

CITY OF WOODINVILLE, WASHINGTON

ORDINANCE NO. 302

AN ORDINANCE OF THE CITY OF WOODINVILLE, WASHINGTON; CREATING DESIGN GUIDELINES AND DESIGN GUIDELINES ADMINISTRATIVE PROCEDURES FOR MULTI-FAMILY DESIGN GUIDELINES; CREATING THRESHOLDS FOR DESIGN REVIEW APPLICABILITY; CREATING TEXT AND NUMBER SYSTEM; AND CREATION OF DEFINITIONS.

WHEREAS, the Planning Commission reviewed the Multi-family Design Guidelines necessary to carry out the City's Vision based on the adopted Vision and Comprehensive Plan of the City of Woodinville on September 20, 2000 and November 1, 2000 meetings. At the public hearing on January 17, 2001, all Commissioners present voted in the affirmative to recommend that the City Council adopt the proposed Multi-family Design Guidelines and Guidelines; and

WHEREAS, at the May 21, 2001 Study Session the City Council reviewed the proposed Multi-family Design Guidelines and directed staff to return with revisions, and for a second Study Session on September 4, 2001, the City Council reviewed the Multi-family Design Guidelines, made minor revisions and directed staff to prepare the proposed "Multi-family Design Guidelines" document in the form of an ordinance;

NOW, THEREFORE, THE CITY COUNCIL OF THE CITY OF WOODINVILLE, WASHINGTON, DO RESOLVE AS FOLLOWS:

Section 1. Multi-family Design Guidelines Document. The City Council hereby adopts Attachment A as the Multi-family Design Guidelines as set forth in full.

Section 2. Severability. If any section, sentence, clause or phrase of this ordinance should be held to be invalid or unconstitutional by a court of competent jurisdiction, such invalidity or unconstitutionality shall not affect the validity or constitutionality of any other section, sentence, clause or phrase of this ordinance.

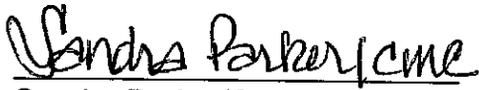
Section 3. Effective Date. This ordinance, or a summary thereof consisting of the title, shall be published in the official newspaper of the City, and shall take effect and be in full force five (5) days after publication.

PASSED BY THE CITY COUNCIL OF THE CITY OF WOODINVILLE THIS 13th 12th DAY
OF NOVEMBER, 2001.



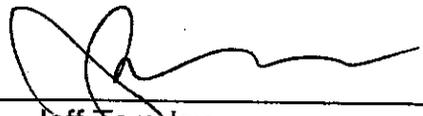
Randolph Ransom, Mayor

ATTEST:



Sandra Parker/CMC
City Clerk

APPROVED AS TO FORM:
OFFICE OF THE CITY ATTORNEY

By: 

Jeff Faraday
City Attorney

FILED WITH THE CITY CLERK:
PASSED BY THE CITY COUNCIL: 11-13-2001
PUBLISHED: 11-19-2001
EFFECTIVE DATE: 11-24-2001
ORDINANCE NO. 302

ATTACHMENT A to Ordinance No. 302
Multi-family Design Guidelines

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I. Site Planning

1.0. Relationship to Street Front

1.1. INTENT

People experience the City of Woodinville from streets. Streets are some of the vital spaces that bind the community together and allow for various modes of movement within the City. The intent for street fronts is:

- 1.1.1. To create an active, safe pedestrian environment;
- 1.1.2. To upgrade residential areas and to establish visual identity for each area;
- 1.1.3. To reflect a small village tradition in structures;
- 1.1.4. To unify streetscapes; and
- 1.1.5. To improve circulation including options for pedestrians, bicycles and vehicles.



All development for properties fronting on a designated "Pedestrian-Oriented Street" as listed in Appendix A-Definitions, shall include: site planning measures to define the street edge; encourage pedestrian access amenities; and provide provisions that support the residential area's design objectives stated in the Land Use Goals and Policies. Accordingly, the development shall comply with 1.2.1. or 1.2.2 and 1.2.3. below. Subject to City approval, the development may be exempt from the minimum street setback requirement of WMC 21.12.030 and the landscaping requirement of WMC 21.16.050(4) between the building and street.

1.2. DESIGN PRINCIPLES

1.2.1. Relate development to designated Pedestrian-Oriented Street frontages.

IMPLEMENTING MEASURES

1.2.1.1.

Adhere to the following standards unless otherwise determined by the Planning Director:

a.

Buildings located along designated Pedestrian-Oriented streets shall provide pedestrian weather protection at least 5' wide along sidewalks and pedestrian routes of the building's front face. The weather protection may be in the form of awnings, marquees, canopies, or building overhangs. There may be gaps in the covering for architectural features, landscaping, or to provide visual variety in the facade.



- b. Buildings must present a "Pedestrian-friendly building facade" (See Appendix A-Definitions) to the street.
- c. Building entries must have direct access to the public sidewalk (entries may be on the side of buildings but they must be visible from the street and connected by a pedestrian pathway).
- e. Driveways are limited to one entry lane and one exit lane per 300'; or one lane each way per lot if the site frontage is less than 300'.
- f. If insufficient right-of-way exists to allow for 12' of public sidewalk, the building may be set back sufficiently to provide at least 12' of walking surface. Subject to Planning Director approval, development may be exempt from the minimum street setback requirement of WMC 21.12.040 and the landscaping requirement of WMC 21.16.050D between the building and street.

1.2.1.2. A minimum of four of the following pedestrian amenities shall be provided near the sidewalk.

- a. Pedestrian furniture such as seating space, lighting, drinking fountain, etc.
- b. Pedestrian-Oriented open space (See Section II.5.2.1.).
- c. Perimeter landscaping (or lawn if configured in a "front yard" setting between building front and the sidewalk).
- d. Space for transit and/or school bus stop with seating, if applicable.
- e. Artwork.
- f. Decorative screen wall, trellis, or other building or site feature as approved by the Planning Director.

1.2.1.3. The City may permit deviation from the specific standards if the Planning Director determines that public benefit can be achieved in terms of the intent described above. The applicant must demonstrate there is a compelling reason to deviate from specific standards and that the deviation will result in increased pedestrian activity and visual interest along the street.

1.2.2. Relate development to street fronts for streets that are not designated as Pedestrian-Oriented Streets.

IMPLEMENTING MEASURES

All development for properties on streets not designated as Pedestrian-Oriented Streets shall include site-planning measures to create an attractive street edge, accommodate pedestrian access, and comply with the Land Use Goals and Policies. Accordingly the development must conform to provisions contained in Section 1.2.2.a. or 1.2.2.b. below.

1.2.2.1. Provide the following amenities near the sidewalk:

- a. Physically define the street edge with building, landscaping or other features as approved by the City of Woodinville Planning Director.
- b. Provide sufficient room for a sidewalk at least 8' wide if there is not space in the public right-of-way.

1.2.3. To use the architectural elements of a building and landscaping to highlight and define the entrance.

IMPLEMENTING MEASURES

1.2.3.1. Enhance the primary building entry access of multifamily residential buildings by required and optional measures indicated below.

a. Required measures:

- (1). Provide weather protection such as an awning, canopy, marquee, or other building element to create a covered pedestrian open space of at least 100 square feet;
- (2). Provide at least 200 square feet of landscaping at or near the entry;
- (3). In addition to WMC 21.18.030 (4) regarding bicycle parking, provide benches and other pedestrian facilities, such as, kiosks, special paving, etc;
- (4). Provide special pedestrian scaled lighting;

b. Optional items - these items are encouraged and may be substituted if required items are restricted by site conditions or design, as approved by the Planning Director:

- (1) Provide a trellis, porch, or other building element that incorporates landscaping;
- (2) Provide building ornamentation such as mosaic tile, relief sculpture, ornamental wood, or metal trim, etc.;
- (3) Provide artwork or special pedestrian-scaled signs;
- (4) Other enhancements as approved by the City.

2.0. Interior Yard Compatibility

2.1. INTENT:

To promote functional and visual compatibility between adjacent properties.

In addition to the requirements of WMC 21.14.250 and in compliance with 2.2.1.1 through 2.2.1.4 below, locate service areas, outdoor storage areas, and other intrusive site features away from neighboring properties to reduce conflicts with adjacent uses.

2.2. DESIGN PRINCIPLES

2.2.1. Minimize visibility and impacts.

IMPLEMENTING MEASURES

Landscape screening, buffer, or other forms of screening must be provided along property lines adjacent to "incompatible uses". Incompatible uses include: outdoor storage areas adjacent to any other use, service areas adjacent to any other use, commercial development adjacent to a residentially zoned or developed property.

- 2.2.1.1 The buffer must conform with the requirements of WMC 21.16.060 - Landscaping-interior lot lines.
- 2.2.1.2 Where outdoor storage is greater in size than 120 square feet and abuts a commercial area or industrial use, 10' width of Type II landscaping shall be provided.
- 2.2.1.3 Integrate outdoor storage areas and loading facilities into the site design to minimize their size, reduce visual impact, and where appropriate allow for pedestrian and vehicular movement between sites.
- 2.2.1.4 A reduction of the landscape buffer separating single-family residents shall not be considered. Increased buffer width may be encouraged.

3.0. Multiple Building & Large Lot Developments

3.1. INTENT

The intent of this section is to encourage project designers to coordinate design principle requirements into an innovative organizational scheme that integrate the new development into the existing/proposed structure and create a Pedestrian-Oriented focus. **In addition to other requirements, multiple building / large lot developments are:**

- 3.1.1. **To take advantage of special opportunities to create a composition of buildings and landscape features that shall complement each other .**

3.2. DESIGN PRINCIPLES:

3.2.1. Take advantage of opportunities to mitigate impacts of large developments.

IMPLEMENTING MEASURES

The site planning for all developments must demonstrate a unifying, organized design that:

- 3.2.1.1. Incorporates open space and landscaping as a unifying element.
- 3.2.1.2. Where possible, incorporate environmental mitigation, screening, utilities and drainage as positive elements (example: create a "natural" open space or wet pond as a site feature to accommodate surface water runoff).
- 3.2.1.3. Provide pedestrian paths or walkways connecting all dwelling units and the entries of multiple buildings as required by WMC 21.18.100.

3.2.2. Provide pedestrian paths from / to all transit stops within 1200 feet of the site.

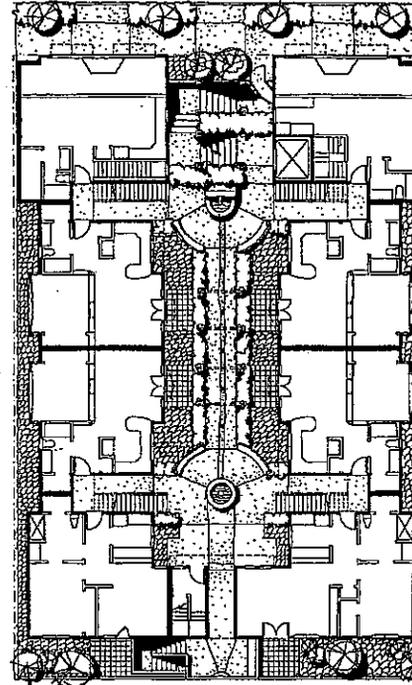
IMPLEMENTING MEASURES

- 3.2.2.1. Enhance transit stops by providing rider convenience and amenities such as weather protected seating, newspaper dispensers, and postal boxes.

3.2.3. Integrate pedestrian accommodations for transit stops into the development of streets, public and private in addition to WMC 21.18.090.

IMPLEMENTING MEASURES

- 3.2.3.1. Integrate on-site pedestrian circulation with adjoining right of way activity and development.



4.0. Mechanical Equipment and Service Areas

4.1. INTENT

- 4.1.1. To minimize adverse visual, olfactory, or auditory impacts of mechanical equipment at ground and roof levels.
- 4.1.2. To encourage more thoughtful siting of trash containers and community service areas.

Locate service areas (trash dumpsters, mechanical equipment, and storage yards) to avoid negative visual, auditory (per Ordinance 8.08 -- Noise), or physical impact on the street environment, and adjacent residentially zoned or developed properties.

4.2. DESIGN PRINCIPLES

4.2.1. Reduce impacts of refuse containers and storage areas.

IMPLEMENTING MEASURES

4.2.1.1. Refuse containers are not to be visible from the sidewalk and adjacent properties. They shall be screened by masonry or solid wood enclosures. The masonry enclosure is to screen refuse containers, including lids, and refuse stacked in containers. Dumpsters, refuse, and recycling collection points shall be screened in accordance with WMC 21.14.250. (See Section I.B. Interior Yard Compatibility, above)

4.2.1.2. Refuse enclosure shall be a minimum eight feet tall from finish grade of floor of enclosure to top of enclosure wall.

4.2.1.3. Gates shall be solid wood.

4.2.1.4. Screened trash containers shall be a minimum of 44 feet from the wall of any structure where there is access to the structure for the residents.

4.2.1.5. Locate and screen mechanical equipment at ground level and attached to structures to reduce visual impacts from streets and adjoining properties;

4.2.1.6. Locate and screen roof mounted mechanical equipment so that the equipment is not visible within 150 feet of the structure when viewed from ground level of adjacent properties. Match the color of roof mounted equipment with the exposed color of the roof to minimize visual impacts when equipment is visible from higher elevations nearby.

4.2.1.7. Locate and screen utility meters, electrical conduit, and other service and utilities apparatus so as not to be visible from adjoining and nearby streets.

5.0. Biofiltration Swales

5.1. INTENT

The design principles below are intended to integrate grass swales, if used, into site design while maintaining biofiltration efficiency.



- 5.1.2. To provide attractive options for the provision of grass-lined biofiltration swales.
- 5.1.3. To incorporate biofiltration swales and ponds into project site design and landscaping more effectively.

5.2. DESIGN PRINCIPLES:

- 5.2.1. Integrate biofiltration swales and ponds into the overall site design through one of the following:

IMPLEMENTING MEASURES

Where water quality filtration is required, methods of filtration listed below are in order of preference.

- 5.2.1.1. Locate biofiltration swales, ponds, or other approved biofiltration systems as part of a landscape screen. Trees may be planted near the grass swale as long as they do not substantially shade the grass within the swale. The swale or pond should be designed so it does not impede pedestrian circulation or shared parking between two or more properties.
- 5.2.1.2. Where topography is favorable, locate biofiltration swale, wet pond, or other approved biofiltration system within the paved parking or service area. The swale or pond should be landscaped as part of the required internal parking lot landscaping and oriented so it does not impede pedestrian circulation.
- 5.2.1.3. Incorporate landscaping and screening to visually enhance the swale without reducing maintainability and sun exposure.
- 5.2.1.4. The incorporation of screening elements and/or landscaping into biofiltration swale designs is encouraged if the biofiltration swale is located and/or designed as a positive landscaping feature with approved design and plant materials. It may be counted as part of the required site landscaping.



6.0. Street Corners

6.1. INTENT

- 6.2.1. To create and preserve visual images for identification and spatial reference at street corners.

6.2. DESIGN PRINCIPLES:

6.2.1. Enhance the visual quality of corners at the intersections of public streets.

IMPLEMENTING MEASURES	DPOS	NDPOS
6.2.1. Locate building within 15 feet of either or both front property lines.	R	O
6.2.2. Install substantial landscaping (at least 200 Square Feet of ground surface area with trees and shrubs or living ground cover) at or near the corner of the lot. Landscaping may include plant material to form a low hedge. However, care should be taken to not create a visibility or security problem.	R	R
6.2.3. Install a decorative screen wall (at least 2 feet 6 inches high), a trellis, or other continuous architectural element, with a length of at least 20 feet, along the street front property line. Height and location of elements are not to create a visibility or security problem.	O	O
6.2.4. Provide paved pedestrian walkway from the street corner to the building entrance to encourage walking.	R	O
6.2.5. Other element or method would be considered for approval if the proposed element or method conforms with the intent of this section as determined by the Planning Director.	O	O
DPOS Designated Pedestrian Oriented Street NDPOS Non-Designated Pedestrian Oriented Street R Required O Optional		



7.0 Site Lighting

7.1. INTENT

- 7.1.1. To encourage the use of lighting as an integral design component to enhance buildings, landscaping, or other site features.
 - 7.1.2. To encourage night sky's visibility and to reduce the general illumination of the sky in Woodinville.
 - 7.1.3. To reduce horizontal light glare and vertical light trespass from a development site onto adjacent parcels and natural features.
 - 7.1.4. To encourage the judicious use of lighting in conjunction with other security methods to increase site safety.
-

7.2. DESIGN PRINCIPLES:

- 7.2.1. Provide adequate lighting levels in all areas used by pedestrians or automobiles, including building entries, walkways, parking areas, circulation areas, and other open space areas.

IMPLEMENTING MEASURES

New developments shall provide site lighting that meets the following design criteria:

- 7.2.1.1 All public areas shall be lighted with minimum and maximum levels as follows:
 - o Minimum (for low or non-pedestrian and vehicular traffic areas): 0.5-foot candles
 - o Moderate (for moderate or high volume pedestrian areas): 1-2 foot candles
 - o Maximum (for high volume pedestrian areas and building entries): 4-foot candles
- 7.2.1.2. Lighting shall be provided at consistent levels, with gradual transitions between maximum and minimum levels of lighting and between lit areas and unlit areas. Highly contrasting pools of light and dark areas shall be avoided.
- 7.2.1.3. Parking lot lighting fixtures shall be non-glare and mounted no more than 25 feet above the ground. All fixtures over 15 feet in height shall be fitted with a full cut-off shield.
- 7.2.1.4. Pedestrian-scaled lighting fixtures are recommended in areas of pedestrian activity. Illumination standards shall comply with the WMC and the City's Infrastructure Standards and Specifications.

- 7.2.1.5. Lighting shall not be permitted to trespass on to adjacent parcels or rights-of-way. Nor shall light source (luminaire) be visible at the property line. Full compliance with WMC 21.14.110 shall augment this section.
- 7.2.1.6. All building lights shall be directed onto the building itself and/or the ground immediately adjacent to it. The light emissions should not be visible above the roofline of the building.
- 7.2.1.7. Light fixtures other than traditional cobra heads are required.

8.0 Retention of Significant Trees

8.1. Intent

- 8.1.1. To create and retain public open space that provides adequate access to the community.
 - 8.1.2. To preserve and protect stands of mature trees.
 - 8.1.3. To aid in the stabilization of soil by preventing erosion.
 - 8.1.4. To reduce storm water runoff and costs associated with it.
 - 8.1.5. To provide an important visual buffer and screen from traffic.
 - 8.1.6. To conserve and enhance the aesthetic value of the area and protect and enhance property values.
 - 8.1.7. To provide natural settings for paths connecting residential areas with transit stops.
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8.2. Design Principles

- 8.2.1. Adhere to the requirements of WMC 21.16.130.
- 8.2.2. Consider alternative building and parking siting strategies to preserve existing trees.
- 8.2.3. Consider the integration of pedestrian and bicycle paths with stands of mature trees where feasible to connect adjacent uses.



9.0. Landscape Concept

9.1. Intent

- 9.1.1. To encourage plant species that are attractive, provide multi-seasonal interest, require low maintenance, are resistant to drought, and are otherwise appropriate for conditions within the Residential districts.
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9.2. Design Principles

9.2.1. Develop a site landscape design concept.

Implementing Measures:

The landscaping concept should be suitable and fitting with the character of Woodinville as a community bordering rural and agricultural areas. Existing substantive vegetation and native materials in informal plantings and arrangements should be considered in the concept.

More structured or formal landscaping may be allowed where it is necessary to control planting due to limited space.

- 9.2.1.1. At a minimum, the landscape concept should include greenrows and surface water biofiltration features.

- 9.2.1.2. Plantings and/or site features should be scaled to larger residential structures and enhance the architectural qualities of buildings.

- 9.2.1.3. In addition, the concept should consider the following landscape design objectives where appropriate:

- 9.2.1.3.a. Coordinate the selection of plant material to provide a succession of blooms, seasonal color, and a variety of texture.
- 9.2.1.3.b. Provide a transition in landscaping design between adjacent sites, within a site, and from native vegetation areas in order to achieve greater continuity.
- 9.2.1.3.c. Design landscaping to create definition between public and private spaces.
- 9.2.1.3.d. Design landscaping to provide a transition between built structures (vertical planes) and the site (horizontal planes).
- 9.2.1.3.e. Use plantings to accent and highlight significant site features and to define the function of the site, including parking, circulation, entries, and open space.



10.0. Preferred Plant Materials

10.1. Intent

- 10.1.1. To encourage the use of hardy, attractive, and easily maintained plant material that provides multi-seasonal interest and is of appropriate height to avoid overhead wires and negative impacts on public safety.
 - 10.1.2. To provide visual continuity by using plant materials from a City-specified plant list of a limited number of native varieties and species.
 - 10.1.3. To encourage the use of trees and shrubs as an important unifying element within the industrial areas to strengthen the image and continuity of the streetscape.
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10.2. Design Principles

- 10.2.1. Plantings along the frontage shall be coordinated to unify the roadway image, according to the City's adopted Street Tree Plan
- 10.2.2. Selected plant materials from the City of Woodinville's list of trees and shrubs shall be used to satisfy landscape requirements to provide visual continuity along the roadway.

11.0 Parking Lot Landscaping

11.1. Intent

- 11.1.1. To develop a positive image for the residential areas.
 - 11.1.2. To reduce the summertime heat and glare within and adjacent to parking lots.
 - 11.1.3. To provide landscaped areas within parking areas in addition to landscape buffers around the perimeters of parking lots.
 - 11.1.4. To provide pleasant pedestrian ways through parking lots.
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11.2. Design Principles

11.2.1. Provide surface parking area landscaping in accordance with WMC 21.16.

11.2.2. An alternative-landscaping plan to the required surface parking area landscaping may be submitted in accordance with WMC 21.16.100, "Landscape alternative options."

Implementing Measures:

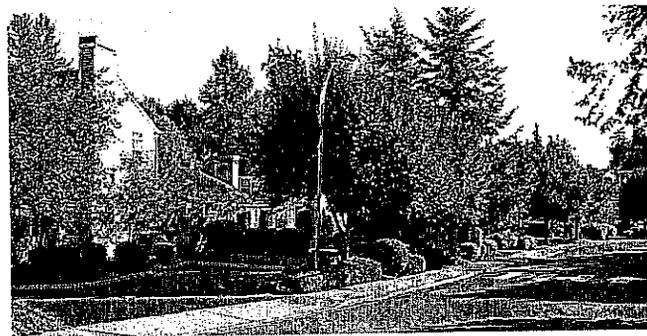
In addition to the criteria contained in WMC 21.16.100, the alternative landscaping proposal shall provide for one or more of the following:

- 11.2.2.1. Integrate interior surface parking landscaping with required biofiltration swales and surface water detention ponds.
- 11.2.2.2. Incorporate or protect natural features, including wetlands, significant trees and vegetation, and slopes.
- 11.2.2.3. Preserve distant views.
- 11.2.2.4. Create an extension or connection to a local park or a regional bicycle/pedestrian trail system.

11.2.3. Meet the standards for plant material, installation, and maintenance in WMC 21.16.090, "Landscaping." Plant species will be as approved by the City.

Implementing Measures:

The landscaping required for perimeter screening shall be in addition to the landscaping required under WMC 21.16.



12.0. Safety

12.1. INTENT:

To promote safe livable areas.

The proper design and effective use of the built environment can lead to increase residence sense of safety and security, and an improvement of the quality of life. As applicable, utilize Crime Prevention Through Environmental Design (CPTED) strategies

12.2. Natural Access Control

A design concept directed primarily at decreasing crime opportunity by denying access to crime targets and creating in offenders a perception of risk. Gained by designing streets, sidewalks, building entrances and neighborhood gateways to clearly indicate public routes and discouraging access to private areas with structural elements.

1. Balcony railings should never be a solid opaque material of more than 42 inches high.

2. Entrances into parking lots should be defined by landscaping, architectural design, or monitored by a guard.
3. Dead end spaces (i.e. no escape spaces) should be blocked by a fence or gate.
4. Common building entrances should have locks that automatically lock when the door closes.
5. Hallways should be well lit.
6. Elevators and stairwells should be centrally located.
7. Access driveways should be limited to no more than two points.

22.2. Natural Surveillance

A design concept directed primarily at keeping intruders easily observable. Promoted features that maximize visibility of people, parking areas and building entrances: doors and windows that look out on to streets and parking areas; pedestrian-friendly sidewalks and streets; front porches; and adequate nighttime lighting.

1. Exterior doors should be visible from the street or by neighbors.
2. All doors that open to the outside should be well lit.
3. Four facades should have windows, if possible.
4. Parking spaces should be assigned to each unit located adjacent to that unit, and not marked by unit numbers.
5. Visitor parking should be designated.
6. Parking areas should be visible from windows and doors.
7. Parking areas and pedestrian walkways should be well lit.
8. Recreation areas should be visible from a multitude of windows and doors.
9. Dumpsters should not create blind spots or hiding areas.
10. Elevators and stairwells should be clearly visible from windows and doors.
11. Shrubbery should be no more than three feet high for clear visibility. Buildings should be sited so that the windows and doors of one unit are visible from another.
12. Stairwells should be well lit and open to view; not behind solid walls.
13. All buildings and residential units should be clearly identified by street address numbers that are a minimum of five inches high, and well lit at night.

II. Pedestrian Amenities

1.0. General Access Requirements

1.1. INTENT

- 1.1.1. In keeping with the City's commitment to pedestrians, priority treatment is given to pedestrian accommodations in the design of transportation modes for on-site developments using City street standards.
 - 1.1.2. To improve the pedestrian environment by making it easier, safer, and more comfortable to walk between dwellings, on street sidewalks, to transit stops, and through parking lots. Pedestrian facilities such as sidewalks, crosswalks, and bus shelters should connect all modes of transportation .
 - 1.1.3. To provide convenient pedestrian circulation connecting all on-site activities to adjacent pedestrian routes and street ROWs.
 - 1.1.4. To provide safe pedestrian routes across busy streets by a variety of means, including signalized intersections at driveways with heavy traffic volumes and distinctively marked crosswalks.
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1.2. DESIGN PRINCIPLES

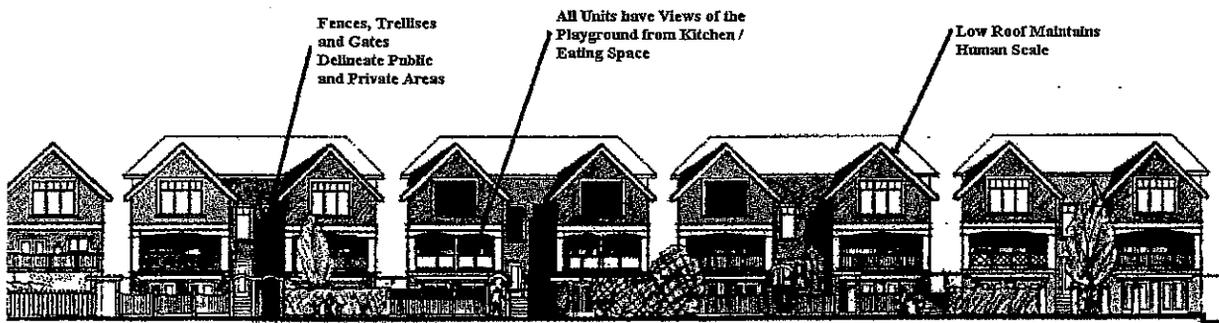
- 1.2.1 Provide safe convenient pedestrian circulation for all users.

IMPLEMENTING MEASURES

- 1.2.1.1. Provide pedestrian access onto the site from the main street off of which the use is located. Where a use fronts two streets, access shall be provided from the road closest to the main entrance.
- 1.2.1.2. Provide pedestrian access in accordance with WMC 21.18.100 (Pedestrian Circulation and Access) and City of Woodinville Park, Recreation & Open Space (PRO) Plan, unless otherwise directed by these design principles.
- 1.2.1.3. Access shall conform with Federal, State and local codes for the Americans with Disabilities Act.
- 1.2.1.4. Provide adequate lighting at building entries, and along all walkways including paths through parking lots. Lighting fixtures illuminating pedestrian areas are recommended to be at pedestrian scale. Adequate lighting levels for safety is at least 4 foot-candles average at the building entry and 2 foot-candles average at walkways and paths (see Site Lighting for more information).

Lighting level uniformity, average to minimum, shall be 2:1 or better.

- 1.2.1.5. Provide safe, convenient, on-site pedestrian circulation.
- a. Provide paved pedestrian path from the street sidewalk to the main entry of all buildings.
 - b. Buildings with entries not facing the street should have a clear and obvious pedestrian access way from the street sidewalk to the entry.



View From Access Lane / Playground

2.0. Pedestrian Access and Parking Lots

2.1. INTENT

- 2.1.1. To provide safe and convenient pedestrian paths from the street sidewalk through parking lots to building entries in order to encourage pleasant walking experiences between and surrounding the dwellings.**
 - 2.1.2. To provide inviting, pleasant pedestrian circulation system that integrates with parking as access to nearby uses.**
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2.2. DESIGN PRINCIPLES

- 2.2.1. Provide pathways through parking lots.**

IMPLEMENTING MEASURES

- 2.2.1.1. Provide specially marked or paved walkways through parking lots in accordance with WMC 21.18.100.**

- 2.2.2. Develop an on-site pedestrian circulation system.**

IMPLEMENTING MEASURES

- 2.2.2.1. Develop an on-site pedestrian circulation plan in compliance with WMC 21.18.100.**
- 2.2.2.2. Integrate on-site walkways with required parking lot landscaping.**

3.0. Sidewalk - Size and Materials

3.1. INTENT

- 3.1.1. To provide safe, convenient and pleasant pedestrian sidewalks for circulation along all streets.**
-

3.2. DESIGN PRINCIPLES

- 3.2.1. Provide wide sidewalks along Pedestrian-Oriented streets for a variety of activities that accommodate and complement city life.**

IMPLEMENTING MEASURES

- 3.2.1.1. On Designated Pedestrian-Oriented streets:**



- a. Provide at least 12' wide sidewalks along both sides of Pedestrian-Oriented Streets. Development complying with this section may be exempt from the requirements of WMC 21.12.030.
- b. The ground level of all new buildings located adjacent to a Pedestrian-Oriented Street shall be set back from the front property line sufficiently to provide a sidewalk at least 12' wide, distance as measured from the back of the curb to the front edge of the building. This dimension must be paved with concrete or unit paving in a manner suitable for pedestrian traffic
- c. Unit pavers installed in walks shall relate to existing conditions in color, texture and walk design in all designated Pedestrian - Oriented streets except those in the Tourist District Overlay zone .
- d. If the City of Woodinville (City) has a programmed street improvement for the public ROW in front of a building to be constructed, the required 12' minimum width shall be measured from the proposed back of the curb location and may include public right of way and private property. Upper building stories may extend to the front property lines as long as they do not restrict pedestrian traffic. All new fences, screen walls, and other obstructions to pedestrian traffic shall also be set back 12' from the back of the curb if located on a Pedestrian-Oriented Street.
- e. Where street ROW is insufficient to provide adequate sidewalks, buildings and other site features must be set back from the public ROW to achieve at least the minimum sidewalk widths in accordance with the City's adopted standards.

3.2.2. Relate to existing conditions or to adopted street standards where existing conditions do not conform with applicable street standards.

3.2.3. General requirements for sidewalks not on a designated Pedestrian-Oriented street include the following:

IMPLEMENTING MEASURE

- 3.2.3.1. Provide a clear and obvious pedestrian access way from the street sidewalk to the principle entry of a building that does not directly face the street. Separate the access way from vehicular traffic.



4.0. Pedestrian Paths

4.1. INTENT

- 4.1.1. To provide safe and direct pedestrian access in residential areas to accommodate pedestrian movement patterns, to minimize conflicts between pedestrians and vehicular traffic, and to provide pedestrian connections to neighborhoods.
 - 4.1.2. To provide safe routes for the pedestrian and disabled person across parking, to entries, and between buildings.
 - 4.1.3. To accommodate non-competitive / non-commuter bicycle riders who use bicycles on short trips for exercise and convenience.
-

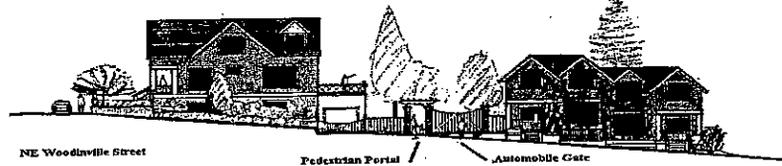
4.2. DESIGN PRINCIPLES

- 4.2.1. Provide safe and direct access in residential areas for all users.

IMPLEMENTING MEASURES

- 4.2.1.1 Provide pedestrian circulation routes in accordance with WMC21.18.100, 21.14.270-290 – trail corridors from building entries to:

- a. Services within the same development;
- b. Building entries of nearby residential complexes; and



View Along Street Front

- c. Sidewalks along abutting roadways.

- 4.2.1.2. Where possible, provide steps and ramps across retaining walls and slopes in accordance with WMC 21.18.100.
- 4.2.1.3. Fences shall provide for pedestrian access by gates to shopping and other common activities, especially to transit.
- 4.2.1.4. Adjacent landscaping shall not block visibility to and from a path, especially where it approaches a roadway or driveway according to WMC 21.12.200.
- 4.2.1.5. Pedestrian walks shall be separated from structures at least three feet for landscaping.

5.0. Pedestrian Activity, Plazas, On-site Recreation and Open Space

5.1. INTENT

- 5.1.1 To provide a variety of pedestrian areas to accommodate residents and visitors on designated Pedestrian-Oriented streets.
 - 5.1.2 To provide a rich and varied recreation and open-space experience.
-

5.2. DESIGN PRINCIPLES

- 5.2.1. Provide Pedestrian-Oriented Open Space (see Appendix A - Definitions) at key locations.

IMPLEMENTING MEASURES

Compliance with some of the following measures supersedes requirements of WMC 21.12.030 and WMC 21.16.050. This section may augment section WMC 21.14.180 - .240. Where the front building facade on a designated Pedestrian-Oriented Street is not directly adjacent to the sidewalk, the space between the sidewalk pavement and the building (the front yard) shall be developed as a garden, lawn, and/or pedestrian-oriented space meeting the requirements indicated below :

- 5.2.1.1. The table below combines requirements for designated and non-designated Pedestrian Oriented Streets. To qualify as a "Pedestrian-Oriented Space" an area must have:



REQUIREMENT	DPOS	NDPOS
a. Visual and pedestrian access (including handicapped access) into the site from the public ROW;	R	R
b. Paved walking surfaces of either scored pattern concrete or approved unit paving;	R	O
c. Seating: at least 2 linear feet of seating area (bench, ledge, etc.) or one individual seat per 60 SF of plaza area or open space	R	O
d. Landscaping that does not act as a visual barrier.	R	R
e. Site furniture, artwork, or amenities such as fountains, kiosks, etc.	R	O
DPOS	Designated Pedestrian Oriented Street	
NDPOS	Non-Designated Pedestrian Oriented	
R	Required	
O	Optional	

5.2.2. "Pedestrian-Oriented Space" shall not have:

- a. Asphalt pavement, gravel surface, or crushed, and tumbled glass.
- b. Adjacent non-buffered parking lots.
- c. Adjacent chain link fences.
- d. Adjacent "blank walls" (see Appendix A-Definitions) without "blank wall treatment."
- e. Any features similar to a. through d. above that are not in character.

5.2.3. Provide Communal and/or Private Open Space (see Appendix A - Definitions) at key locations.

IMPLEMENTING MEASURES

Promote a sense of ownership for each resident. Provide alternative recreation opportunities with resident control. Provide a shared open space for the residents allowing them to interact and establish a sense of community and belonging, creating the opportunity to share in a communal experience. This may translate into a sense of pride, interdependency, and ownership that will directly affect the lives and safety of everyone living there. The development is encouraged to provide one of the following:

- 5.2.3.1. Provide each resident with an area (pea-patch) for cultivating vegetables, planting flowers, etc. Each area is encouraged to be a minimum of 50 square feet per dwelling unit.

- 5.2.3.2. Create terraced landscape areas that incorporate the communal philosophy by allowing maintenance and planting by the residents.
- 5.2.3.3. The development is encouraged to implement other common areas for passive use.
- 5.2.3.4. The Planning Director may grant partial or complete waivers for senior assisted living dwellings for outdoor recreation space with equivalent alternative recreation opportunities.



III. Vehicular Access and Parking

1.0. Access Roads in Large Lot Developments

1.1. INTENT

- 1.1.1. To provide vehicular access routes through large lots by connecting public and/or private roadways as directed by the City to complete the downtown street grid.**
 - 1.1.2. To create a safe, convenient network for vehicle circulation and parking.**
 - 1.1.3. To mitigate traffic impacts and to conform to the City's objectives for better traffic circulation.**
-

1.2. DESIGN PRINCIPLES

- 1.2.1. Development projects on properties which front on two streets are to conform with the Applicable City street specifications and standards for access.**
- 1.2.2. Connections between streets are to be provided as indicated by the applicable City's street plans/specifications and standards. (see Appendix A - Definitions).**

IMPLEMENTING MEASURES

If access streets are required, they shall conform to the following:

- 1.2.1.1. Streets may be part of the parking lot/site circulation. Only parallel parking fronting directly on the access street is permitted;**
- 1.2.1.2. Street trees and sidewalks or pedestrian paths are required along access streets in accordance with Section II.C.2.; and**
- 1.2.1.3. Location of ingress and egress to and from the access street shall be limited to one ingress and egress within 300 feet of curb length.**
- 1.2.1.4. Full compliance with WMC 21.14.060 and .070 must be met.**

2.0 Vehicle Entrances

2.1. INTENT

- 2.1.1. To provide safe, convenient access to residential sites without diminishing quality pedestrian walking or visual experiences.
-

2.2. DESIGN PRINCIPLES

- 2.2.1. Minimize driveway impacts across pedestrian walks.

IMPLEMENTING MEASURES

- 2.2.1.1 Parking lot entrances, driveways and other vehicle access routes onto private property from a public ROW shall be restricted to no more than one entrance lane and one exit lane per three hundred linear feet of property as measured horizontally along the street face. Parking lot entrances, driveways and other through vehicle access routes shall not be obstructed. Full compliance with adopted City of Woodinville standards and specifications shall be met.
- 2.2.1.2 Properties with less than three hundred linear feet of street frontage shall make a genuine effort to negotiate shared access with adjoining property owners. One entry and one exit lane for vehicle access will be allowed after there is demonstrable evidence, acceptable to the City, that shared access is not feasible.
- 2.2.1.3. Vehicular access to corner lots shall be located on the lowest classified roadway and as close as practical to the property line most distant from the intersection.

Exception: Corner lots may have one entrance per street provided the owner provides evidence acceptable to the City that they are unable to arrange joint access with an abutting property.

IV. Building Design

1. Design Character

1.1. INTENT

- 1.1.1. To design buildings that reflect the Northwest woodland character.**
 - 1.1.2. To encourage building design that has visual character and creates comfortable human environments**
-

1.2. DESIGN PRINCIPLES

Northwest woodland character refers to structures designed in the context of the Northwest natural setting which includes climate, topography, ecosystems, and evolved social organization.

- 1.2.1. Building forms shall reflect "Northwest woodland" character.**

IMPLEMENTING MEASURES

- 1.2.1.1.** The general form of structures is to be simple, three-dimensional forms characteristic of agrarian structures. Large structures may use smaller component forms to mitigate the "big box" appearance.
- 1.2.1.2.** Structures with multiple component forms are to be integrated for visual unity.
- 1.2.1.3.** To visually expose those components that support and/or stabilize structures when compatible with design;
- 1.2.1.4.** Adapt building access to site conditions for level, convenient, obvious entry.

- 1.2.2. Exterior finishes are to be compatible with "Northwest woodland" character.**

IMPLEMENTING MEASURES

- 1.2.2.1.** Material finishes shall reflect the early 1900 domestic agrarian vernacular of materials. (see Appendix A for definition of 'vernacular').
- 1.2.2.2.** Exterior finish colors are to be neutral shades of natural colors found in northwest woodlands or colors typical of historic agrarian structures of the Northwest, and may include limited use of compatible accent colors.

- 1.2.3. The arrangement, proportion and design of windows and doors (fenestration) shall conform with the following:**

IMPLEMENTING MEASURES

- 1.2.3.1. The height to width ratio of single openings and group openings are to be proportionately scaled to the wall.
- 1.2.3.2. Door and window details and trim that is suitably scaled to the wall.
- 1.2.3.3. Reduce large expanses of glass used in windows and doors to smaller component windows reminiscent of early 1900 domestic agrarian structures vernacular when adjacent to sidewalks or other pedestrian accommodations.

2. Human Scale

2.1. INTENT

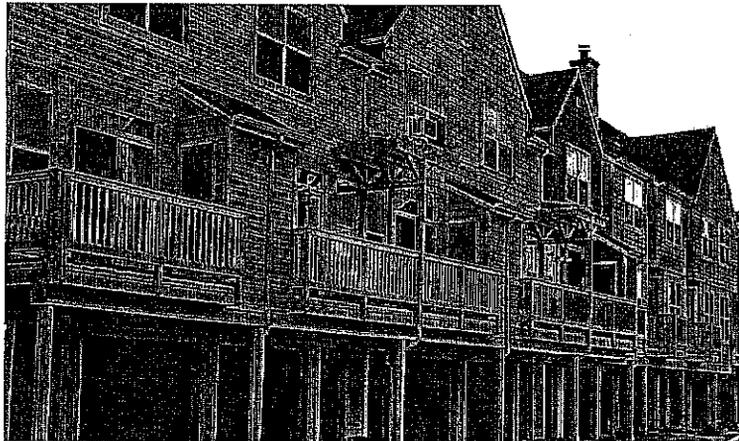
- 2.1.1. To encourage the use of building components that relate to the size of the human body.**
-

2.2. DESIGN PRINCIPLES

- 2.2.1. Incorporate human-scale building elements.**

All new buildings and major exterior remodels must employ elements or techniques indicated in the table below toward achieving "human scale" (See Appendix A-Definitions).

If a proposed building is more than 100' wide as measured along any facade facing a street and visible from that street, then the building shall incorporate the measures indicated for the building heights indicated below:



IMPLEMENTING MEASURES

TABLE OF IMPLEMENTING MEASURES

	BUILDING HEIGHTS		
	<14'	15' - 35'	35' - 45'
a. Balconies or decks in upper stories, at least one balcony or deck per upper floor on the facades facing streets is required. Balconies are encouraged to be at least six feet deep and ten feet wide.	NA	O	R
b. Gable or hipped roof, provided that the hipped or gable roof covers at least one half of the building's footprint and has a slope greater or equal to 3 feet vertical in 12 feet horizontal. Use gabled forms at corners, entry, wall modulation points, etc. to adapt large structure to character described in subsection IV. 1.0 above.	R	R	O
c. Spatially defining building elements such as a trellis, overhang, canopy, or other element that defines space that can be occupied by people.	O	O	O
d. Upper story setbacks, provided one or more of the upper stories are set back from the face of the building at least six (6) feet.	NA	R	R
e. The City may consider other methods to provide human-scale elements not specifically listed here. The proposed methods must satisfy the intent of the design principles.	O	O	O

R Required
O Optional.

3.0. Architectural Scale

3.1. INTENT

- 3.1.1. To encourage architectural scale of development that is compatible with nearby uses that have the character of agrarian structures.
-

3.2. DESIGN PRINCIPLES

3.2.1. Reduce scale of large buildings.

All new buildings over 2,500 square feet in gross building footprint, shall provide along their facades that are visible from public ROW or pedestrian routes and entries the following:

IMPLEMENTING MEASURES

- 3.2.1.1. Upper story setback – Multi-story buildings must setback at least six (6) feet per story from the face of the lower floor (base floor must meet property line setback, as necessary) facing the public ROW.

- 3.2.1.2. Horizontal Building Modulation - All building facades within 400' of a public ROW or park, and/or visible from that ROW or park, shall conform to the following standards:

- a. The maximum width (as measured horizontally along the buildings exterior) without building modulation shall be 50 feet.
- b. The minimum depth of modulation shall be the greater of 6 feet or not less than 0.2 multiplied by the height of the structure (finish grade to top of wall).
- c. Roof decks or balconies may be used as all or part of the building modulation so long as each individual balcony has a floor area of 100 square feet.

- 3.2.1.3. Modulated roof line - Buildings may satisfy the requirement by modulating the roof line of all facades visible from a public ROW or park according to the following standards:

- a. For gable, hipped, or shed roofs - a slope of at least 3' vertical to 12' horizontal.
- b. Other roof forms such as arched, vaulted, dormer, or saw-toothed may satisfy this design principle if the individual segments of the roof with no change in slope or discontinuity are less than 50' in width (measured horizontally).

- 3.2.1.4. Building "articulation" may be accomplished with design elements such as the following, so long as the interval does not exceed 50'.



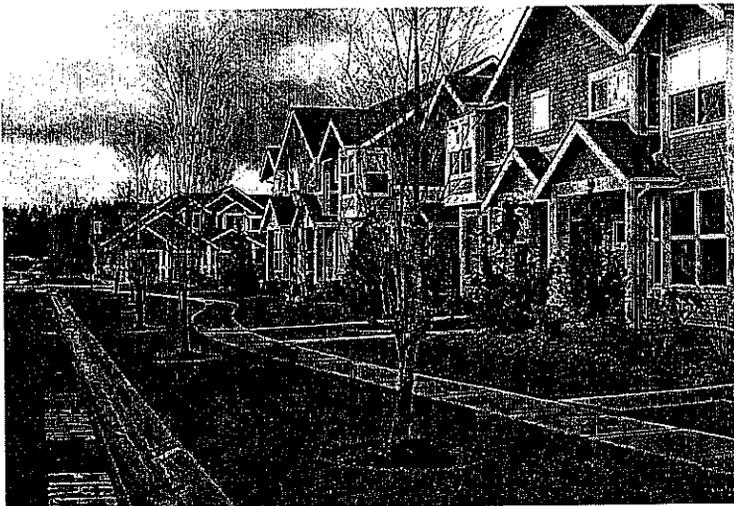
- a. Repeating distinctive window patterns at intervals less than the articulation interval.
- b. Providing a porch, patio, deck, or covered entry for each articulation interval.
- c. Providing a balcony or bay window for each articulation interval.
- d. Changing the roofline by alternating dormers, stepped roofs, gables, or other roof elements to reinforce the modulation or articulation interval.
- e. Changing materials with a change in building plane.
- f. Providing lighting fixtures, trellis, tree, or other landscape feature within each interval.

3.2.1.5. Cluster smaller uses and activities around entrances on street-facing facades.

3.2.1.6. Include massing of substantial landscaping and/or pedestrian-oriented open spaces along the building facade.

3.2.1.7. The City may allow other methods that provide architecturally scaled elements not specifically listed in 3.2.1.1-6 above. The proposed methods must satisfy the intent of the design principles. Note that the City may increase the 50' interval for modulation and articulation to better match surrounding structures or to implement an approved design concept.

All proposals for achieving architectural scale are subject to approval by the City of Woodinville.



4.0. Building Corners

4.1. INTENT

- 4.1.1. To create visual interest and increased activity at public street corners.
-

4.2. DESIGN PRINCIPLES

4.2.1. Architecturally accentuate building corners at street intersections.

All new buildings located within 15' of a property line, at the intersection of streets, public or private, are required to employ two or more of the following design elements or treatments to the building corner facing the intersection.

IMPLEMENTING MEASURES

- 4.2.1.1. Provide at least 100 square feet of sidewalk area or pedestrian-oriented open space in addition to the otherwise required building setback .
- 4.2.1.2. Provide a corner entrance to courtyard, building lobby, atrium, or pedestrian pathway.
- 4.2.1.3. Include a corner architectural element such as:
- a. Bay window or turret.
 - b. Roof deck or balconies on upper stories.
 - c. Building core setback "notch" or curved facade surfaces.
 - d. Sculpture or artwork either bas-relief, figurative, or distinctive use of materials.
- 4.2.1.4. Special treatment of pedestrian weather protection canopy at the corner of the building
- 4.2.1.5. Other similar treatment or element approved by the City.

5.0. Building Details

5.1. INTENT

5.1.1. To ensure that buildings have design integrity at all observable distances.

5.2. DESIGN PRINCIPLES

5.2.1. Enhance buildings with appropriate design details.

When buildings are seen from a distance, the most noticeable qualities are the overall form and color. A three-story residential building that is 100' wide and 35' tall must be observed at least 200' away in order for the building to fit within a person's cone of vision so its overall shape can be perceived. At that distance, windows, doors, and other major features are clearly visible. However, within 60' to 80' from the building (approximately the distance across a typical downtown street) a person notices not so much the building's overall form as its individual elements. Closer, the most important aspects of a building are its design details, texture of materials, quality of its finishes, and small, decorative elements. In a pedestrian-oriented business area, it is essential that buildings and their contents be attractive up close. Therefore, these design principles include implementing measures which require all buildings to incorporate design details and small scale elements into their facades.

IMPLEMENTING MEASURES

All new buildings shall include on the facades that face a public street, park, or pedestrian route the following:

5.2.1.1. The following measures are required for all buildings:

- a. **Decorative Rooflines:** For example, an ornamental molding, entablature, frieze or other roofline device visible from the ground level. If the roofline decoration is in the form of a linear molding or board, then the molding or board must be at least 8" wide.
- b. **Decorative Treatment of Windows and Doors:** For example, decorative molding/framing details around all ground floor windows and doors, decorative glazing, or door designs located on facades facing public streets or parks.
- c. **Decorative Light Fixtures:** with a diffuse visible light source such as a globe or "acorn" that is non-glaring or a decorative shade or mounting.
- d. **Decorative Building Materials, including the following:**
 - (1) Decorative masonry, shingle, brick or stone.
 - (2) Individualized patterns or continuous wood details such as fancy butt shingles in a geometric pattern, decorative

moldings, brackets, wave trim or lattice work, ceramic tile, stone, glass block, carrera glass, or similar materials.

- (3) Other materials with decorative or textural qualities as approved by the City.

The applicant must submit architectural drawings and material samples for approval.

- e. Paved horizontal surfaces for walks or parking at or near the finish grade of a building shall be separated horizontally from any wall of a structure minimum four feet for landscaping. Paved surfaces may abut the structure at entrances and service areas.
- f. Note the year of construction of a building by the installation of a plaque attached to the building. Stone or masonry set integral with other masonry on the front building elevation facing the principle street may be used in lieu of a plaque. The year of construction is to be noted by numbers not less than six inches high. Other information associated with the building that may have historic interest in the future may be included in addition to the year of construction.

5.2.1.2. The following are optional measures for all buildings for this section of the design principles. Some of these items may be required for other sections of the design principles.

- a. Decorative Railings, Grill Work, or Landscape Guards.
- b. Landscaped Trellises.
- c. Decorative Paving or Artwork: The artwork may be freestanding or attached to the building, and may be in the form of mosaic mural, bas-relief sculpture, light sculpture, water sculpture, fountain, free standing sculpture, art in pavement, or other similar art work. Painted murals or graphics on signs or awnings do not qualify. All artwork used to satisfy this condition is subject to approval by the Planning Director.
- d. Other similar features or treatment approved by the City.

All proposed methods for satisfying this design principle are subject to City of Woodinville approval.

5.2.2. Ground story building facades on designated Pedestrian-Oriented streets and public parks shall provide the following:

- 5.2.2.2. At least 500 square feet of Pedestrian-Oriented Space for every 100 linear feet of facade, as measured along the property lines adjacent to streets or public park;
- 5.2.2.3. Optional measures to substitute for required measures above are as follows:
 - a. Sculpture, mosaic, or bas-relief artwork over 50% of the length of the ground floor facade; or

- b. Special landscaping or building design feature comparable to 'a' above and approved by the City of Woodinville Planning Director.

6.0. Materials

6.1. INTENT

- 6.1.1. To encourage the use of high-quality compatible materials that will upgrade the visual image of residential areas of Woodinville.
-

6.2. DESIGN PRINCIPLES

6.2.1. Retain vernacular facades.

Retain facades that reflect the heritage of the City. Facades of vintage buildings may be adapted to contemporary use with compatible materials.

6.2.2. Use compatible building materials:

IMPLEMENTING MEASURES

- 6.2.2.1. Preferred materials reflect the City's "Northwest woodland" character such as: Wood (as used in agrarian structures); Masonry; Stone; and Other materials subject to approval by the City of Woodinville Planning Director.

- 6.2.2.2. Materials requiring special detailing to be acceptable are as follows:

- a. Requirements for concrete block walls:

If concrete blocks (concrete masonry units or "cinder blocks") are used for walls that are visible from a public street, park, or pedestrian route then the concrete block construction must be architecturally treated in one or more of following ways:

- (1) Use of textured blocks with surfaces such as split face or grooved.
- (2) Use of other masonry types such as brick, glass block, or tile in conjunction with concrete blocks .
- (3) Use of decorative coursing to break up blank wall areas.

Use matching colored mortar where color is an element of architectural treatment for any of the options above.

b. Prohibited materials:

The following materials are prohibited in visible locations unless an exception is granted by the City based on the integration of the material into the overall design of the structure.

- (1) Mirrored glass.
- (2) Corrugated fiberglass.
- (3) Chain link fencing (except for temporary purposes such as a construction site).
- (4) Crushed colored rock/crushed tumbled glass.

7.0. Blank Walls

7.1. INTENT

7.1.1. To reduce the visual impact of large undifferentiated walls.

7.1.2. To reduce the apparent size of large walls through the use of various architectural and landscaping treatments.

7.2. DESIGN PRINCIPLES

7.2.1. All blank walls (as defined in Appendix A-Definitions) within 50' of the street ROW, park, or adjacent lot, and visible from that street, park, or adjacent lot, shall be treated in one or more of the following measures.

IMPLEMENTING MEASURES

7.2.1.1. Install a vertical trellis in front of the wall with climbing vines or plant materials.

7.2.1.2. Provide a landscaped planting bed at least 8' wide or raised planter bed at least 2' high and 3' wide in front of the wall. Plant materials that will obscure or screen at least 50% of the wall's surface within 3 years are to be planted in the planting bed.

7.2.1.3. Providing artwork (mosaic, mural, sculpture, relief, etc.) over at least 50% of the blank wall surface.

7.2.1.4. Other method as approved by the City.

Treatment of blank walls is to be proportional to the wall.

All of the proposed methods are subject to City of Woodinville approval. Applicant must submit architectural plans and elevations showing proposed treatments for approval.