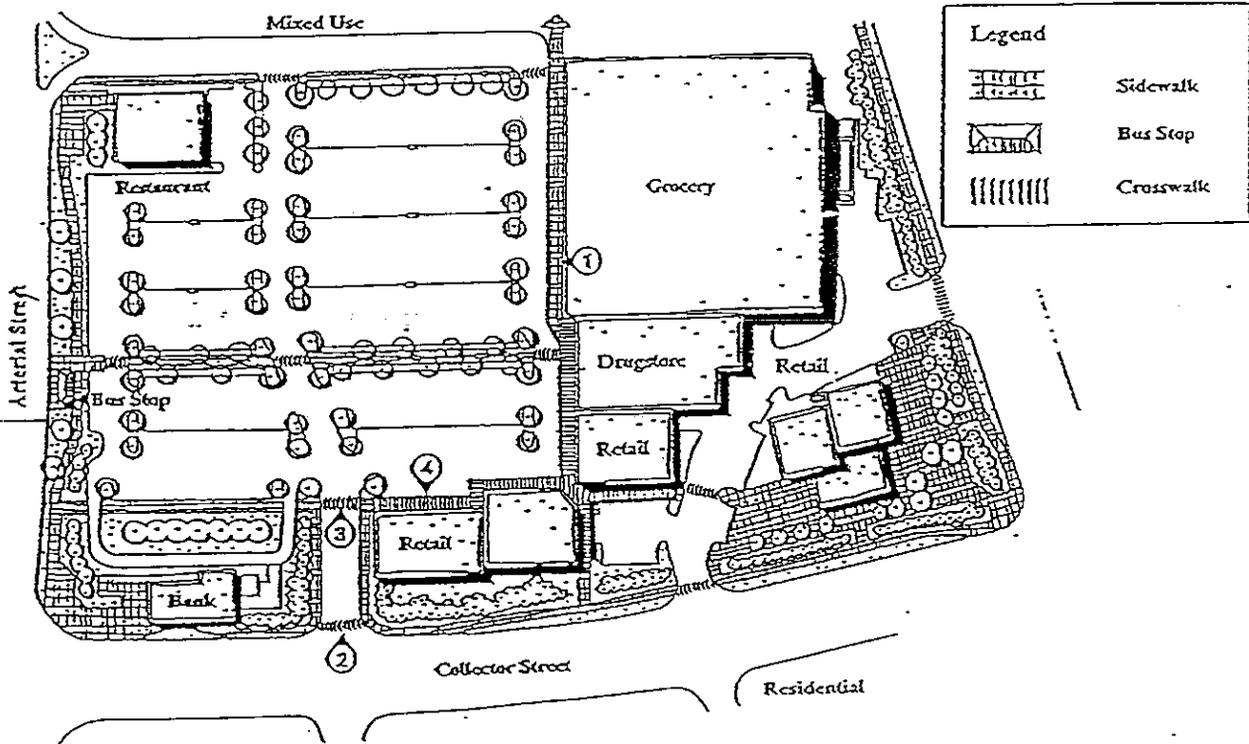
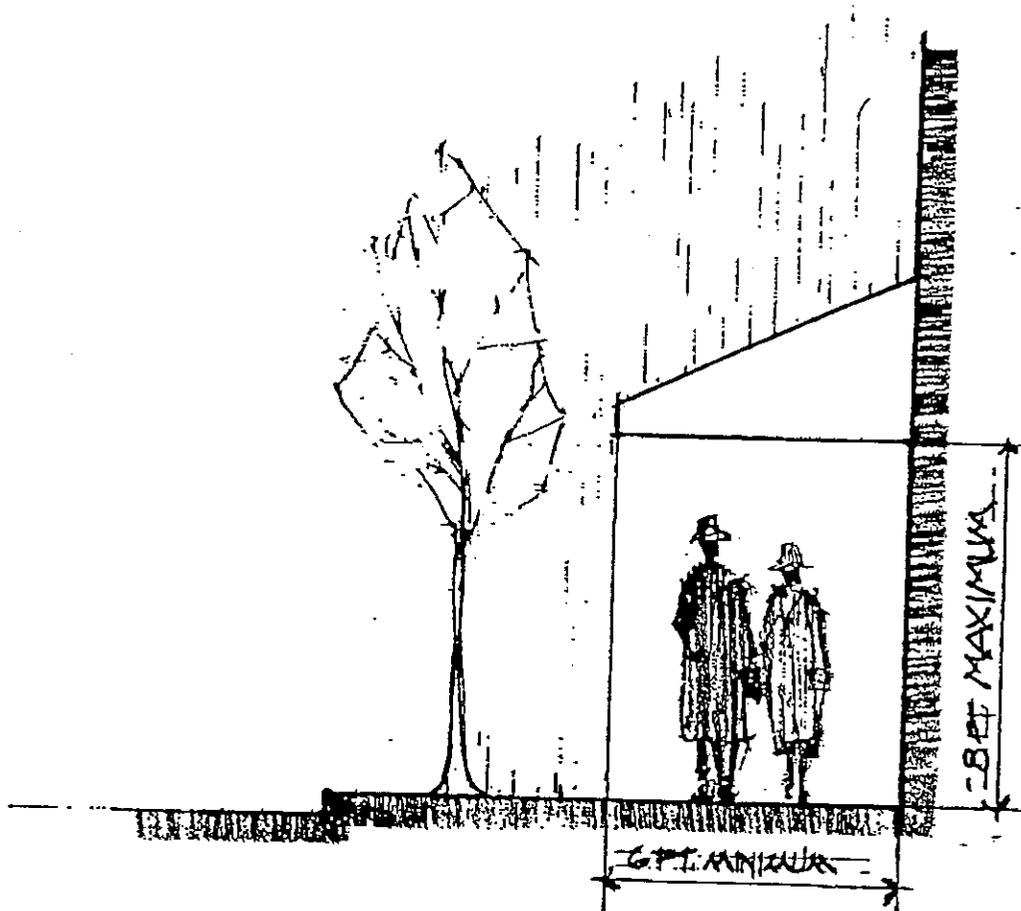


Figure II.C.2.a



WEATHER PROTECTION

Minimum sidewalk dimensions and street tree requirements for sidewalk adjacent to building face or pedestrian oriented space

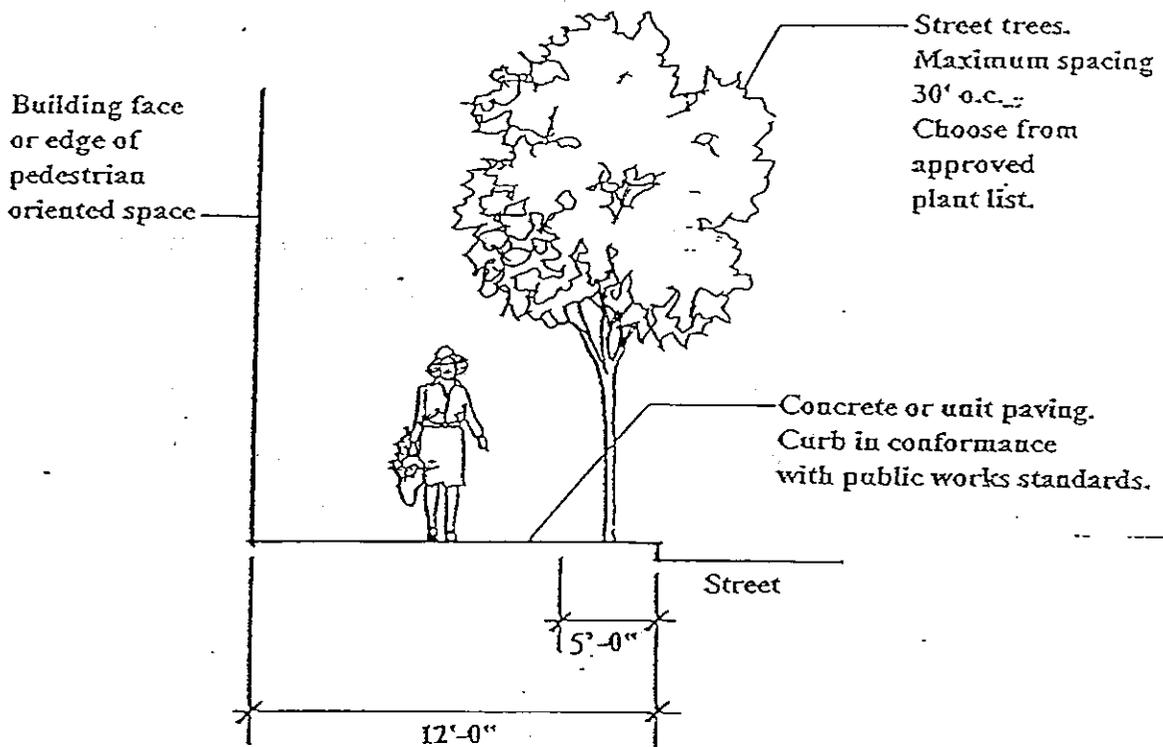


Figure II.F.2.a.

Provide clear pedestrian paths connecting residences with adjoining compatible uses.

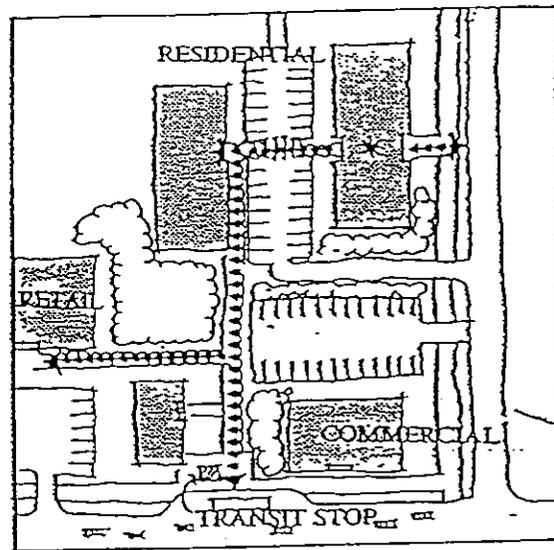
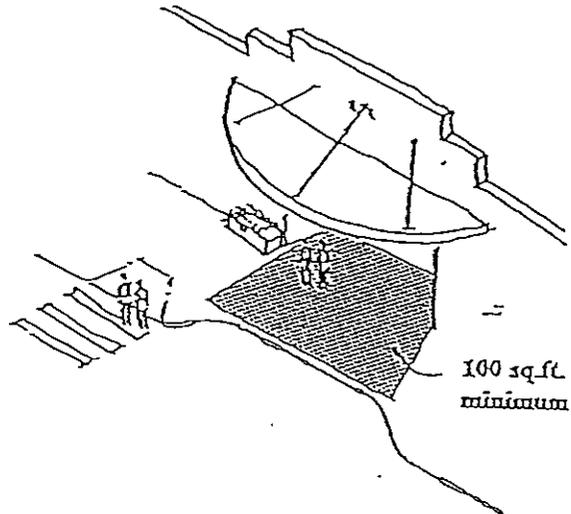


Figure II.G.2.a.(1)

Provide a covered pedestrian open space of a minimum 100 SF adjacent to the entry of all commercial buildings facing parking lots.



Space and plaza for outdoor dining, sales etc.

Arcades and other weather protection



Multi story buildings

Pedestrian oriented uses

Pedestrian oriented facades (window displays)

Desirable pedestrian qualities at building entries

Desirable qualities in a "pedestrian oriented space"

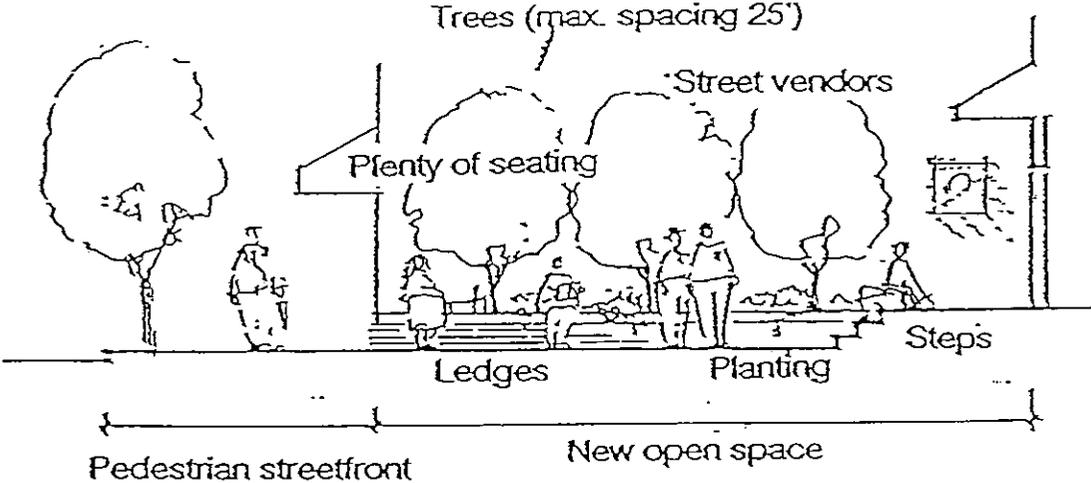
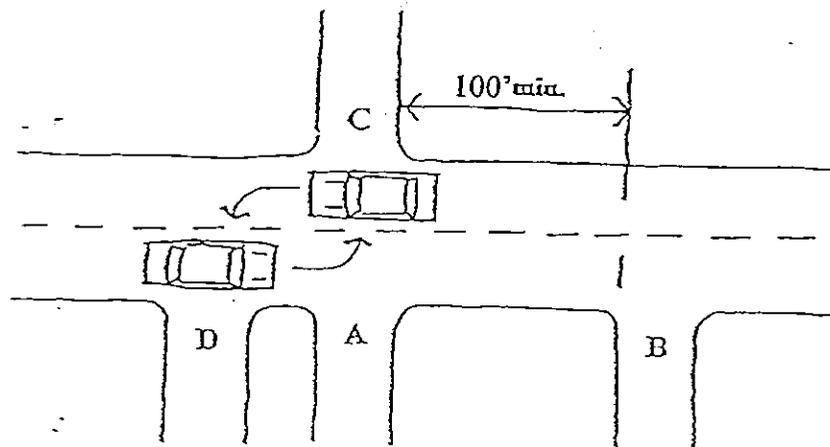
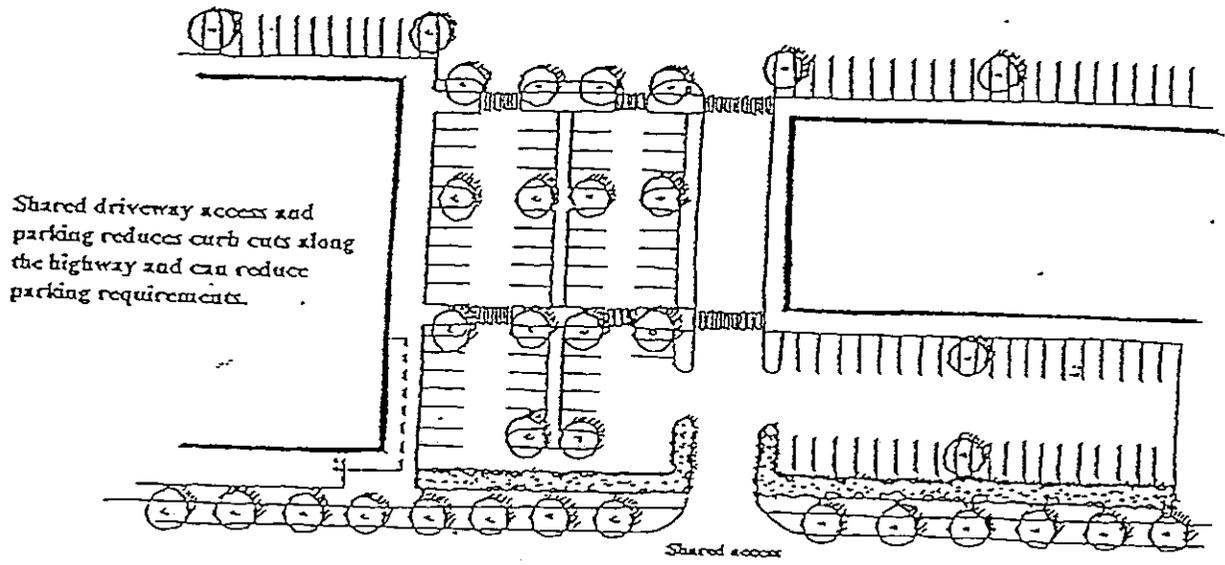


Figure III.B.2.a.(1)



Driveway Combination A/C and B/C are most desirable while D/C should be avoided.

Figure IV.A.2.a

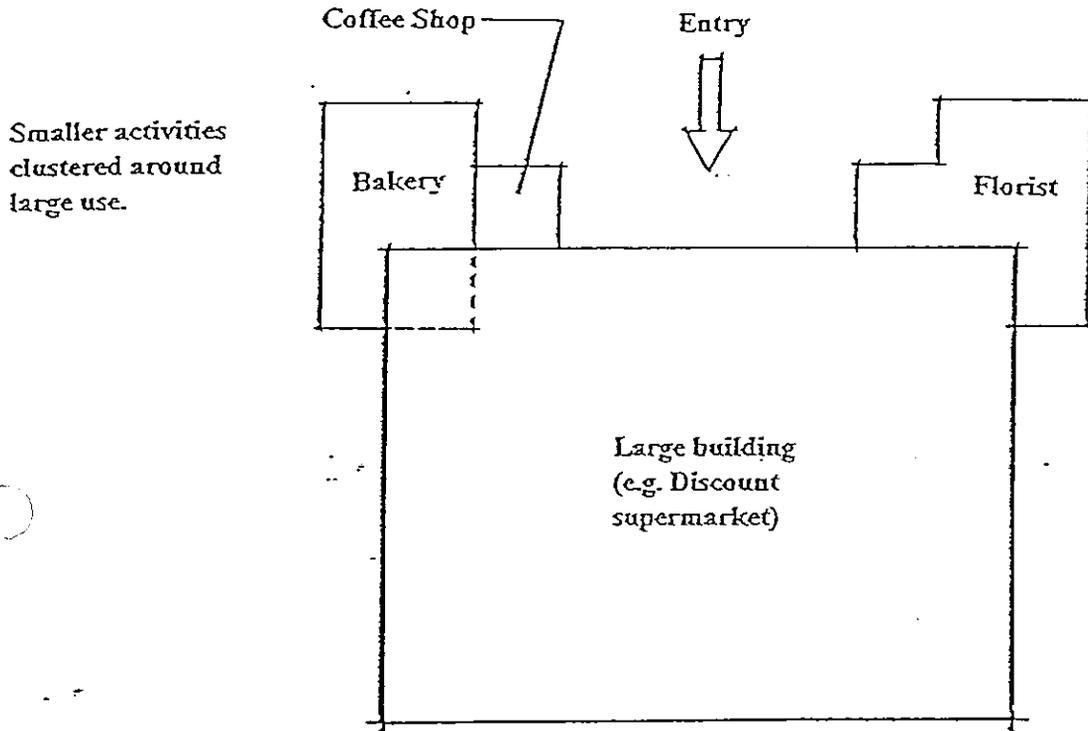
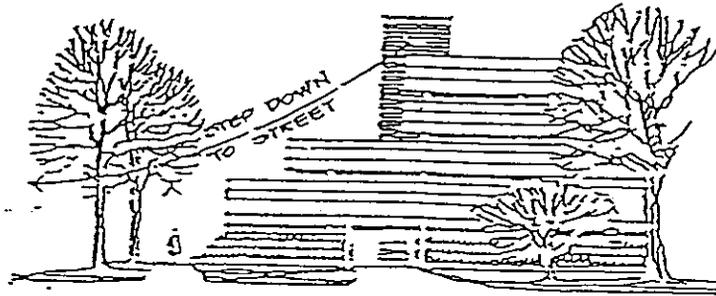
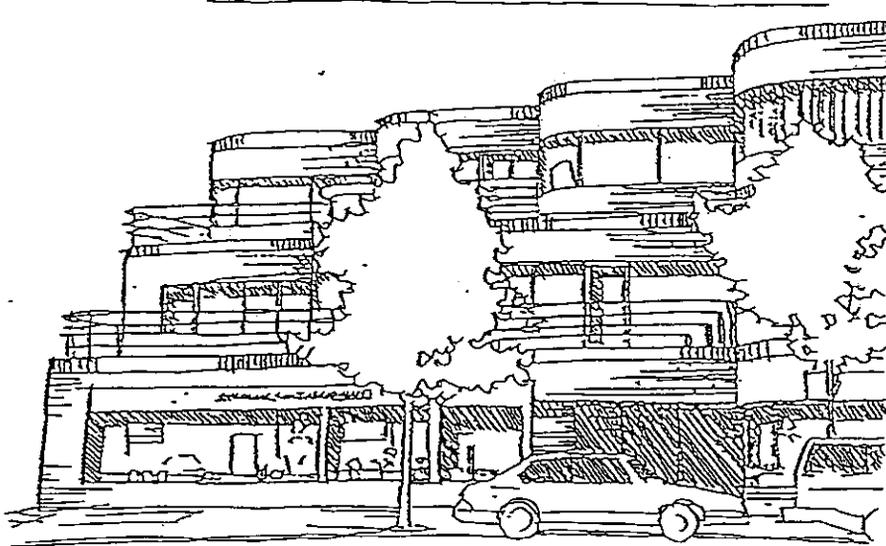


Figure IV.B.2.a.(1)

Upper story setback



The upper stories of this garage are set back to reduce the apparent bulk of the building.
(Ann Arbor, Michigan, Planning Dept).

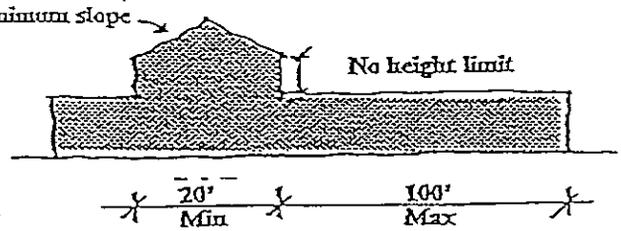
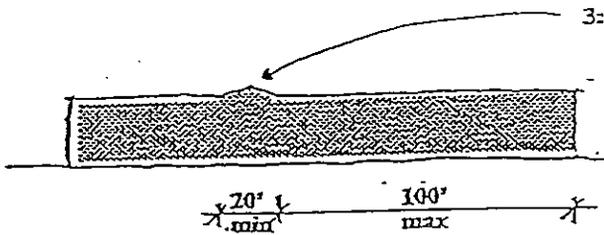
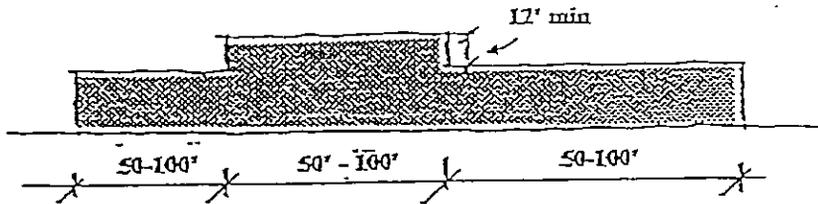
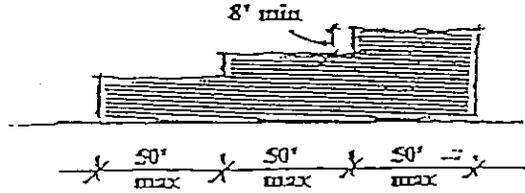
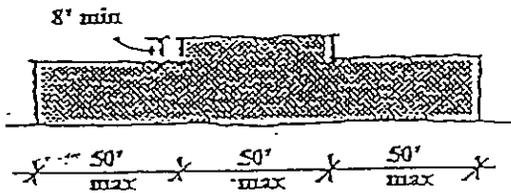


This building's facade is horizontally modulated through setbacks to upper stories. Notice how it reduces the apparent size (or scale) of the building.

Figure IV.B.2.a.(2)

Illustration of different flat roof modulation options.

Note: the dimensions are suggested but not required.



Building articulation to reduce the scale of a building

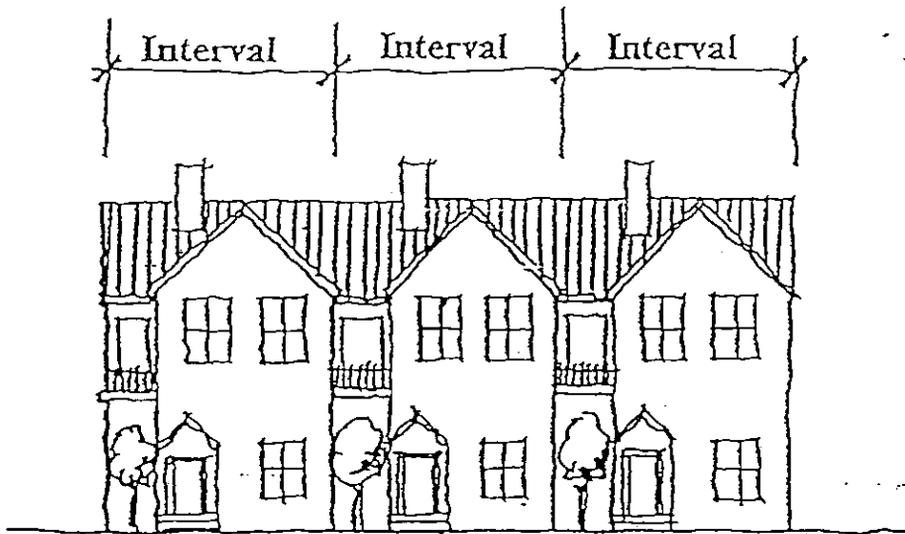
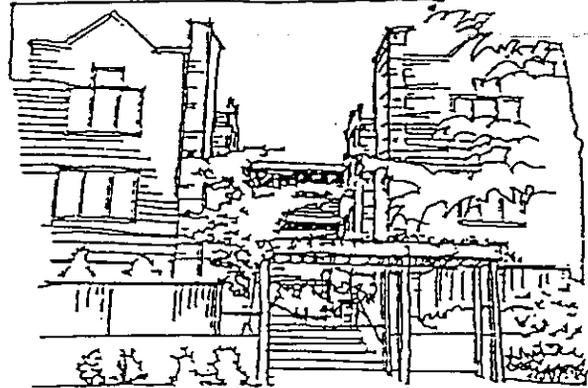
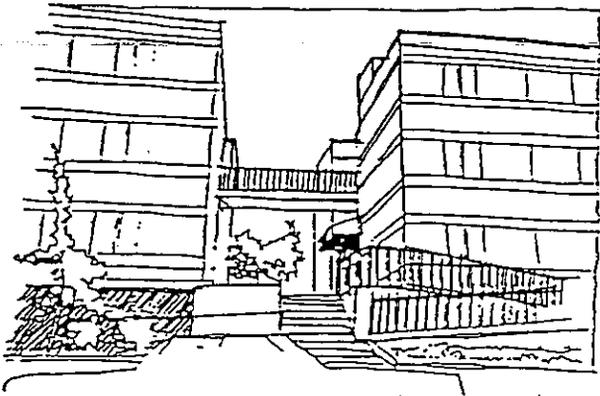
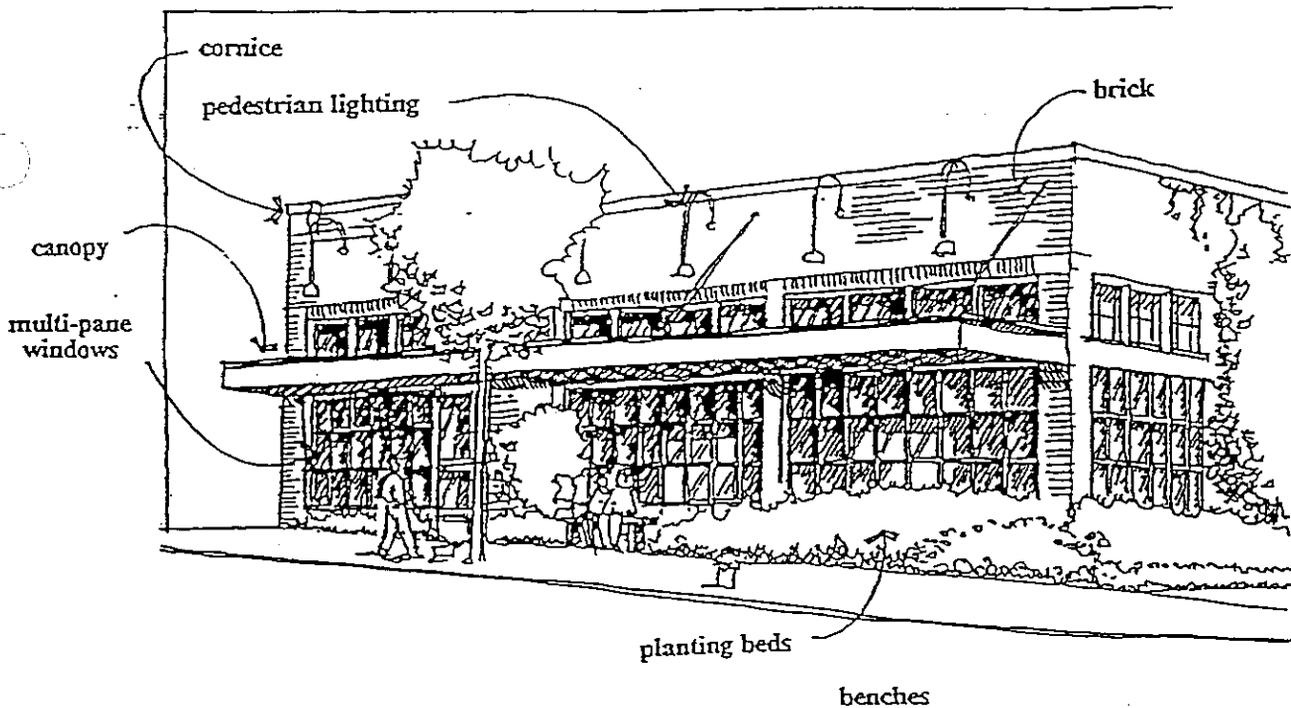


Figure IV.B.2.a.(5)



These two projects point out the importance of architectural elements. They are essentially the same building except that the project on the right employs roof lines, window details,

building articulation, a trellis, chimneys, entry details and other features to add interest and a greater sense of quality.



Example of a building that uses a variety of elements to satisfy guidelines in Pedestrian Friendly Facades, Pedestrian Areas at Building Entries, Human Scale, and Building Details.

Examples of acceptable architectural elements for corner treatment

