

ORDINANCE NO. 400

AN ORDINANCE OF THE CITY OF WOODINVILLE, WASHINGTON, AMENDING TITLE 17 – PERMIT PROCESSING, TO SEGREGATE COMPREHENSIVE PLAN AMENDMENTS (LEGISLATIVE) FROM SITE-SPECIFIC ZONING MAP AMENDMENTS (QUASI-JUDICIAL); AMENDING COMPREHENSIVE PLAN, CHAPTER 7 PARKS, RECREATION, AND OPEN SPACE RELATED TO THE 2005 PRO PARKS PLAN UPDATE; AMENDING COMPREHENSIVE PLAN CHAPTER 10, CAPITAL & PUBLIC FACILITIES RELATED TO THE 2005 PRO PARKS PLAN UPDATE; AMENDING THE FUTURE LAND USE MAP AND ZONING MAP FOR PARCELS AT NE 173RD PLACE AND NE WOODINVILLE DRIVE RESULTING FROM THE 2004 BOUNDARY LINE ADJUSTMENT AND STREET VACATION; AMENDING CHAPTER 21.01 WMC, DECISION CRITERIA FOR COMPREHENSIVE PLAN AMENDMENTS; AMENDING COMPREHENSIVE PLAN REFERENCE IN WMC - CODE AMENDMENT; AMENDING 21.06 WMC, ADDING NEW DEFINITION FOR CIVIC CENTER AND COMMUNITY CENTER; AMENDING 21.08, ADDING NEW CATEGORIES AND ASSOCIATED AMENDMENTS TO CHURCHES USE; AMENDING CHAPTER 21.12 WMC, MEASUREMENT METHOD OF DRIVEWAY DEPTHS; AMENDING CHAPTER 21.16 WMC, TREE PRESERVATION EXEMPTION AND DANGER TREES CODE AMENDMENT; AMENDING 21.24 WMC CRITICAL AREA REGULATIONS UPDATE AND CODE AMENDMENT; NATIVE GROWTH PROTECTION EASEMENT REGULATIONS; AMENDING CHAPTER 21.38 WMC, PEDESTRIAN OVERLAY REGULATIONS, AMENDING COMMERCIAL DESIGN STANDARDS CODIFIED; AMENDING CHAPTER 21.44 WMC, DECISION CRITERIA FOR ZONING MAP AMENDMENTS – ZONE RECLASSIFICATION; PROVIDING FOR SEVERABILITY; AND ESTABLISHING AN EFFECTIVE DATE.

WHEREAS, pursuant to the requirements of the Washington State Growth Management Act, the City of Woodinville is required to develop and adopt development regulations implementing its comprehensive plan;

WHEREAS, RCW 36.70A.130(4) requires that the City of Woodinville, a “fully planning” city within King County shall update its comprehensive plan and development regulations, as necessary, to reflect local needs, new data, and current laws;

WHEREAS, the Woodinville City Council has determined that certain amendments are necessary to keep the Development Code and Zoning Code updated and to accommodate the needs of its citizens;

WHEREAS, the Woodinville City Council has reviewed the amendments contained in this ordinance and finds that these amendments meet the required criteria in Ordinance No. 172 and WMC 21.46.030;

WHEREAS, public hearings were held by the City of Woodinville Planning Commission on September 14, 2005;

WHEREAS, the requirements of the State Environmental Policy Act (SEPA) RCW 43.21C have been met;

NOW, THEREFORE, THE CITY COUNCIL OF THE CITY OF WOODINVILLE, WASHINGTON, DOES ORDAIN AS FOLLOWS:

Section 1. Findings. The City Council hereby adopts the following findings in support of this ordinance, together with the recitals expressed herein.

FACTS & FINDINGS:

1. The 2005 Annual Docket Applications are organized into three broad categories, which include Comprehensive Plan Amendments, Development Code Amendments, and Zoning Map Amendments.
2. Pursuant to the City of Woodinville Municipal Code (WMC) Chapter 17, the Planning Commission is required to hold a public hearing on the amendments, and make a recommendation to the City Council.
3. The Comprehensive Plan amendments are consistent with the required decision criteria found in WMC 21.01.170. Analysis of the proposed amendments and decision criteria is herein incorporated by reference.
4. The amendments to the text of the Development Code are consistent with the requirements of WMC 21.46.030. Analysis of the proposed amendments and decision criteria is herein incorporated by reference.
5. The Zoning Map amendments are consistent with the required decision criteria contained in WMC 21.44.070. Analysis of the proposed Zoning Map amendment decision criteria is herein incorporated by reference.

6. The City SEPA Official reviewed the 2005 Annual Docket amendments for environmental impacts under SEPA (RCW 43.21C), and issued a Determination of Non-Significance for them on July 18, 2005 (SEP 2005-052; 2005-053; 2005-054; and 2005-056). The appeal period ended on August 2, 2005. No comments or appeals were received.
7. A Determination of Non-Significance (SEP2005-059) for amendment ZMA 2005-024, amending the City's Future Land Use Map and Zoning Map for the Ghouddoussi and Eagle Ridge Properties that corrects split zoning that resulted from a 2004 Boundary Line Adjustment [returns the Ghouddoussi property to a single CBD zone; and the Eagle Ridge property to a single R-24 zone] was issued on July 18, 2005. The appeal period ended on August 2, 2005. No comments or appeals were received.
8. The Planning Commission reviewed components of the 2005 Annual Docket during its February 16, March 16, April 20, May 18, June 1, June 15, July 6, July 20, August 3, and August 18, 2005 public meetings.
9. To encourage public involvement, the City published notice and held two public open house meetings on June 1, 2005 and July 6, 2005 to receive public comment on the 2005 Annual Docket.
10. The Planning Commission set a public hearing date for Wednesday, September 7, 2005 at its August 17th meeting. However, due to lack of a quorum on September 7th, the public hearing date was postponed to a special Planning Commission meeting date of Wednesday, September 14, 2005 at 7 pm in City Council Chambers.
11. The Fish and Wildlife Habitat Conservation Area regulations contained in Sections 14-18 of this ordinance are based upon the best available science, and are supported by the February 27, 2004, study commissioned by the City and performed by Adolfson and Associates, with special consideration afforded to conservation measures necessary to preserve and/or enhance anadromous fisheries.

Section 4. Amendment to Section 17.07.020, Determination of proper procedure type, of the Woodinville Municipal Code, to segregate Comprehensive Plan Map Amendments and Site Specific Rezones is hereby amended to read as set forth below. New text is shown by underline, deleted text is shown by ~~strikethrough~~.

17.07.020 Determination of proper procedure type.

(1) Determination by Director. The Director of the Community Development Department or his/her designee (hereinafter the "Director") shall determine the proper procedure for all development applications. If there is a question as to the appropriate type of procedure, the Director shall resolve it in favor of the higher procedure type number.

(2) Optional Consolidated Permit Processing.

(a) An application that involves two or more procedures may be processed collectively under the highest numbered procedure required for any part of the application or processed individually under each of the procedures identified by the code. The applicant may determine whether the application shall be processed collectively or individually. If the application is processed under the individual procedure option, the highest numbered type procedure must be processed prior to the subsequent lower numbered procedure. This subsection shall not be construed as authorizing the concurrent processing of a Comprehensive Plan amendment and a site-specific Zoning Map amendment in contravention of WMC 17.07.020(5).

(b) SEPA review shall be conducted concurrently with development project review. The following are exempt from concurrent review:

(i) Projects categorically exempt from SEPA;

(ii) Components of previously completed planned actions, to the extent permitted by law and consistent with the EIS for the planned action.

(3) Decisionmaker(s). Applications processed in accordance with subsection 17.07.020(2) which have the same highest numbered procedure but are assigned different hearing bodies shall be heard collectively by the highest decisionmaker(s). The City Council is the highest, followed by the Hearing Examiner or Planning Commission, as applicable, and then the Director. Joint public hearings with other agencies shall be processed according to WMC 17.07.040.

(4) Hearings. Project permits are allowed only one record hearing and one closed record appeal hearing. (Ord. 143 § 1, 1996)

(5) Site-specific Zoning Map Amendments Necessitating a Comprehensive Plan Amendment. A site-specific Zoning Map amendment that requires a Comprehensive Plan amendment in order to obtain consistency with the Comprehensive Plan pursuant to WMC 21.44.070 may be processed only after the effective date of such Comprehensive Plan amendment. Nothing in this subsection shall alter the designation of any such site-specific Zoning Map amendment or Comprehensive Plan amendment as Type III and Type V land use actions, respectively, pursuant to WMC 17.07.030.

Section 5. Amendment to Section 17.09.040, Notice of Application of the Woodinville Municipal Code, to update SEPA procedures in Title 17 is hereby amended to read as set forth below. New text is shown by underline, deleted text is shown by ~~strikethrough~~.

UPDATE OF SEPA PROCEDURES IN TITLE 17

17.09.040 Notice of application.

A notice of application shall be issued on all Type II, III, and project permit applications in accordance with the provisions of WMC 17.11.010 and 17.11.020. To the extent consistent with Chapter 14.04 WMC and Chapter 197-11 WAC, a notice of application may be processed immediately upon issuance of a SEPA Determination of Non Significance (DNS) where the Optional DNS process pursuant to WAC 197-11-355 is utilized. (Ord. 143 § 1, 1996)

Section 2. Amendment to Chapter 7 and Appendix 7, Parks, Recreation, and Open Space of the Comprehensive Plan to account for the most recently adopted PRO Parks Plan is hereby amended to read as set forth in Attachment A. New text is shown by underline, deleted text is shown by ~~strikethrough~~.

Section 3. Amendment to Chapter 10 Capital & Public Facilities of the Comprehensive Plan to account for the most recently adopted PRO Parks Plan; is hereby amended to read as set forth in Attachment B. New text is shown by underline, deleted text is shown by ~~strikethrough~~.

Section 6. Amendment to the Comprehensive Plan Future Land Use Map Adopted. The Comprehensive Plan Future Land Use Map is hereby amended to read as set forth in Attachment C, which is attached hereto and incorporated herein by this reference as if set forth in full.

Section 7. Amendment to the Zoning Map Adopted. The City of Woodinville Zoning Map is hereby amended to read as set forth in Attachment D which is attached hereto and incorporated herein by this reference as if set forth in full.

Section 8. Amendment to Section 21.01.010, Comprehensive Plan adopted of the Woodinville Municipal Code to update Comprehensive Plan Map reference, is hereby amended to read as set forth below. New text is shown by underline deleted text is shown by ~~strikethrough~~.

21.01.010 Comprehensive Plan adopted.

The comprehensive land use plan entitled "The City of Woodinville Comprehensive Plan," ~~dated June 1996~~ and as may be amended is on file with the office of the City Clerk for public inspection, and is hereby adopted as the GMA Comprehensive Plan for the City of Woodinville. (Ord. 157 § 3, 1996)

Section 9. Amendment to Chapter 21.06, Technical Terms and Land Use Definitions to add definitions of Civic Center and Community Center. New sections, designated WMC 21.06.102 and 21.06.117 are hereby added to the Technical Terms and Land Use Definitions chapter of the City of Woodinville Zoning Code to read as set forth below. New text is shown by underline.

21.06.102 Civic Center

A building or group of buildings containing administrative offices for the operation of local government that is (1) owned and (2) operated by the City of Woodinville and (2) that is used predominantly for office and meeting space for local government and/or for community activities.

21.06.117 Community Center.

A building or other enclosed structure open to the general public that is owned and operated by the City of Woodinville or another public agency, and that is used predominantly for cultural, educational, recreational, or social purposes.

Section 10. Amendment to Section 21.08.040, Permitted Uses, adding new categories and associated amendments to Churches use is hereby amended to read as set forth in Attachment E which is attached hereto and incorporated herein by this reference as if set forth in full.

Section 11. Amendment to Section 21.12.030 B (8), Development Conditions of Woodinville Municipal Code is hereby amended to read as set forth below. New text is shown by underline deleted text is shown by ~~strikethrough~~.

WMC 21.12.030 B. Development Conditions

...
(8) At least 20 linear feet of driveway shall be provided between any garage, carport, or other fenced parking area and the street property line. The linear distance shall be measured along the centerline of the driveway from the access point to such garage, carport or fenced area to the street property line or pedestrian walkway, sidewalk, or easement access road(s), whichever is closest to the garage, carport or fenced parking area.

Section 12. Amendment to Chapter 21.14, Development Standards Design Requirements, of Woodinville Municipal Code, to add Sections 21.14.300 – 21.14.950, is hereby amended to read as set forth in Attachment F. New text is shown by underline deleted text is shown by ~~strikethrough~~.

Section 13. Amendment to Section 21.16.125, Tree Preservation Exemption of the Woodinville Municipal Code is hereby amended to read as set forth below. New text is shown by underline deleted text is shown by ~~strikethrough~~.

21.16.125 Tree preservation exemptions.

(1) Additions, alterations, or site work related to an existing single-family home are exempt from tree preservation requirements except as stated in WMC 21.16.130(5).

(2) Tree removal to construct a single-family residence or detached accessory dwelling unit on a pre-existing single-family lot ~~is exempt from the preservation~~

requirements shall be allowed without a permit provided that the pre-existing lot retains a minimum of 30 tree credits per acre as required in WMC 21.16.130(1)(a). If tree removal creates a site condition of less than 30 tree credits per acre, then a tree replacement plan must be submitted meeting the requirements of WMC 21.16.170(4) to attain the 30 tree credit per acre minimum. Voluntary tree preservation is strongly encouraged and may be eligible for a permit fee rebate in accordance with WMC 21.16.128. (Ord. 335 § 2, 2003; Ord. 256 § 2, 2000; Ord. 239 § 4, 1999)

(3) Danger trees may be removed without a permit, provided that the owner submits to the City a written statement from a certified arborist demonstrating that the tree in question satisfies the criteria of a danger tree pursuant to WMC 21.06.139. Prior to danger tree removal, the City Tree Official must first confirm the credentials of the selected certified arborist, and if satisfied with the arborist's standing, will require written notification from the certified arborist pertaining to the danger tree status of the tree(s) in question.

Section 14. Amendment to Section 21.24.070, Partial exemptions, of the Woodinville Municipal Code is hereby amended to read as set forth below. New text is shown by underline deleted text is shown by ~~strikethrough~~.

21.24.070 Partial exemptions.

(1) The following are exempt from the provisions of this chapter and any administrative rules promulgated hereunder, except for the notice on title provisions, WMC 21.24.170 through 21.24.180, and the flood hazard area provisions, WMC 21.24.220 through 21.24.260:

(a) Structural modification of, addition to, repair or replacement of structures, except single detached residences, in existence before March 31, 1993, which do not meet the building setback or buffer requirements for wetlands, streams or geological hazard areas if the modification, addition, replacement or related activity does not increase the existing footprint of the structure lying within the above-described building setback area, critical area or buffer. Modifications, additions, and/or replacement of structures shall use fish-friendly bio-engineered techniques beneficial to fish and wildlife and based upon the best available science, including but not limited to stream bank stabilization, wetland enhancement, water quality improvement, and similar methods to preserve and/or enhance habitat functions.;

(b) Structural modification of, addition to, repair or replacement of single detached residences in existence before March 31, 1993, or residences allowed by reasonable use or variance process which do not meet the building setback or buffer requirements for wetlands, streams or geological hazard areas if the modification, addition, replacement or related activity does not increase the existing footprint of the residence lying within the above-described buffer or building setback area by more than 1,000 square feet over that existing before March 31, 1993, and no portion of the modification, addition or replacement is located closer to the critical area or, if the existing residence is in the sensitive area, extends farther into the critical area. Modifications, additions, and/or replacement of structures shall use fish-friendly bio-engineered techniques beneficial to fish and wildlife and based upon the best available science, including but not limited to stream bank stabilization, wetland enhancement, water quality improvement, and similar methods to preserve and/or enhance habitat functions; and

(c) Maintenance or repair of structures which do not meet the development standards of this chapter for geological hazard areas if the maintenance or repair does

not increase the footprint of the structure and there is no increased risk to life or property as a result of the proposed maintenance or repair.

(2) The grazing of livestock is exempt from the provisions of this chapter and any administrative rules promulgated hereunder, except for the livestock restriction provisions, WMC 21.24.320 and 21.24.360, and any animal density limitations established by law, if the grazing activity was in existence before March 31, 1993.

(3) A permit or approval sought as part of a development proposal for which multiple permits are required is exempt from the provisions of this chapter and any administrative rules promulgated hereunder, except for the notice on title provisions, WMC 21.24.170 and 21.24.180, if:

- (a) City of Woodinville previously reviewed all critical areas on the site;
 - (b) There is no material change in the development proposal since the prior review;
 - (c) There is no new information available, which is important to any critical area review of the site or particular critical area;
 - (d) The permit or approval under which the prior review was conducted has not expired or, if no expiration date exists, no more than five years have lapsed since the issuance of that permit or approval; and
 - (e) The prior permit or approval, including any conditions, has been complied with.
- (Ord. 375 § 3, 2004; Ord. 175 § 1, 1997. Formerly 21.24.060)

Section 15. Amendment to Section 21.24.180, Critical area tracts or easements and designations on site plans, of the Woodinville Municipal code is hereby amended to read as set forth below. New text is shown by underline deleted text is shown by ~~strikethrough~~.

21.24.180 Critical area tracts or easements and designations on site plans.

(1) Critical area tracts shall be used to delineate and protect those critical areas and buffers listed below in development proposals for subdivisions, short subdivisions or binding site plans and shall be recorded on all documents of title of record for all affected lots:

- (a) All geological hazard areas and buffers which are one acre or greater in size;
- (b) All ~~geological hazard areas and buffers which are one acre or greater in size~~ fish and wildlife conservation areas;
- (c) All wetlands and buffers; ~~and~~
- (d) All streams and buffers-;

(2) Any required critical area tract shall be held in an undivided interest by each owner of a building lot within the development with this ownership interest passing with the ownership of the lot or shall be held by an incorporated homeowner's association or other legal entity, which assures the ownership, maintenance and protection of the tract.

(3) Site plans submitted as part of development proposals for building permits and clearing and grading permits shall include and delineate all flood hazard areas (if they have been mapped by FEMA, King County or City of Woodinville or if a special study is required), geological hazard areas, streams and wetlands, ~~and buffers and building setbacks~~ and native growth protection easements. If only a part of the development site has been mapped pursuant to WMC 21.24.130, the part of the site, which has not been mapped, shall be clearly identified and labeled on the site plans. The site plans shall be attached to the notice on title required by WMC 21.24.170.

- (a) Native growth protection areas (NGPA) shall be marked with critical area signage and/or (wildlife friendly) fencing to protect wildlife corridors and to

discourage human intrusion into the critical area. Fencing options will be left up to the discretion of the Director to further protect wildlife habitat.

(b) Native Growth Protection areas may be enhanced as part of a mitigation or restoration project. The NGPE shall be designated as protected habitat for fish and wildlife and shall be left in its natural state (with the exception of mitigation to enhance habitat.) Any downed trees shall remain in the NGPA to provide habitat for wildlife.

(4) Native growth protection easements may be required over delineated critical areas to protect them in perpetuity, as determined by the Planning Director. Easements shall be recorded with the County Assessor's Office prior to issuance of a certificate of occupancy. (Ord. 375 § 3, 2004; Ord. 175 § 1, 1997)

Section 16. Amendment to Chapter 21.24.330, Wetlands - Development standards, of the Woodinville Municipal Code is hereby amended to read as set forth below. New text is shown by underline deleted text is shown by ~~strikethrough~~.

21.24.330 Wetlands – Development standards.

A development proposal on a site containing a wetland shall meet the following requirements:

(1) The following standard minimum buffers shall be established from the wetland edge:

(a) Class 1 wetlands shall have a 150-foot buffer with a 50-foot reduction with enhancement as defined in WMC 21.06.208.

(b) Class 2 wetlands shall have a 100-foot buffer with a 50-foot reduction with enhancement.

(c) Class 3 wetlands shall have a 50-foot buffer with a 25-foot buffer reduction with enhancement.

(d) The standard buffer width will be established unless the existing wetland buffer is significantly degraded. If the existing wetland buffer is significantly degraded, the applicant may use a reduced buffer as long as enhancement measures are implemented to provide a net improvement in overall wetland and buffer function and value as determined by a qualified biologist. Enhancement measures shall be conducted in accordance with a plan approved by the Planning Director.

(e) Any wetland restored, relocated, replaced or enhanced because of a wetland alteration shall have the minimum buffer required for the highest wetland class involved.

(f) Wetland buffers shall be measured from the wetland edge as delineated and marked in the field using the 1997 Washington State Wetland Identification and Delineation Manual (Ecology).

(g) The Planning Director shall require increased buffer widths in accordance with a qualified biologist and the best available science on a case-by-case basis when a larger buffer is necessary to protect wetland functions and values based on site-specific characteristics. This determination shall be based on one or more of the following criteria:

(i) A larger buffer is needed to protect other critical areas;

(ii) The buffer or adjacent uplands has a slope greater than 30 percent or is susceptible to erosion and standard erosion-control measures will not prevent adverse impacts to the wetland.

(2) Buffer width averaging may be allowed by the Planning Director in accordance with an approved critical area report and the best available science on a case-by case

basis. Averaging of buffer widths may only be allowed where a qualified professional biologist demonstrates that:

(a) Additional protection to the wetland will be provided through implementation of a buffer enhancement plan;

(b) It will not reduce wetland functions or values;

(c) The wetland contains variations in sensitivity due to existing physical characteristics or the character of the buffer varies in slope, soils, or vegetation, and the wetland would benefit from a wider buffer in places and would not be adversely impacted by a narrower buffer in other places;

(d) The total area contained in the buffer area after averaging is no less than that which would be contained within the standard buffer; and

(e) The buffer width is not reduced by more than 20 percent of the standard width or 50 feet, whichever is greater.

(f) Note: Buffer averaging is allowed as an alternative to buffer reduction with enhancement. Only one method shall be implemented.

(3) The use of hazardous substances, pesticides and fertilizers in the wetland and its buffer may be prohibited by the Planning Director.

(4) Unless otherwise provided, the following restrictions shall apply to all development proposals, which include the introduction of livestock:

(a) To prevent damage to Class 1 and 2 wetlands:

(i) A plan to protect and enhance the wetland's water quality shall be implemented pursuant to Chapter 21.30 WMC; or

(ii) Fencing located at the buffer edge shall be required.

(5) Standards pertaining to access to streams for watering purposes, stream crossing requirements and use of natural barriers and vegetative buffering in lieu of fencing shall be included in administrative rules promulgated pursuant to this chapter.

(6) The livestock restrictions contained in subsection (4) of this section shall not apply to wetlands defined as grazed wet meadows, regardless of their classification. (Ord. 375 § 3, 2004; Ord. 175 § 1, 1997. Formerly 21.24.310)

Section 17. Amendment to Section 21.24.350, Wetlands – Mitigation requirements, of the Woodinville Municipal Code, is hereby amended to read as set forth below. New text is shown by underline deleted text is shown by ~~strike through~~.

21.24.350 Wetlands – Mitigation requirements.

(1) When an alteration to a critical area is proposed, such alteration shall be avoided, minimized, or compensated for as outlined by WAC 197-11-768, in the following order of preference:

(a) Avoiding the impact altogether by not taking a certain action or parts of actions;

(b) Minimizing impacts by limiting the degree or magnitude of the action and its implementation;

(c) Rectifying the impact by repairing, rehabilitating, or restoring the affected environment;

(d) Reducing or eliminating the impact over time by preservation and maintenance operations during the life of the action; and/or

(e) Compensating for the impact by replacing or providing substitute resources or environments.

(2) Mitigation shall achieve equivalent or greater biological functions. Mitigation for alterations to wetlands shall achieve equivalent or greater biologic functions. Mitigation

plans shall be consistent with the Department of Ecology Guidelines for Developing Freshwater Wetlands Mitigation Plans and Proposals, 1994, as revised.

(3) Mitigation for Lost Functions and Values. Mitigation actions shall address functions affected by the alteration to achieve functional equivalency or improvement, and shall provide similar wetland functions as those lost except when:

(a) The lost wetland provides minimal functions as determined by a site-specific function assessment and the proposed mitigation action(s) will provide equal or greater functions or will provide functions shown to be limiting within a watershed through a formal watershed assessment plan or protocol; or

(b) Out-of-kind replacement will best meet formally identified regional goals, such as replacement of historically diminished wetland types.

(4) Preference of Mitigation Actions. Mitigation actions that require compensation by replacing, enhancing, or substitution shall occur in the following order of preference:

(a) Restoring wetlands on upland sites that were formerly wetlands.

(b) Enhancing significantly degraded wetlands.

(c) Preserving high-quality wetlands that are under imminent threat.

(5) Type and Location of Mitigation. Mitigation actions shall be conducted within the same subdrainage basin and on the same site as the alteration except when all of the following apply:

(a) There are no reasonable on-site or in subdrainage basin opportunities or on-site and in subdrainage basin opportunities do not have a high likelihood of success due to development pressures, adjacent land uses, or on-site buffers or connectivity are inadequate;

(b) Off-site mitigation has a greater likelihood of providing equal or improved wetland functions than the impacted wetland; and

(c) Off-site locations shall be in the same subdrainage basin and the same Water Resource Inventory Area (WRIA) unless established regional or watershed goals for water quality, flood or conveyance, habitat or other wetland functions have been established and strongly justify location of mitigation at another site.

(6) Mitigation Timing. Where feasible, mitigation projects shall be completed prior to activities that will disturb wetlands. In all other cases, mitigation shall be completed immediately following disturbance and prior to use or occupancy of the activity or development. Construction of mitigation projects shall be timed to reduce impacts to existing wildlife and flora.

(7) Mitigation Monitoring and Maintenance. Mitigation projects shall be monitored and maintained for a period of five years. A monitoring protocol shall be approved by the Planning Director and monitoring reports shall be submitted to the City as required.

(8) Mitigation Ratios.

(a) Acreage Replacement Ratios. The following ratios shall apply to creation or restoration that is in-kind, on-site, the same category, timed prior to or concurrent with alteration, and has a high probability of success. These ratios do not apply to remedial actions resulting from unauthorized alterations; greater ratios shall apply in those cases. These ratios do not apply to the use of credits from a State-certified wetland mitigation bank. When credits from a certified bank are used, replacement ratios should be consistent with the requirements of the bank's certification. The first number specifies the acreage of replacement wetlands and the second specifies the acreage of wetlands altered.

Class 1	4 to 1
Class 2	2 to 1
Class 3	1.5 to 1

(b) Increased Replacement Ratio. The Planning Director may increase the ratios under the following circumstances:

(i) Uncertainty exists as to the probable success of the proposed restoration or creation; or

(ii) A significant period of time will elapse between impact and replication of wetland functions; or

(iii) Proposed mitigation will result in a lower category wetland or reduced functions relative to the wetland being impacted; or

(iv) The impact was an unauthorized impact.

(c) Buffer Mitigation Ratios. When the standard buffers for Class 1, 2, and 3 wetlands are reduced, enhancement ratios for the reduced buffers will occur at a 1:1 ratio.

(d) Wetland Mitigation Banks. Credits from a wetland mitigation bank may be approved for use as compensation for unavoidable impacts to wetlands when:

(i) The bank is certified under Chapter 173-700 WAC;

(ii) The City determines that the wetland mitigation bank provides appropriate compensation for the authorized impacts; and

(iii) The proposed use of credits is consistent with the terms and conditions of the bank's certification.

(ed) Replacement ratios for projects using bank credits shall be consistent with replacement ratios specified in the bank's certification. (Ord. 375 § 3, 2004; Ord. 175 § 1, 1997. Formerly 21.24.330)

Section 18. Amendment to Chapter 21.24, Development Standards – Critical Areas, is amended to add Sections 21.24.410 through 21.24.440 related to Fish & Wildlife Habitat Areas. New text is shown by underline deleted text is shown by ~~strikethrough~~.

21.24.410 Fish and Wildlife Habitat Conservation Areas: designation

(1) Fish and wildlife habitat conservation areas are those habitat areas that meet any of the following criteria:

(a) Documented presence of species listed by the federal government or the State of Washington as endangered or threatened; or

(b) Heron rookeries or active nesting trees; or

(c) Class 1 Wetlands and buffers as defined in WMC 21.24.310; or

(d) Type 1 Streams and buffers as defined in WMC 21.24.350; or

(e) Native Growth Protection Easements / Native Growth Protection Areas (NGPE / NGPA) and other areas designated by the City.

(f) Sites containing a bald eagle territory as mapped by WDFW. Bald eagle habitat shall be protected pursuant to the Washington State Bald Eagle Protection Rules (Chapter 232-12-292 WAC).

(2) All areas within the City meeting one or more of these criteria, regardless of any formal identification, are hereby designated critical areas and are subject to the provisions of this Title.

21.24.420 Critical area report – Fish and Wildlife Conservation Area Report Requirements

Requirements for critical areas reports for fish and wildlife habitat conservation areas are available from at the City Hall Planning Department.

21.24.430 Fish and wildlife habitat conservation areas: Performance standards

(1) Habitat Management Plan. A Habitat Management Plan shall be required whenever the priority habitats and species maps or natural heritage program maps maintained by the City, or other information, indicate the presence of areas with which species listed as endangered or threatened under federal law have a primary association, or which contain heron nests.

(2) All Habitat Management Plans shall be prepared in consultation with the Washington Department of Fish and Wildlife. Habitat Management Plans for species listed as endangered or threatened or heron rookeries shall be approved by the Department of Fish and Wildlife.

(3) Habitat Management Plan Content Requirements. Based on the characteristics of the site and information submitted by the applicant, the Director may require that all or a portion of the following be included in a Habitat Management Plan:

(a) A map drawn to scale or survey showing the following information:

(i) All lakes, ponds, streams, and wetlands on, or adjacent to the subject property, including the name (if named), ordinary high water mark of each, and the stream type or wetland class consistent with this Title.

(ii) The location and description of the fish and wildlife habitat conservation areas on the subject property, as well as any potential fish and wildlife habitat conservation areas within 200 feet of the subject property as shown on maps maintained by the City, and

(iii) The location of any observed evidence of use by a threatened or endangered species.

(b) An analysis of how the proposed development activities will affect the fish and wildlife habitat conservation area and listed species;

(c) Provisions to reduce or eliminate the impact of the proposed development activities on any fish and wildlife habitat conservation area and listed species including:

(i) Prohibition or limitation of development activities within the fish and wildlife habitat conservation area,

(ii) Establishment of a buffer around the fish and wildlife habitat conservation area,

(iii) Retention of certain vegetation or areas of vegetation critically important to the listed species,

(iv) Limitation of access to the fish and wildlife habitat conservation area and buffer,

(v) Seasonal restrictions on construction activities on the subject property,

- (vi) Clustering of development on the subject property is appropriate, and
- (vii) Preservation or creation of a habitat area for the listed species.

(4) Fish and wildlife habitat conservation areas may be altered only if the proposed alteration of the habitat or the mitigation proposed does not degrade the quantitative and qualitative functions and values of the habitat. All new structures and land alterations shall be prohibited from within habitat conservation areas, except in accordance with this Title.

(5) Introduction of plant, wildlife, or fish species not indigenous to the region into a fish and wildlife habitat conservation areas shall be prohibited unless authorized by a state or federal permit or approval.

(6) Mitigation sites shall be located to achieve contiguous wildlife habitat corridors in accordance with a mitigation plan that is part of an approved Habitat Management Plan to minimize the isolating effects of development on habitat areas. Mitigation of aquatic habitat shall be located within the same aquatic ecosystem as the area disturbed.

(7) Mitigation of alterations to habitat conservation areas shall achieve equivalent or greater biologic functions. Mitigation shall address each function affected by the alteration in order to achieve functional equivalency or improvement on a per function basis.

(8) Any mitigation for alterations or impacts to a fish and wildlife habitat conservation area shall be supported by the best available science.

(9) Buffers. The Director shall require the establishment of buffer areas for activities in, or adjacent to, fish and wildlife habitat conservation areas, when needed to protect fish and wildlife habitat conservation areas. Buffers shall be established to protect the integrity, functions and values of the affected habitat. Buffers shall either consist of an undisturbed area of native vegetation, or of areas identified for restoration or enhancement. Required buffer widths shall reflect the sensitivity of the habitat and the type and intensity of human activity proposed to be conducted nearby, and shall be consistent with the management recommendations issued by the Washington Department of Fish and Wildlife.

(10) Seasonal restrictions. When a species is more susceptible to adverse impacts during specific periods of the year, seasonal restrictions, as determined by the Washington Department of Fish and Wildlife, may apply. Larger buffers may be required and activities may be further restricted during the specified season.

(11) Tree retention. The tree retention provisions of WMC 21.16 shall apply to the protection of Fish and Wildlife Habitat Conservation Areas.

(12) Additional information may be required by the Director when appropriate, due to the type of habitat or species present or project area conditions.

21.24.440 Fish and wildlife habitat conservation areas: Performance standards for Specific habitats

(1) The following development standards shall apply for areas with endangered or threatened species:

- (a) No development shall be allowed without prior approval within a fish and wildlife habitat conservation area with which state or

federally endangered or threatened species have a primary association.

(b) Whenever activities are proposed abutting a fish and wildlife habitat conservation area with which state or federally endangered or threatened species have a primary association, such area shall be protected through the application of protection measures in accordance with a Habitat Management Plan prepared by a qualified professional biologist and approved by the Director. Approval for alteration of land adjacent to the fish and wildlife habitat conservation area or its buffer shall not occur prior to consultation with the Washington Department of Fish and Wildlife and the appropriate federal agency, as applicable.

(2) Bald eagle habitat shall be protected pursuant to the Washington State Bald Eagle Protection Rules (WAC 232-12-292). Whenever activities are proposed adjacent to a verified nest territory or communal roost, a Habitat Management Plan shall be developed by a qualified professional. Activities are adjacent to bald eagle sites when they are within eight hundred (800) feet, or within a quarter mile (2,640 feet) and in a shoreline foraging area. The Director shall verify the location of eagle management areas for each proposed activity. Approval of the activity shall not occur prior to approval of the Habitat Management Plan by the Planning Director and Department of Fish and Wildlife.

(3) Great blue heron rookery:

(a) A buffer equal to the distance of 820 feet radius measured from the outer most nest tree in the rookery will be established around an active rookery. This area will be maintained in native vegetation.

(b) Between January 1 and July 31, no clearing, grading or land disturbing activity shall be allowed within 900 feet of the rookery, unless approved by the Director and WDFW.

(c) Approval of all activities requiring permits shall not occur within 900 feet of a heron rookery prior to the approval of a Habitat Management Plan by the Director and WDFW.

(4) Anadromous fish:

(a) All activities, uses, and alterations proposed to be located in water bodies used by anadromous fish or in areas that affect such water bodies shall give special consideration to the preservation and enhancement of anadromous fish habitat, including, but not limited to, adhering to the following standards:

(i) Activities shall be timed to occur only during the allowable work window as designated by the Washington Department of Fish and Wildlife for the applicable species;

(ii) An alternative alignment or location for the activity is not physically practicable ~~feasible~~;

(iii) The activity is designed so that it will not degrade the functions or values of the fish habitat or other critical areas; and

(iv) Any impacts to the functions or values of the habitat conservation area are mitigated in accordance with an approved habitat management plan.

(b) Structures that prevent the migration of salmonids shall not be allowed in the portion of water bodies currently or historically used by anadromous fish. Fish bypass facilities shall be provided that allow

- (c) the upstream migration of adult fish and shall prevent fry and juveniles migrating downstream from being trapped or harmed.
Fills, when authorized pursuant to the City of Woodinville's Shoreline Management Master Program, shall not adversely impact anadromous fish or their habitat or shall mitigate any unavoidable impacts, and shall only be allowed for a water-dependent use.

Section 19. Amendment to Chapter 21.38 Property, Specific Development Standards and Special District Overlays, Sections WMC 21.38.020, Authority and Application to revise existing development regulations is hereby amended to read as set forth below. New text is shown by underline deleted text is shown by ~~strikethrough~~.

CHAPTER 21.38 PROPERTY - SPECIFIC DEVELOPMENT STANDARDS AND SPECIAL DISTRICT OVERLAYS

SECTIONS:

- 21.38.010 **Purpose.**
- 21.38.020 **Authority and application.**
- 21.38.030 **Specific development standards - high density residential R-48/Office.**
- 21.38.040 **Special district overlay - general provisions.**
- 21.38.050 **Special district overlay - pedestrian-oriented commercial development.**
- 21.38.060 **Special district overlay - office/research park development.**
- 21.38.065 **Special district overlay - Tourist District.**
- 21.38.070 **Special district overlay - sexually oriented business.**
- 21.38.080 **Special district overlay - mixed use.**

- 21.38.010 Purpose.**
 The purposes of this chapter are to provide for alternative development standards to address unique site characteristics and to address development opportunities which can exceed the quality of standard developments, by:
- (1) Establishing authority to adopt property-specific development standards for increasing minimum requirements of the code on individual sites; and
 - (2) Establishing special district overlays with alternative standards for special areas designated by master or neighborhood plans.
 - (3) Establishing authority to approve alternative development standards for specific areas through a development agreement. **PROVIDED**, that nothing in this chapter shall be construed as requiring the City to approve or otherwise execute any development agreement regarding a particular property or properties. The City expressly reserves full discretion in determining whether to approve, condition and/or reject any proposed development agreement.

- 21.38.020 Authority and application.**
- (1) This chapter authorizes the City of Woodinville to increase development standards or limit uses on specific properties beyond the general requirements of the code through property-specific development standards, and to carry out Comprehensive Plan policies through special overlay districts which supplement or modify standard zones through different uses, design or density standards or review processes;
 - (2) Property-specific development standards shall be applied to specific properties through reclassification of individual properties as provided in WMC 21.44; and

- (3) Special district overlays shall be applied to specific properties or areas containing several properties through zoning reclassification as provided in WMC 21.44, or
- (4) Property – specific development standards may be applied to a specific property or properties through a development agreement approved by the City Council and consistent with Chapter 36.70B RCW, as the same now exists or may be amended, and as provided in WMC 21.38.090.

21.38.030

Specific development standards - high density residential R-48/Office

- (1) Permitted uses on properties designated high density residential R-48/Office shall include all uses permitted in the Urban Residential (R-19+) and Office Zones as set forth in WMC 21.08, excluding the following:
 - (a) Theater,
 - (b) Funeral homes,
 - (c) Cemetery,
 - (d) Hospital,
 - (e) Self-service storage, and
 - (f) Miscellaneous rental equipment.
- (2) Total floor area for retail sales and services permitted pursuant to Section (1), above, shall be limited to 2,000 square feet per individual use.
- (3) Residential densities shall be developed as follows:
 - (a) The base residential density is forty-eight (48) dwelling units per acre;
 - (b) The maximum residential density is seventy-two (72) dwelling units per acre;
 - (c) The minimum number of dwelling units that may be allowed is 13.02 units per acre;
 - (d) Units may be developed as townhomes, apartments, or senior-assisted.
- (4) Office space, while not required, is permitted if the proposed office use is integrated with the residential uses to the extent feasible.
- (5) The following development standards apply:
 - (a) Setbacks:
 - (i) Street setbacks shall be ten (10) feet.
 - (ii) Interior lot-line setbacks shall be five (5) feet, unless the property line abuts a single family detached dwelling or zone, in which case the setback shall be twenty (20) feet.
 - (b) Building heights: A maximum building height of fifty-five (55) feet is permitted.
 - (c) Impervious surface: The maximum percentage of impervious surface permitted is seventy-five (75) percent.
 - (d) Design standards: See WMC 21.14.050, .070, .080, .090, .250, and .260.
 - (e) On-site recreation: See WMC 21.14.180-.240, .270-.290.
 - (f) Landscaping:
 - (i) Street frontage: A ten (10) foot width of Type III landscaping shall be required.
 - (ii) Street trees shall be required pursuant to the City's street tree plan or as determined by the Planning Director.
 - (iii) Interior lot lines: A ten (10) foot width of Type II landscaping shall be required, except where the development abuts a single family dwelling or zone or industrial development or zone, in which case a twenty (20) foot width of Type II landscaping shall be required.
 - (iv) Parking lot landscaping shall be required per WMC 21.16.070.
 - (g) Parking: The number of parking spaces required shall be determined by a parking study and approved by the Planning Director. Shared parking is permissible per WMC 21.18.040. With the exception of WMC 21.18.030, all other provisions of WMC 21.18 apply.
 - (h) Signs: The provisions of WMC 21.20 shall apply, except for the following:

- (i) To the extent possible, residential views shall not be disturbed by office signs.
 - (ii) Except for mixed use buildings, no office signs shall be permitted in solely residential areas.
 - (iii) Signs for offices must be located within 300 feet of the structure containing the offices.
- (i) Environmentally Sensitive Areas: All provisions of WMC 21.24 apply.

21.38.040 Special district overlay - general provisions.

Special district overlays shall be designated on the City zoning map as follows:

- (1) Designation of an overlay district shall include policies that prescribe the purposes and location of the overlay;
- (2) The special district overlays set forth in this chapter are the only overlays authorized by the code. New or amended overlays to carry out new or different goals or policies shall be adopted as part of this chapter;
- (3) The special district overlays set forth in this chapter may expand the range of permitted uses and development standards established by the code for any use or underlying zone; and
- (4) Unless they are specifically modified by the provisions of this chapter, the standard requirements of the code and other City ordinances and regulations govern all development and land uses within special district overlays.

21.38.050 Special district overlay - pedestrian-oriented mixed-use development.

- (1) Purpose. The purpose of the pedestrian-oriented mixed use development special district overlay is to provide for high-density, pedestrian-oriented housing/retail/employment uses. This overlay is also intended to promote development that (1) provides adequate protection of environmental resources, (2) provides adequate private and public infrastructure, including but not limited to park and open space, transportation and parking facilities, and (3) that makes efficient use of land, (4) that meets minimum requirements for development parcel size and type of development and (5) is consistent with Comprehensive Plan goals for this district. This special district overlay shall only be utilized in areas zoned CBD.
- (2) Findings. The City finds that the downtown area is an appropriate location for development that has a higher intensity than permitted under standard regulations, provided that; the development is adequately served by necessary infrastructure, provides adequate mitigations or public benefits, and is planned, designed and constructed in a manner that is consistent with the City's Comprehensive Plan vision for a compact, attractive, functional and pedestrian-oriented downtown area. The City finds that higher development intensities may create greater impacts. Developments involving greater intensity must provide an increased level of mitigation and public benefit commensurate with their increased community impact. By allowing greater development intensity subject to increased mitigation and public benefits, the City desires to form productive partnerships that will further the City's adopted goals, objectives and policies. The City finds that partnerships involving larger developments on larger parcels will most likely have a greater opportunity for accomplishing the City's vision for downtown. The City finds that these partnerships will likely benefit the City and

enhance the economic vitality of the Woodinville community in numerous ways, including, but not limited to, the following: (i) significantly increasing sales tax revenues and other revenues to the City, (ii) increasing real property tax revenues, (iii) increasing the City's employment base, (iv) generating substantial business and sales taxes from construction required for developments, (v) increasing the City's access to goods and services, (vi) redirecting the public's retail expenditures to business located within the City limits; (vii) providing amenities for public enjoyment such as trails, open public spaces and plaza areas, (viii) creating attractive and unique condominium communities, (ix) helping the City to accommodate its GMA residential and employment growth targets where adequate infrastructure exists, or can be provided concurrent with development, (x) helping to preserve and enhance the natural environment through directing growth and development to areas where environmental impacts can be adequately mitigated, (xi) helping to provide solutions to problems or amenities that have community-wide benefits, (xii) enhancing the vehicular and non-motorized transportation circulation in the City's Downtown area, and (xiii) providing for development in the Downtown area consistent with the City's Downtown and Little Bear Creek Corridor Master Plan

- (3) Development involving higher intensity than permitted under standard regulations may be authorized only through the use of a development agreement with the City. Pursuant to RCW 36.70B.170 and the provisions of this chapter, any such development agreement shall include development standards, which may include but are not necessarily limited to the following:
- (a) Project elements such as permitted uses, applicable residential and nonresidential densities, intensities, and/or building sizes;
 - (b) The amount and payment of impact fees imposed or agreed to in accordance with any applicable provisions of state law, any reimbursement provisions, other financial contributions by the property owner, inspection fees, or dedications;
 - (c) Mitigation measures, development conditions, and other requirements pursuant to applicable City regulations and State;
 - (d) Design standards such as maximum heights, setbacks, drainage and water quality requirements, landscaping, and similar development features;
 - (e) Affordable housing;
 - (f) Parks and open space preservation;
 - (g) Phasing;
 - (h) Review procedures and standards for implementing decisions;
 - (i) A build-out or vesting period for applicable standards; and
 - (i) Any other appropriate development requirement or procedure.
- (4) In order to ensure a level of mitigation or public benefit proportionate to the increased impacts of the development, a development agreement authorized under this section may provide for the completion of projects and acquisition of facilities contained within adopted City plans, including, but not limited to the following:
- (a) Transportation or other improvement projects within the 6-year or 20-year comprehensive plan capital improvement plan.
 - (b) Non-motorized transportation improvements within the adopted Non-Motorized Improvement Plan.
 - (c) Park and open space improvements within the Parks, Recreation and Open Space Plan.
 - (d) Environmental enhancement projects approved by the City.
 - (e) Preservation of open space and protection of environmental resources through a transfer of density credits from a low density residential area to sites in the CBD zone, as authorized by Chapter 21.34 WMC.
 - (f) Other mitigation projects that the City finds will provide mitigation and/or

public benefits commensurate with any development with higher intensity than permitted under standard regulations.

- (5) Criteria for use of development agreements. For the purposes of WMC 21.38.050, development that contemplates approval of higher development intensity through the voluntary use of a development agreement between the City and developer is reserved for developments that are determined by the Planning Director (Director) to meet the following criteria:
- (a) The development parcel(s) is a minimum of two (2) acres.
 - (b) The development, whether single-story or multi-story, combines two or more distinct land use categories that are consistent with the City's Comprehensive Plan.
- (6) Development Potential. All developments in the Pedestrian Oriented Commercial Overlay Zone must comply with the applicable requirements of WMC 21.38.050, and other applicable City regulations. In addition, Except as otherwise provided herein, all development in the pedestrian Oriented Commercial Overlay Zone shall comply with all applicable City regulations. Developments that are determined by the Director to meet the criteria as shown in WMC 21.38.050(5) and that enter into a voluntary development agreement with the City and that provide mitigations or public benefits that exceed those required under standard regulations, may receive additional development potential or incentives, as part of an approved development agreement that specifies the mitigation or public benefit and the City-provided development incentive. These development incentives may include but are not limited to the following:
- (a) City cooperation in timing the construction of public infrastructure, including but not limited to streets designated on the City's official Street Map, that will in part serve and facilitate the proposed development.
 - (b) Potential increased structure height limit, up to a maximum of 150 percent (52.5') of the standard limit of 35', as specified in WMC 21.12.040.
 - (c) Potential increased residential density, up to a maximum of 150 percent (54du/ac) of the standard limit of 36 du/ac, as specified in WMC 21.12.040, or use a floor area ratio (FAR) of not more than 2.5.
 - (d) Other alternative standards, as determined through a development agreement, consistent with provisions of WMC 21.38.095.
- (7) Permitted uses: Permitted uses in the CBD zone shall be those uses permitted in the underlying zone, excluding the following:
- (a) Motor vehicle, boat and mobile home dealer;
 - (b) Gasoline service station;
 - (c) Drive-through retail and service uses;
 - (d) Car washes;
 - (e) Retail and service uses with outside storage, e.g. lumber yards, miscellaneous equipment rental or machinery sales;
 - (f) Wholesale uses;
 - (g) Recreation/cultural uses as set forth in WMC 21.08.040, except parks, sports clubs, theaters, libraries and museums;
 - (h) NAICS Major Group 811111(Automotive repair, services and parking) except 812930(automobile parking; but excluding tow-in parking lots);
 - (i) NAICS Major Group 811 (Miscellaneous repair services), except 811490 (Watch, clock and jewelry repair);
 - (j) NAICS Major Group 51211 (Motion pictures), except 512131(theater) and 53223 (video tape rental);
 - (k) NAICS Major Group 621 (Health services), except offices and outpatient clinics (6211-6213);
 - (l) NAICS Industry Group 484 (Trucking and courier service);

- (m) Public agency archives;
- (n) Self-service storage;
- (o) Manufacturing land uses as set forth in WMC 21.08.080, except 323 (Commercial printing);
- (p) Resource land uses as set forth in WMC 21.08.090;
- (q) kennel or cattery;
- (r) Bulk retail (over 50,000 sq.ft. gross floor area);
- (s) Veterinary clinic;
- (t) Cemetery;
- (u) Columbarium;
- (v) Research development and testing;
- (w) Public agency utility yard;
- (x) Construction and trade;
- (y) Miscellaneous equipment rental;
- (z) Regional land uses set forth in WMC 21.08.100, except for personal wireless facilities, transit park and ride lot, and college or university.

- (8) Development Standards: The following development standards shall apply to uses locating in pedestrian-oriented mixed-use commercial overlay district:
 - (a) Every use shall be subject to applicable provisions of the City's adopted Commercial Design Principles, and other applicable provisions of the WMC.

21.38.060

Special district overlay - office/research park development.

- (1) The purpose of the office/research park special district overlay is to establish an area for development to occur in a campus setting with integrated building designs, flexible grouping of commercial and industrial uses, generous landscaping and buffering treatment, and coordinated auto and pedestrian circulation plans. Office/research park districts shall only be established in areas zoned CBD, GB, O, or I zones. Permitted uses shall include all uses permitted in the CBD, GB, O, and I zones, as set forth in WMC 21.08, regardless of the classification used as the underlying zone on a particular parcel of land.
- (2) The following development standards shall apply to uses locating in office/research park overlay districts:
 - (a) All uses shall be conducted inside an entirely enclosed building, except that outdoor storage and loading areas may be permitted if screened from public view with Type I landscaping;
 - (b) An internal circulation plan shall be developed to facilitate pedestrian and vehicular traffic flow between major project phases and individual developments;
 - (c) The standards set forth in this section shall be applied to the development as a unified site, notwithstanding any division of the development site under a binding site plan or subdivision;
 - (d) All buildings shall maintain a fifty (50) foot setback from perimeter streets and from residential zoned areas;
 - (e) The total permitted impervious lot coverage shall be eighty (80) percent. The remaining twenty (20) percent shall be devoted to open space. Open space may include all required landscaping, and any unbuildable environmentally sensitive areas and their associated buffers;
 - (f) The landscaping standards set forth in WMC 21.16 are modified as follows:
 - (i) Twenty (20) foot wide Type II landscaping shall be provided along exterior streets, and twenty (20) foot wide Type III landscaping shall be provided along interior streets;
 - (ii) Twenty (20) foot wide Type I landscaping shall be provided along property lines adjacent to residential zoned areas;

- (iii) Fifteen (15) foot wide Type II landscaping shall be provided along lines adjacent to nonresidential zoned areas; and
- (iv) Type IV landscaping shall be provided within all surface parking lots as follows:
 - (A) Fifteen (15) percent of the parking area, excluding required perimeter landscaping, shall be landscaped in parking lots with more than thirty (30) parking stalls;
 - (B) At least one (1) tree for every four (4) parking stalls shall be provided, to be reasonably distributed throughout the parking lot; and
 - (C) No parking stall shall be more than forty (40) feet from some landscaping;
- (v) An inventory of existing site vegetation shall be conducted pursuant to the procedures set forth in WMC 21.16. Significant trees identified in the inventory shall be retained as set forth in WMC 21.16 for commercial and industrial developments; and
- (vi) An overall landscaping plan, which conforms, to the requirements of this subsection shall be submitted for the entire district or each major development phase prior to the issuance of any site development, grading, or building permits;
- (g) Lighting within an office/industrial park shall shield the light source from the direct view of surrounding residential areas;
- (h) Refuse collection/recycling areas and loading or delivery areas shall be located at least 100 feet from residential areas and screened with a solid view obscuring barrier;
- (i) Off street parking standards as set forth in Chapter 21.18 are modified as follows:
 - (i) One space for every 300 square feet of floor area shall be provided for all uses, except on-site daycare, exercise facilities, eating areas for employees, archive space for tenants, retail/service uses;
 - (ii) Parking for on-site daycare, exercise facilities, eating areas for employees, archive space for tenants, and retail/service uses shall be no less than one space for every 1000 square feet of floor area and no greater than one space for every 500 square feet of floor area; and
 - (iii) At least twenty five (25) percent of required parking is encouraged to locate in a parking structure; and
- (j) Sign standards as set forth in WMC 21.20 are modified as follows:
 - (i) Signs visible from the exterior of the park shall be limited to one monument office/research park identification sign at each entrance. Such signs shall not exceed an area of sixty four (64) square feet per sign;
 - (ii) No pole signs shall be permitted; and
 - (iii) All other signs shall be visible only from within the park.

21.38.065

Special district overlay - Tourist District.

- (1) The purpose of the Tourist District Overlay is to provide for tourist-oriented retail and commercial uses in the Sammamish Valley. These uses are additional to the uses permitted in the underlying zoning, are visually compatible with surrounding uses, complement the agricultural and recreational activities in the valley, and are planned and conducted in an environmentally sensitive manner. Permitted uses in the Tourist District Overlay and development standards are established to ensure that uses and development within the overlay area fit harmoniously and compatibly and inappropriate intrusion is minimized.
- (2) The following additional uses are permitted in the Tourist District Overlay:
 - (a) Wineries, breweries and distilleries (SIC No. 208), and those uses customarily associated with wineries, breweries, and distilleries including administrative offices, grounds maintenance, gardens, parking, visitor services, retail outlets primarily for products produced on-site, public concert and theatrical events, restaurants, as well as beer and wine tasting events and facilities;

- (b) Manufacture of arts and crafts, provided that at least ten (10) percent of floor area is devoted to retail;
 - (c) Manufacture of bakery (SIC No. 205), confectionery (SIC No. 286), and other specialty food and kindred products provided that at least ten (10) percent of the products manufactured on site must be sold on site;
 - (d) Tourist-related retail and commercial uses: bike shops, delicatessens, art/northwest craft shops, and food stores limited to SIC No. 543 through 549;
 - (e) Theaters, museums, and outdoor performance centers provided:
 - (i) Movie theaters with more than one (1) screen and drive-in theaters are prohibited.
 - (f) Lodging facilities, including bed and breakfast guest houses, lodges, and inns, youth hostels, and campgrounds, provided:
 - (i) The number of rooms is limited to twenty four (24) per acre;
 - (ii) Impervious surface shall be limited to fifty (50) percent of the site;
 - (iii) The height is limited to thirty five (35) feet, not exceeding three (3) stories; and
 - (iv) The style of the structure shall
 - (a) Fit one of the following styles: country inn, bed and breakfast, Victorian, woodland lodge, or other style defined in the Tourist District Master Plan and approved by the Planning Commission Design Review Subcommittee;
 - (b) Be compatible with existing development; and
 - (c) Meet the criteria as listed in the Tourist District Master Plan.
 - (g) Conference centers, provided that:
 - (i) The design and scope of the project fit in with the intent of the Tourist District and are compatible with surrounding development; and
 - (ii) The design meets the criteria of the Tourist District Master Plan.
 - (h) Passenger train stations;
 - (i) Parks, trails and recreation services providing rental of bicycles, roller skates or blades, canoes, kayaks, rowboats, and floatation devices;
 - (j) Restaurants, except drive-through facilities;
 - (k) Antique stores and bookstores;
 - (l) Art dealers and galleries (retail);
 - (m) River-related uses and accessories, such as small-boat rentals or steamboat quays/docking;
 - (n) Accessory uses incidental to or dependent upon permitted uses; and
 - (o) Uses similar to those listed above which the Planning Director determines are consistent with the purposes of the Tourist District Master Plan.
- (3) Manufacturing uses that are permitted in the underlying zoning are allowed in the Tourist District, except that:
- (a) No primary manufacturing, including smelting or refining, as defined in the SIC Manual, is allowed;
 - (b) All manufacturing activities must take place indoors;
 - (c) No on-going outdoor storage of machinery, raw materials, or finished products is permitted in excess of sixty (60) days without proper and complete screening from public view;
 - (d) Noxious and persistent odors must be minimized to the greatest extent available and feasible; and
 - (e) Repetitive noise that is attributable to manufacturing must be minimized between the hours of 9 pm and 7 am.

- (4) The following development criteria shall apply to development proposals within the Tourist District Overlay:
 - (a) Building architecture, including design, materials, bulk and scale shall be compatible with the recreational, agricultural, and tourist character of surrounding uses and consistent with the purposes of Tourist District Master Plan;
 - (b) Site and landscape design shall facilitate pedestrian, bicycle, and vehicular traffic flow between major project phases and individual developments and any adjacent tourist-related uses;
 - (c) Site design shall minimize connections to the Woodinville-Redmond Road (SR 202) through use of shared driveways;
 - (d) All development is subject to the City of Woodinville's Design Guidelines, except that:
 - (i) Developments shall provide a ten (10) foot width of Pedestrian Space as defined in Appendix A and Section II.H.2.a of the City's Design Guidelines or provide ten (10) feet of Type III landscaping; and
 - (ii) A ten-foot sidewalk/bike path shall be provided; and
 - (e) All development with frontage on SR 202 is subject to the City's Design Guidelines regulations for pedestrian-oriented streets.
- (5) The following development standards and requirements shall apply to all development and all property under common ownership located within the Tourist District Overlay:
 - (a) All uses except for accessory uses shall be conducted inside an entirely enclosed building provided that uses that are not contained in the enclosed building shall be treated architecturally to minimize visual impact;
 - (b) The height of each building and accessory structures shall not exceed forty-five (45) feet from the existing grade, provided height may be increased when the increase is for architectural or functional features integral to the design or use of the structure and is consistent with the purpose of the Tourist District Overlay, subject to approval by the Planning Director. Said architectural or functional features shall be limited to penthouses or roof structures for housing of elevators, stairways, tanks, ventilating fans or similar equipment required to operate and maintain the building; fire or parapet walls, skylights, towers, flag poles, chimneys, smoke stacks, church steeples and belfries, wireless mast, utility line towers and poles, windmills, food silos and barns, and similar structures required for the use of the building;
 - (c) All loading and service areas shall be screened so that they are not visible from public roads and trails by berms, Type I landscaping and/or architectural features;
 - (d) All buildings shall maintain a twenty (20) foot landscaped setback from residentially zoned or developed areas, unless it can be shown that twenty (20) feet of permanent landscaped buffer exists between structures;
 - (e) All buildings shall maintain a five (5) foot wide landscaped setback from interior property lines abutting non-residentially zoned areas;
 - (f) All buildings shall maintain a 100 foot landscaped setback from the Sammamish River.
 - (g) Trails shall either be provided or land for trails dedicated along the Sammamish River.
 - (h) The site coverage standards set forth in WMC 21.12 are modified as follows:

- (i) The total permitted impervious lot coverage shall be eighty-five (85) percent. The remaining fifteen (15) percent shall be devoted to open space. Open space may include all required landscaping, and any unbuildable environmentally sensitive areas and their associated buffers;
 - (ii) Trails may be provided in the area dedicated to open space; and
 - (iii) When a subdivision or a binding site plan is proposed for a unified site, the site coverage standards apply to the total unified site and not each proposed lot;
 - (i) Landscaping shall meet the standards set forth in the City's Design Guidelines, provided that:
 - (i) An overall landscaping plan for each development phase shall be approved by the Planning Director prior to the issuance of any site development, grading, or building permits;
 - (ii) Either ten (10) feet of street front landscaping or ten (10) feet of pedestrian-oriented space shall be provided;
 - (iii) Landscaping shall be included along interior lot lines in a commercial, office, or industrial development as follows:
 - (a) A twenty (20) foot width of Type I abutting residentially developed property or undeveloped residentially zoned property;
 - (b) A ten (10) foot width of Type I abutting property developed public recreational;
 - (c) A ten (10) foot width of Type I abutting property designated as permanent open space; or
 - (d) Five (5) feet of Type II abutting commercially or industrially zoned or developed areas;
 - (iv) Type IV landscaping shall be provided within all surface parking lots as follows:
 - (a) Fifteen (15) percent of the parking area, excluding required perimeter landscaping, shall be landscaped in parking lots with more than thirty (30) parking stalls;
 - (b) At least one (1) tree for every four (4) parking stalls shall be provided, to be reasonably distributed throughout the parking lot; and
 - (c) No parking shall be more than forty (40) feet from some landscaping.
 - (v) Notable trees identified in the Tree Board inventory shall be retained as set forth in WMC 21.16;
 - (j) Refuse collection/recycling areas and loading or delivery areas shall meet the requirements of 21.14.250(4) and shall be located at least twenty (20) feet from residential areas, tourist related uses, or trails and screened with Type I landscaping;
 - (k) Sign standards for the Tourist District are set forth in Chapter 21.20.
 - (l) All rooftop mechanical equipment shall be screened architecturally to minimize its visual impact, provided that the screen is as high as the equipment.
- (6) All development in the Tourist District shall be subject to design review, provided:
- (a) Applications shall be reviewed by the Planning Commission Design Review Subcommittee; and
 - (b) Design review shall be performed considering the following factors:
 - (i) These regulations;
 - (ii) The City's Design Guidelines;
 - (iii) The ability of the development to fit compatibly with existing development; and
 - (iv) The Tourist District Master Plan.

- (7) Street frontage standards shall adhere to the following:
 - (a) Landscaping and open space shall conform to WMC 21.38.065.(5)(1) above;
 - (b) Standard sidewalks and bike paths shall be provided; however a ten (10) foot combined sidewalk/bike path made of asphalt may be provided in lieu of standard sidewalks and bike paths;
 - (c) The sidewalk or the combined sidewalk/bike path shall be separated from vehicle lanes by a minimum five-foot landscaped strip;
 - (d) The sidewalk or the combined sidewalk/bike path may meander on to private property with a public access easement; and
 - (e) Street trees shall be planted in the landscaping strip twenty-five (25) feet on center utilizing one of the species of street tree selected from the Tree Board recommended Tree Species List, and approved by the City's Tree Official.
- (8) Special events and outdoor performances shall comply with the Temporary Use Permits section of the WMC 21.32 and the following:
 - (a) All needed parking will be accommodated on-site by a combination of permanent and temporary facilities or on other private sites with appropriate written consent;
 - (b) An event management plan covering sanitation, crowd control, traffic parking and emergency services shall be filed with the Public Works Director; and
 - (c) The maximum permissible sound levels for receiving property shall not exceed 59 dBA per WMC 8.08 for short duration increased levels.

21.38.070 Special district overlay - Sexually Oriented Business. See WMC 17.19 regarding the establishment and location of the sexually oriented business overlay district.

21.38.080 Special district overlay - pedestrian-oriented mixed-use development.
The provisions of the underlying zone shall apply, until regulations are adopted.

21.38.090 Special Overlay District – Transit Oriented-Housing Development Overlay.

- (1) Purpose. The purpose of the Transit-Oriented Housing Development Overlay is to encourage redevelopment of existing publicly-owned park & ride lots within the Central Business District zone as mixed-use developments consistent with the definition of transit-oriented housing development in WMC 21.06.662.
- (2) The alternative development standards contained in WMC 21.38.090(3) may apply to any transit-oriented housing development which satisfies the following criteria:
 - (a) The proposed development is located within the Central Business District zone; and
 - (b) The proponent(s) of the proposed development have executed a development agreement with the City consistent with this chapter and Chapter 36.70B RCW which:
 - (i) Incorporates the Woodinville TOHD Community Guidelines adopted by the Woodinville City Council on January 3, 2005, including any amendments thereto;
 - (ii) Ensures the continued viability of the development site as a public transit center;
 - (iii) Adequately provides for on-site affordable housing;
 - (iv) Adequately provides for streets, roads, and sidewalks, including but not limited to applicable grid roads depicted on the Roadway Improvement Plan for the Downtown Area contained within the Transportation Chapter of the adopted Comprehensive Plan;
- (3) Alternative development standards. For any transit-oriented housing development satisfying the criteria contained in WMC 21.38.090(2), the calculation of permissible dwelling units may be based upon the Maximum Floor/Lot Ratio (FAR) with a base minimum of 2.0 and up to a maximum allowable of 2.5 rather than the otherwise applicable dwelling units per acre

standard.

21.38.095 Development Agreement.

Alternative development standards may be applied to specific properties or areas containing several properties through a development agreement. A Development Agreement shall be reviewed by the Planning Commission and following a public hearing, will be subject to City Council approval, in accordance with RCW 36.70B.170-210; together with all other applicable regulations. All development and uses shall occur in accordance with the adopted Development Agreement.

- (1) Development Agreement Purpose. The purpose of a Development Agreement shall be to set forth all necessary components of the development into a binding written instrument that is executed by the property owner or owner's representative, and the City.
- ~~(2) Development agreement approval criteria. A development agreement shall be approved by the City Council only if the applicant demonstrates the project meets the criteria identified on WMC 21.44.050.~~
- (32) Development Agreement Contents. A Development Agreement may include, but is not limited to, the following elements:
 - (a) A Master Development Plan and site drawing that describes and shows the location, dimensions and uses of all proposed features.
 - (b) Transportation improvements, including a unified parking plan (on and off street) and transportation demand management strategies, (if proposed), for the uses within the development and overlay.
 - (c) Parcel maps and surveys if subdivision is contemplated, i.e., Binding Site Plan drawing and/or Preliminary Plat.
 - (d) Elevation drawings showing the proposed architectural features of principle structures and how the City's Design Standards and other regulations have been incorporated into the project design.
 - (e) An Environmental Compliance Plan, documenting how environmental impact assessment and mitigation requirements will be met.
 - (f) A written narrative description of the proposed project, including the size or number of units for each phase of the project, construction sequencing, timing, and any future phases contemplated.
 - (g) Financial terms and commitments for any public or private infrastructure improvements required, including any bonding requirements.
 - (h) The amount of any applicable impact fees due.
 - (i) Public or private park, recreation and open space improvements.
 - (j) Provisions to address any conditions arising from non-City agencies with jurisdiction.
 - (k) Provisions to address any of the following: future amendment of the Development Agreement, enforcement, dispute resolution and property transfer.

Section 20. Amendments to Section 21.44.070, Zone reclassification of the Woodinville Municipal Code is hereby amended to read as set forth below. New text is shown by underline deleted Text is shown by ~~strikethrough~~.

21.44.070 Zone reclassification.

A zone reclassification shall be granted only if the applicant demonstrates that the proposal is consistent with the Comprehensive Plan and applicable functional plans at

the time the application for such zone reclassification is submitted, and complies with the following criteria:

- (1) There is a demonstrated need for additional zoning as the type proposed.
- (2) The zone reclassification is consistent and compatible with uses and zoning of the surrounding properties.
- (3) The property is practically and physically suited for the uses allowed in the proposed zone reclassification. (Ord. 175 § 1, 1997)

Section 21. Amendments to Zoning Map Adopted. The City of Woodinville Zoning Map is hereby amended to read as set forth in Attachment D, which is attached hereto and incorporated herein by this reference as if set forth in full.

Section 22. Authorization for changing the Comprehensive Plan Future Land Use and Zoning Maps Adopted. The Planning Director is hereby authorized and directed to make the necessary changes to the City's official Comprehensive Plan Future Land Use Map and Zoning Map as set forth in this Ordinance.

Section 23. Severability. Should any section, paragraph, sentence, clause, or phrase of this Ordinance be held invalid or unconstitutional by a court of competent jurisdiction, such invalidity or unconstitutionality shall not affect the validity or constitutionality of any other section, sentence, clause, or phrase of this Ordinance. Provided, however, that if any section, sentence, clause, or phrase of this Ordinance, or any change in a land use designation is held to be invalid by a court of competent jurisdiction, or by the Growth Management Hearings Board, then the section, sentence, clause, phrase, or land use designation in effect prior to the effective date of this ordinance, shall be in full force and effect for that invalidated section, sentence, clause, phrase, or land use designation, as if this ordinance had never been adopted.

Section 24. Copy to CTED. Pursuant to RCW 36.70A.106(3), the City Clerk is directed to send a copy of the amendments to the State Department of Community, Trade, and Economic Development for its files within ten (10) days after adoption of this Ordinance.

Section 25. Effective Date. The adoption of this Ordinance, which is a power specifically delegated to the City legislative body, is not subject to referendum. This Ordinance or a summary thereof shall be published in the official newspaper of the City, and shall take effect and be in full force five (5) days after the date of publication.

**PASSED BY THE CITY COUNCIL OF THE CITY OF WOODINVILLE THIS 12th DAY
OF DECEMBER 2005.**

APPROVED:



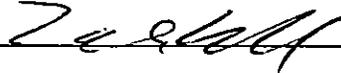
DON BROCHA, MAYOR

ATTEST/AUTHENTICATED:



SANDRA PARKER
CITY CLERK/CMC

APPROVED AS TO FORM:
OFFICE OF THE CITY ATTORNEY

By: 

PASSED BY THE CITY COUNCIL: 12-12-2005
PUBLISHED: 12-19-2005
EFFECTIVE DATE: 12-24-2005
ORDINANCE NO. 400

CHAPTER 7 PARKS, RECREATION, AND OPEN SPACE

7.1 Introduction

The Parks, Recreation, and Open Space Element is an optional element per the Growth Management Act; however, capital acquisitions including property and facilities for parks and recreation must be included in the required Capital Facilities Plan. Additionally, the Growth Management Act encourages jurisdictions to retain open space, develop recreational opportunities, conserve fish and wildlife habitat, increase access to natural resource lands and water, and develop park facilities. Open space corridors are further referenced in the Growth Management Act requiring that land use plans include identification of "...open space corridors within and between urban growth areas. They shall include lands useful for recreation, wildlife habitat, trails, and connection for critical areas."

In 1997 the City Council created a Parks and Recreation Commission and charged that body with the creation of a comprehensive Parks, Recreation, and Open Space Plan (PRO Plan) for the City. The ~~1998 PRO Plan~~ 2005 PRO Plan, adopted by reference in this Comprehensive Plan, provides the detailed findings and data of a year long study conducted by the Parks and Recreation Commission. The PRO Plan also contains the tables and survey results which form the basis for the levels of service and strategy outlined in this element.

Since Woodinville is part of a larger urban region, Woodinville residents have access to parks and recreation programs that are provided by King and Snohomish Counties, other nearby jurisdictions, and the private sector. At the same time, residents outside of Woodinville have access to parks and recreation programs within the City. For information on the available facilities and recreation programs within Woodinville, please see the Park, Recreation and Open Space Plan. The reader should note that for analysis purposes, those recreation facilities currently planned by the City of Woodinville are included as part of the City's inventory.

This element and the Park, Recreation and Open Space Plan provide an inventory of park and recreation facilities and programs in Woodinville; analyze the City's ability to provide adequate parks, open space, and recreation services to its citizens; set standards for such services; and present a strategy for providing additional facilities and programs.

7.2 Goals and Policies

GOAL PRO-1: To provide quality parks and open space for Woodinville's citizens and visitors.

Policies

- PRO-1.1** Design and locate park facilities to adequately serve the needs of the current and projected population in the City of Woodinville and of the City's visitors.
- PRO-1.2** Work with appropriate regional/county agencies to jointly finance parks and recreation facilities within the City and region.
- PRO-1.3** Use the Woodinville Zoning Code and a combination of creative financing alternatives, impact fees, developer mitigation, grants, and cooperative strategies with the private sector to pay for the acquisition and construction of parks and acquisition of open space.
- PRO-1.4** Develop a plan for adequate and long-term maintenance for every public park prior to construction.
- PRO-1.5** Build a partnership with the state, counties, and local entities to encourage the development of parks and public space throughout and for the region.
- PRO-1.6** Provide parks within and adjacent to the City's Central Business District to serve as

focal points for downtown Woodinville.

- PRO-1.7** Support King and Snohomish Counties in fulfilling their defined role of providing regional facilities, programs, parks, and open space.
- PRO-1.8** Maintain existing and/or future parks and recreation facilities using best management practices and best available science.
- PRO-1.9** Achieve and/or maintain parks and recreation capital facilities level-of-service (LOS) standards to establish long-term facility and funding requirements.

GOAL PRO-2: To ensure adequate and enriching recreational activities for the citizens of Woodinville.

Policies

- PRO-2.1** Create and promote a wide range of new facilities and opportunities to address the recreational needs of the citizens of Woodinville.
- PRO-2.2** Provide recreational facilities in and near downtown and within the Tourist District to accommodate citizens and tourists.
- PRO-2.3** Provide recreational activities specific and appropriate for each age group pursuant to the adopted Recreation Plan and Parks Recreation and Open Space (PRO Plan).
- PRO-2.4** Provide public access to the water's edge when developing parks and public space along the Sammamish River in compliance with the City's Shoreline Master Program.
- PRO-2.5** Develop and maintain a comprehensive multi-modal trail system connecting all parts of Woodinville.

GOAL PRO-3: To create and preserve a variety of open space to maintain and enhance the quality of life.

Policies

- PRO-3.1** Preserve open space throughout the City to provide for passive uses such as scenic vistas, shoreline access, and fish and wildlife habitat.
- PRO-3.2** Give precedence to those acquisitions, developments, and open space opportunities which have the greatest potential to preserve diversity and protect valuable fish and wildlife habitat.
- PRO-3.3** Give preferences to facilities that improve water quality, protect stream corridors, and provide fish spawning habitat; especially those that serve species which are endangered or threatened.
- PRO-3.4** Plan interpretive facilities and environmental programs to increase public understanding of the value of stream corridors, wetlands, and critical areas.
- PRO-3.5** Consider incentives to preserve valuable open space in new development.
- PRO-3.6** Utilize a variety of public and private tools in the preservation of open space including donations, land banking, mitigation, impact fees, grants, and partnerships, or transfer of development rights, regulatory restrictions, and tax relief programs.

GOAL PRO-4: To explore innovative opportunities to achieve parks, recreation, and open space objectives as a part of all City planning activities and development review.

Policies

- PRO-4.1** Plan bike paths, trails, and non-motorized transportation routes to improve access to parks, recreational facilities, open space, residential neighborhoods, employment centers, downtown, and other local and regional non-motorized systems.
- PRO-4.2** Integrate planning for park facilities with other capital facility projects such as roads and stormwater projects in order to realize the greatest benefit to the public by leveraging mitigation, grant funds, and cost-effective use of design, acquisition, and construction funds.
- PRO-4.3** Take a leadership role in coordinating the development of park and recreation facilities with neighboring jurisdictions.
- PRO-4.4** Obtain agreements with the Northshore School District to maximize recreational opportunities and provide greater access to school facilities during non-school times for the entire community.

GOAL PRO-5: To create a public process that involves citizens in identifying, acquiring, and designing parks, recreation facilities, and open space, and in designing recreational programming to meet diverse needs.

Policies

- PRO-5.1** Integrate public participation regarding park and recreation planning with other aspects of community development.
- PRO-5.2** Provide opportunities for potential primary users of recreational facilities to participate in the process of selection, acquisition, and development of open space, recreational facilities, and programming.

7.3 Role of the City

Woodinville should perform a strategic role by: 1) providing park, recreation, and open space facilities and programs that no other agency can or is willing to provide; 2) coordinating local interests where facilities are provided by many other agencies; and 3) acting as a facilitator where unique acquisition or development opportunities may occur which could be implemented or operated by other agencies.

A strategic approach to services will require the following components.

Involvement

Woodinville must coordinate planning and development efforts with other agencies to be aware of and have input in these and other agency local programs and efforts.

Planning

Woodinville must continually analyze long range needs and conditions for residents within city limits, as well as for surrounding area residents and users who may use local facilities in order to recognize and be prepared to act on opportunities.

Priorities

Woodinville must decide policies and outline actions to be undertaken should opportunities allow strategic developments.

Commitment

Woodinville must provide appropriate staff expertise and budgets with which to implement strategic planning programs and projects when no other agency can or is willing to do so within a strategic

The Parks, Recreation, and Open Space Plan contains a full description of the role of the City with regard to the following:

- a. Environmental conservation,
- b. Outdoor facilities,
- c. Special facilities,
- d. Indoor facilities,
- e. Recreation programs,
- f. Coordinating activities,
- g. Planning and development assistance, and
- h. Development, operation, and maintenance.

7.4 Existing Lands and Facilities

A variety of public, private agencies, and various other public and private organizations have assembled acres of land with park, recreation, and open space uses within the City.

These lands provide a variety of park, recreation, and open space activities including waterfront access points, picnic facilities, trail corridors, athletic fields and playgrounds, community facilities, and supporting administrative and maintenance facilities.

The Park, Recreation and Open Space Plan contains an extensive inventory of all existing land and resources within City limits and the park service area. The Plan also accounts for the effects of future demand on those facilities and programs and calculates the investment necessary to preserve existing and proposed levels of service.

Park Acreage within the City of Woodinville

Table 7-1
2004 Inventory - City Park Resources

Neighborhood Parks	Acres	Location	Description/Current use
Greenbrier Mini-park	0.50	Town Center	Open grass play area
Quail Ridge Mini-park	0.35	Upper West Ridge	Undeveloped play tract
Stonehill Meadows Mini-park	0.12	Wedge	Play structure/playground
Tanglin Ridge Mini-park	0.15	Woodinville Heights	Undeveloped play tract
Woodin Glen Mini-park	0.95	Wedge	Undeveloped picnic/play area with wetland
Woodinville Heights Mini-park	0.57	Woodinville Heights	Play structure, picnic area, natural area
Total Neighborhood Parks	2.64		

Community Parks	Acres	Location	Description/Current use
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City of Woodinville Comprehensive Plan

Parks, Recreation, and Open Space

City Sports Fields	6.56	Town Center	3 baseball fields, 1 soccer
Wilmot Gateway Park	3.70	Town Center	Open grass play area, playground, picnic, restrooms, parking
Woodin Creek Park	4.10	Town Center	Open grass play, 1 tennis, ½ basketball, picnic, parking, wetland area
Total Community Parks	14.36		

Resource/Open Space Parks	Acres	Location	Description/Current use
Greenbrier N.G.P. Site	12.32	Town Center	Wetland NGPE, soft 8' wide trail
Little Bear Creek Park	6.48	Town Center	Undeveloped, wetlands, open area with active rec. potential, future trails
Rotary Community Park	17.39	Wedge	Wetlands, trail, interpretive sites, picnic areas
West Slope Resource Park	39.67	Upper West Ridge	Critical areas, slopes, springs, forest, trail potential
Total Res./Open Space Parks	75.86		

Special Use Parks	Acres	Location	Description/Current use
Woodinville Community Center	3.74	Town Center	Rec. program rooms, basketball, parking, restrooms
DeYoung Park	0.62	Town Center	Special events venue, picnic, parking
Skate Park at Rotary Community Park	0.90	Wedge	Outdoor concrete skate/BMX, playgrounds, restroom
Total Special Use Parks	5.26		

Linear Trails	Miles	Location	Description/Current use
Georgian Heights Wetland Trail	0.25	Wedge	Improved 12' wide bike/walk easement
Greenbrier Wetland Trail	0.11	Town Center	8' wide wood chip trail
Quail Ridge Trail	0.12	Upper West Ridge	25' wide <i>unimproved</i> easement
Rotary Community Park Trail	0.90	Wedge	8' wide hiking trail through wetland area
Woodinville Valley Trail	0.40	Tourist District	25' wide multi-mode trail crosses Sammamish River
Total Linear Trail	1.78		

Resource Conservancy:

Conner Property/Woodin Glen Pond	0.95 Acres
Lumpkin Property	6.48 Acres
Mercer Property	1.20 Acres
Beeson Property	17.09 Acres
Lakeside Property	39.67 Acres
Total	65.39 Acres

Resource Activity:

Woodin Creek Park (part)	2.13 Acres
Wilmot Park (part)	0.85 Acres
Woodinville Heights (part)	.025 Acres
Total	3.23 Acres

Linear Trails:

Woodinville Valley Trail	2.9 Acres
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Total 2.9 Acres

Athletic Fields/Playgrounds:

Woodinville Heights	0.32 Acres
Sorenson	7.30 Acres
Woodin Creek Park	2.13 Acres

Total 9.75 Acres

Special Use Facilities:

Wilmot Park Amphitheater and overlook	2.84 Acres
DeYoung Park	0.62 Acres

Total 3.47 Acres

Recreation Centers/ Pools:

Sorenson	6.17 Acres
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Total 6.17 Acres

The total recreation acreage within the City of Woodinville is 90.91 acres.

7.5 Future Growth Implications

According to the ~~1998-2005~~ Parks Recreation and Open Space (PRO) Plan, the population of Woodinville will continue to grow in significant fashion.

According to the ~~1998 PRO Plan~~ 2005 PRO Plan, the population of the City of Woodinville park service area (as defined by PRO Plan Section 1.1, figure 1, Park, Recreation and Open Space Planning Area) will increase from approximately 42,000 10,619 persons in ~~1997-2010~~ to an estimated 55,000 11,772 persons by the year ~~2003-2010~~ or by 13,000 more persons, an increase of ~~30.9~~ 16 percent. The forecasted population increase will create significant requirements for all types of park, recreation, and open space lands and facilities.

Under the City's existing-planned level-of-service (LOS) standards, the forecasted population increase will create a citywide need for additional acres of land devoted to parks and recreation. Please see Chapter 4 Demand Analysis 5—Land and Facility Demand of the Parks, Recreation and Open Space (PRO) Plan, for a detailed discussion of future needs and levels of service.

7.6 Financial Implications

The Growth Management Act requires that cities plan for future capital facilities, including parks. Capital funding can be obtained from a number of sources including the city's general fund account, state and federal grants, and impact fees. However, impact fees can only be charged as related to new population and not be used to finance existing level-of-service deficiencies. The Capital Facilities Plan defines those projects which will be funded in the next six years. Funding for park facilities and programs is presented in the Capital Facilities Plan (see Chapter 10 – Capital and Public Facilities). A detailed discussion of the financial implications of future land acquisition and facility development can be found in Chapter 6 Implementation 9 - Finances of the Parks, Recreation and Open Space (PRO) Plan.

The potential development costs (and existing value) for each type of land and facility were estimated using a replacement cost estimating methodology. The methodology estimated the costs required developing prototype improvements for each facility, including direct costs such as utilities, parking, and supporting site furnishings or equipment and indirect costs, including design fees, sales taxes, permit fees, and financing.

In some instances, the prototype facility development cost estimates were varied to account for different field sizes, trail surfaces, or other quality assumptions. The total development costs were then divided by an appropriate unit of measure (square foot, mile, picnic table, parking stall) to determine a pro rata cost or value rate.

Based on the prototype facility costs per unit, increased facility requirements in Woodinville will create significant cost investments if the City and all sponsoring agencies are to maintain, let alone improve upon, existing level-of-service standards.

7.7 Implementation Strategies

The following implementation strategies are based on an analysis of existing park, recreation, and open space conditions, the results of workshop planning sessions, and the goals and policies developed in this Comprehensive Plan.

7.7.1 System-wide Strategies

1. Pursue an interlocal agreement with the Northshore School District so that school recreation facilities and programs are available to Woodinville residents.
2. Continue to monitor and maintain park impact fee ordinance for residential development. Draft park impact fee ordinance(s) for non-residential development.
3. Pursue park land acquisition and development.
4. Actively pursue alternative funding opportunities for parkland development and recreation programs. Funding sources might include, but are not limited to:

City

General obligation bonds,
 Councilmanic bonds,
 Real Estate Excise Tax,
 Admissions Tax,
 General fund,
 Development mitigation,
 In-kind dedication,
 Impact Fees,
 Lease agreements,

External

Washington Interagency Committee grants for outdoor recreation, including the Land and Water Conservation Fund Program, Endangered Species Recovery, and the Urban Wildlife Habitat Program.

Grants,
 Donations,
 Foundation grants,
 Partnerships,
 Northshore Park and Recreation Service Area (junior taxing district),
 Volunteerism,
 Adopt-a-Park programs, and
 Gift catalogues.

5. Pursue long-range partnering strategies with local organizations, businesses, and private recreation providers to develop high priority activities and programs.
6. Continue to enhance and maintain the Community Center.
7. Improve access to recreation opportunities within the park service area by using innovative transportation partnerships with the Northshore School District, adjacent private providers, and other entities.

8. Consider proposed annexations that include open spaces to provide buffers between urban and rural areas and to provide open space within City limits.
9. Establish policies and procedures for private property dedication for park land within the City.
10. Continue to recruit the volunteer corps of citizens and businesses to support the City's facilities and programs.
11. Evaluate incentives and regulations in the Zoning Code to encourage private developers to contribute to the expansion of trail corridors, enhance wetlands, and protect habitat and critical areas.
12. Include acquisition, development, maintenance guidelines, procedures, and budget when preparing master plans for future neighborhood and community parks.
13. Establish interagency agreements with the Seattle Water Department and Puget Sound Energy to develop new trails and enhance existing trails along their respective utility corridors.
14. Establish working relationships with other public agencies to promote the acquisition, development, and management of high demand recreation facilities.
15. Allocate resources for park and recreation facilities that place emphasis on the acquisition of land for park sites while they are still available.
16. ~~Identify and~~ Design and implement the community oriented local trail system including routes which connect residential areas with recreation areas including parks and open space; routes which provide access to public shoreline areas; routes which incorporate views and other special features of scenic, historic, or architectural interest; and routes which provide access to and connect schools and activity centers.
17. Maintain existing public access to the Sammamish River and provide or acquire and develop additional access points to ensure the use of this river as a trail corridor and recreation area.
18. Negotiate with King County to obtain appropriate recreation facilities to correct historic park and recreation deficiencies in the area.

7.7.2 Goals and Objectives Specific Strategies

The PRO Plan goals and objectives are based on an analysis of existing park, recreation, and open space conditions, the results of workshop planning sessions, all of the surveys mentioned above and the goals and policies developed in the city's Comprehensive Plan.

In 1998, the first PRO Plan for the City of Woodinville was guided by a set of goals and objectives similar to those in this Plan. In 2003, the 1998 PRO Plan goals were reviewed and revised as part of the Comprehensive Plan revision for the City of Woodinville. In addition, during the spring of 2004, the Parks and Recreation Commission participated in a further review and update of those goals for inclusion in this Plan. The current version of the parks, recreation and open space Goals and Objectives for this Plan are outlined below.

Wildlife Habitat

1. Identify and conserve wildlife habitat ~~in conjunction with other agencies~~ including nesting sites and foraging areas within or adjacent to natural areas, open spaces, and developed urban areas - such as the wetlands and woodlands surrounding Little Bear Creek, ~~Woodin, Nelson, Gold, Daniel's, and Derby Creeks~~, the Sammamish River, Woodin Glen Pond, and Lake Leota Lake.
- ~~3.2.~~ Acquire and preserve wildlife migration corridors that link nesting sites and foraging areas, such as the riparian corridors along Little Bear, Nelson, Woodin, Gold, ~~Derby, and Daniel's Creeks~~, and the Sammamish River.
- 3.
2. Work with the Washington State Department of Fish and Wildlife to ~~institute a~~ promote the "Backyard Wildlife Sanctuary" program in which where private landowners and other volunteers ~~set aside~~ enhance portions of their properties for native habitat and wildlife protection, ~~especially. The program should focus in areas adjacent to migration corridors along Little Bear and Woodin creeks, Nelson, Woodin, Gold, Derby, Daniel's Creeks and other greenway areas within the City, and adjacent Snohomish County urban growth area.~~

Natural Areas

4. Preserve and protect significant environmental features including unique wetlands, open spaces, woodlands, shorelines, waterfronts and other characteristics that support wildlife and reflect Woodinville's natural heritage, such as the woodland stands located along the plateaus overlooking the Little Bear Creek, ~~Derby Creek~~ and Sammamish River Valleys.
5. Acquire and provide public access ~~where appropriate~~ to environmentally sensitive areas and sites that are especially unique to the Woodinville area - such as Woodin, Glen Pond, ~~Gold Creek~~, Little Bear Creek, ~~Derby Creek~~, and Lake Leota Lake.

Open Spaces and Preserves

Develop a high quality, diversified park and open space system that preserves and enhances significant environmental resources and features.

Open Spaces

- ~~4.6.~~ Define and conserve a system of open space corridors or separators to provide definition between natural areas and urban land uses, especially at the City's gateways at Woodinville-Snohomish Road, Woodinville Drive and NE 175th Street, and NE 171st Street and 140th Avenue NE.
- ~~2.7.~~ Increase natural area and open space linkages within the developed area, including along Little Bear and Woodin creeks, ~~Nelson, Derby, and Gold Creeks~~.
- ~~3.8.~~ Acquire and/or preserve environmentally sensitive areas as natural area linkages and urban separators, particularly along the steep hillsides that define the sides of all creek corridors, and the edge of the Sammamish River Valley.

Urban Growth Preserves and Set-Asides

- ~~4.9.~~ Cooperate with public and private agencies and with private landowners to set-aside land and resources necessary to provide high quality, convenient park and recreational facilities before the most suitable sites are lost to development. Examples are the wooded, undeveloped, and sensitive lands adjacent to Little Bear Creek, ~~Derby Creek~~, Woodin Glen Pond, Winchester Hills ~~NGPE~~, John Muir Ravine, ~~Gold Creek adjacent to Gold Creek Park~~, the Nelson Homestead, and Wellington Hills Golf Course.

~~5-10.~~ Preserve unique environmental features or areas in future land developments and increase public use and access. Cooperate with public and private agencies and with private landowners to set aside unique features or areas as publicly accessible resources.

Historical Resources

Develop a high quality, diversified park and open space system that preserves significant historical opportunity areas and features

Historical Features and Interests

~~6-11.~~ Identify, enhance, and provide appropriate interpretation of Woodinville's cultural heritage, traditions, and cultural features, including historical sites, views, and monuments such as the ~~Nelson Homestead, the Johann Koch Blacksmith site, and Memorial Mead Cemetery, and the lands between the cemetery and the original alignment of the SL & E Railroad.~~

~~7-12.~~ Identify and incorporate significant historical and cultural lands, sites, artifacts, and facilities into the park system to preserve these interests and provide a balanced social experience, such as the Old Woodinville Schoolhouse and the Historical Society's salvage and relocation of the old mill structure.

~~8-13.~~ Work with King and Snohomish Counties and Woodinville Historical Society and other cultural groups to incorporate community activities into park and recreational programs.

Manmade Environments and Features

~~9-14.~~ Incorporate interesting manmade environments, structures, activities, and areas into the park and open system to preserve these features and provide a balanced park and recreation experience - such as the old wooden trestle across the Sammamish River.

~~10-15.~~ Work with property and facility owners to increase public access and utilization of these special features.

Trail and Corridor Access Systems

Develop a high quality system of park trails and corridors that access significant environmental features, public facilities, and developed local neighborhoods and business districts.

Trail Systems

~~14-16.~~ Create a water access system to freshwater bodies of interest to kayakers, canoers, paddle boaters, and other non-motorized watercraft users – especially along the Sammamish River and on Lake Leota.

~~12-17.~~ Create an off-road walking trail system providing access to environmental corridors, natural areas, historic sites, scenic vistas, parks, public facilities, and local business districts for local resident hikers, particularly along the SL&E Railroad, Little Bear Creek, Woodin Creek, Nelson Creek, Sammamish River, and Tolt River Pipeline Trail.

18. Create an on-road bicycle route system providing access to historic areas, scenic vistas, parks, public facilities, and business districts for local resident commuter and recreational biking enthusiasts – especially along 124th Avenue on Norway Hill, 148th Avenue on Hollywood Hill, and NE 145th Street across the Sammamish River valley. Link local on-road bicycle routes with regional routes to provide opportunities for extended touring opportunities for local and regional enthusiasts alike, particularly along Woodinville-Snohomish, Woodinville-Duvall, and Woodinville-Redmond Roads.

19.

2. Create an off-road multipurpose hike and bike trail system providing access to major parks, schools, public facilities, business districts, and other citywide and regional trail corridors, especially along the Sammamish River, Tolt River Pipeline, and under the Puget Sound Power and Light/Olympic Pipeline (PSP&L) Easement. electric power lines in publicly owned areas in cooperation with service providers.

~~3-20.~~

~~15.~~ Develop a plan and program to create walkways, trails, and other facilities, which encourage safe non-motorized circulation that connect existing and future non-motorized facilities within the community and other neighboring jurisdictions. Such system would include provisions to link all current and future activity centers by non-motorized facilities. Such a proposed trail system may link the Centennial Trail system in Snohomish with the Burke Gilman/Sammamish River Trail system. Improvements shall be integrated and coordinated in accordance with the current adopted Transportation and other Elements of the Comprehensive Plan.

Trail furnishings and improvements

21. : **Create trailhead improvements that furnish trail systems with appropriate supporting services including interpretive and directory signage systems, rest stops, drinking fountains, restrooms, parking and loading areas, water and other services.**

22. .

Where appropriate, locate trailheads at or in conjunction with park sites, schools, and other community facilities to increase local area access to the trail system and reduce duplication of supporting improvements, such as Wellington Hills Golf Course, Woodinville High School, Hollywood Schoolhouse, and Old Woodinville Schoolhouse, among others.

23. Install telephones, emergency call boxes, or other means at major trailheads or other appropriate locations by which trail users can summon fire, emergency aid, police, and other safety and security personnel should the need arise.

24. Develop trail improvements to a design and development standard which is easy to maintain and access by maintenance, security, and other appropriate personnel, equipment, and vehicles.

Recreational Facilities

Develop a high quality, diversified recreation system that provides for all age and interest groups, and enhances neighborhood resources and facilities equitably across the city.

Supporting Furnishings and Improvements

~~21. Create trailhead improvements that furnish trail systems with appropriate supporting services.~~

~~22. Where appropriate, locate trailheads at or in conjunction with park sites, schools, and other community facilities to increase local area access to the trail system and reduce duplication of supporting improvements – such as the Old Maltby Schoolhouse, Wellington Hills Golf Course, Woodinville High School, East Norway Hill Park, John Muir Elementary, Gold Creek Park, Hollywood Hill Elementary School, and Old Woodinville Schoolhouse, among others.~~

~~49. Develop trail improvements to a design and development standard, which is easy to maintain with access by maintenance, security, and other appropriate personnel, equipment, and vehicles.~~

Waterfront Access and Facilities

~~50-25~~ Cooperate with King and Snohomish Counties, the Washington State Department of Fish & Wildlife, and other public and private agencies to acquire and preserve additional shoreline access for waterfront fishing, wading, swimming, and other related recreational activities and pursuits, particularly into Little Bear Creek and the Sammamish River.

~~51-26~~ Develop a mixture of watercraft access opportunities including canoe, kayak, sailboard, and other non-motorized power boating activities, especially on the Sammamish River.

Athletic Facilities

~~52-27~~ Develop athletic facilities that meet the highest quality competitive appropriate playing standards and requirements for all age groups, skill levels, and recreational interests.

~~53-28~~ Concentrate on field and court activities like soccer, football, baseball, basketball, tennis, and volleyball that provide for the largest number of participants.

~~54-29~~ Assist, where appropriate, with the development of a select number of facilities that provide the highest competitive playing standard, possibly in conjunction with King and Snohomish Counties, Bothell, Northshore School District, Monree, and other public and private agencies - Lake Washington School Districts, and other public and private agencies, possibly using portions of in the areas of South Gateway Park and Wellington Hills Golf Course.

Indoor Facilities

~~55.30~~ Support the continued development and diversification by the Northshore School District of special meeting, assembly, health, Monroe, and Lake Washington School Districts of special meeting, assembly, health, and other community facilities that provide general support after hours to school age populations and the community-at-large at primary, intermediate, junior, and senior high schools within the City, and urban growth area.

~~55.31~~ In partnership with the Northshore School District, Monroe, and Lake Washington School Districts, maintain and expand multiple use indoor recreational centers that provide aquatic, physical conditioning, gymnasiums, recreational courts, and other athletic spaces for all age groups, skill levels, and community interests after hours on a year-round basis, especially at Leota Junior High, Northshore Junior High, and Woodinville Senior High schools.

~~56.32~~ Assist the Woodinville Heritage Society with the development of a creative use for the Old Woodinville Schoolhouse on a year-round basis

~~57.33~~ Develop and operate special indoor and outdoor cultural and performing arts facilities in city and school facilities that enhance and expand music, dance, drama, and other audience and participatory opportunities for the community-at-large.

~~50.~~ Develop a multiple use indoor community center that provides arts and crafts, music, video, classroom instruction, meeting facilities, health care, daycare, latch key, and other spaces for all age groups on a year-round basis as provided within the adopted Civic Master Plan.

~~Develop and operate special indoor and outdoor cultural and performing arts facilities in City and school facilities that enhance and expand music, dance, drama, and other audience and participatory opportunities for the community-at-large~~

Special Purpose Facilities

Develop high quality facilities that meet the interests of all segments of the community.

Special enterprises

~~34.~~ Where appropriate and economically feasible (self-supporting), assist the Woodinville Heritage Society, the Old Woodinville Schoolhouse Task Force and others to develop and operate specialized recreational facilities of interest to the general population, such as a special wedding, anniversary, and other party occasions facility at appropriate recreation locations; and a museum and interpretive facility at the Old Woodinville Schoolhouse.

~~35.~~ Where appropriate, initiate joint planning and operating programs with other public and private agencies to determine and provide for special activities on an area-wide basis, like environmental interpretive centers at Woodin Glen Pond, Little Bear Creek and Rotary Community Park

Special Enterprises

~~51.~~ Use enterprise funds as an operational model when special use recreational facilities can be developed or operated to be self-supporting or to assist in achieving unmet community needs.

~~52.~~ Where appropriate, initiate joint planning and operating programs with other public and private agencies to determine and provide for special activities on an area wide basis.

Recreational Programs

Develop high quality recreational programs and services that meet all community group needs.

Recreational programs

~~64-~~ 36. Provide arts and crafts, classroom instruction in music and dance, physical conditioning and health care, meeting facilities, daycare, latchkey, and other program activities for all cultural, age, physical and mental capability, and income groups in the community, using the Woodinville Community Center and other facility resources.

~~62-~~ 37. Provide soccer, baseball, softball, basketball, volleyball, tennis, and other instruction and participatory programs for all age, skill level, and income group in the community, using municipal, county, and school facility resources.

~~64-~~ 38. Assist historical and cultural societies with the development and display of artifacts, reports, and exhibits; and the conduct of lectures, classes, and other programs that document and develop awareness of Woodinville's heritage

Cultural Arts Programs and Resources

Develop high quality, diversified cultural arts including music and theatrical facilities and programs that increase community awareness, attendance, and participation opportunities.

~~63-~~ 39. Support successful collaborations between King and Snohomish Counties and Woodinville Historical Heritage Society, Chamber of Commerce, business community, service groups, schools, arts patrons, and artists that optimally utilize artistic resources and talents.

~~64-~~ 40. Develop strategies that support and assist local artists and art organizations. Where appropriate, develop and support policies and programs that encourage or provide incentives that attract and retain artists and artworks within the Woodinville community. Develop a Public Art Advisory Committee.

~~53-~~ Assist historical and cultural societies with the development and display of artifacts, reports, and exhibits; as well as other programs that document and develop awareness of Woodinville's heritage.

Artworks

~~66-~~ 41. Acquire and install public artworks including paintings, sculptures, exhibits, and other media for indoor and outdoor display in support of the Public Arts Advisory Committee mission to expand resident access and. Appropriately furnish public places, particularly within the downtown core and along the Sammamish River Trail.

Design and Access Standards

Design and develop facilities that are accessible, safe, easy to maintain, with life-cycle features that account for long term costs and benefits

Accessibility

~~67-~~ 42. Design outdoor picnic areas, fields, courts, playgrounds, trails, parking lots, restrooms, and other active and supporting facilities to be accessible to individuals and organized groups of all physical capabilities, skill levels, age groups, income, and activity interests pursuant to the American Disabilities Act, especially at sites with significant interpretive opportunities.

68- ~~43~~. Design indoor facility spaces, activity rooms, restrooms, hallways, parking lots, and other active and supporting spaces and improvements to be accessible to individuals and organized groups of all physical capabilities, skill levels, age groups, income, and activity interests, ~~per the American Disabilities Act.~~

Maintenance

69- ~~44~~. Develop low maintenance and high capacity design standards and capabilities to reduce overall facility maintenance and operation requirements and costs.

70- ~~45~~. Where appropriate, institute standards for low maintenance materials, settings or other value engineering considerations that reduce care and security requirements, and retain natural conditions and experiences.

Security and Safety

74- ~~46~~. Implement the provisions and requirements of the American Disabilities Act (ADA) and other design and development standards to improve park facility safety and security features for park users, city staff, and the public-at-large.

72- ~~47~~. Develop and implement safety standards, procedures, and programs that provide proper training and awareness for city staff.

73- ~~48~~. Define and enforce rules and regulations concerning park activities and operations that protect user groups, city staff, and the public-at-large.

49. Where appropriate, develop adopt-a-park programs, neighborhood park watches, park police patrols, and other innovative programs that increase safety and security awareness and visibility.

Financial Resources and Coordination

Create effective and efficient methods of acquiring, developing, operating, and maintaining facilities and programs that accurately distribute costs and benefits to public and private interests

Finance

49- ~~50~~. Implement innovative available methods, such as growth impact fees, land set-a-side or fee-in-lieu-of-donation ordinances, and interlocal agreements to finance facility development, maintenance, and operating needs in order to reduce costs, retain financial flexibility, match user benefits and interests, and increase facility services.

50- ~~51~~. Enter into joint ventures with other public and private agencies such as ~~the Park Safety Net Program, King and Snohomish Counties, Northshore School District, Washington and Monroe School Districts, and Maltby Parks Districts,~~ regional, state, federal, and other public and private agencies including for-profit concessionaires where feasible and desirable.

Public and Private Resource Coordination

51- ~~52~~. Create a comprehensive, balanced park and recreational system that integrates Woodinville facilities and services with resources available from King and Snohomish Counties, Northshore, ~~Lake Washington and Monroe School Districts, Maltby Parks District~~ and other state, federal, and private park and recreational lands and facilities in a manner that best serves and provides for local resident interests.

52- ~~53~~. Cooperate with King and Snohomish Counties, Northshore, Lake Washington and

Monroe School Districts, ~~Malby Parks District~~ and other public and private agencies to avoid duplication, improve facility quality and availability, reduce costs, and represent local resident interests through joint planning and development efforts.

Cost/Benefit Assessment

~~53.~~ 54. Define existing and proposed land and facility levels-of-service that differentiate requirements due to population growth impacts versus improved facility standards, neighborhood versus community nexus of benefit, City versus the combination of city, county, school, and other provider agency efforts in order to effectively plan and program park and recreation needs within existing City boundaries.

~~54.~~ 55. Create effective and efficient methods of acquiring, developing, operating, and maintaining park and recreational facilities in manners that accurately distribute costs and benefits to public and private user interests, including the application of growth impact fees where new developments impact existing level-of-service (ELOS) standards.

~~55.~~ 56. Develop and operate lifetime recreational programs that serve the broadest needs of the population ~~and recovering~~ program and operating costs with a combination of registration fees, user fees, grants, sponsorships, donations, scholarships, volunteer efforts, and the use of general funding.

~~56.~~ 57. Where appropriate, provide recreational programs for those interested groups who are willing to finance the cost through user fees, registration fees, volunteer efforts, or other means and methods.

Human Resources

Develop, staff, train, and support a professional parks and recreation staff that effectively serves the community in the realization of the above listed goals and objectives.

Personnel

~~57.~~ 58. Employ a diverse, well-trained work force that is motivated to achieve department and citywide goals.

~~58.~~ 59. Encourage teamwork through communications, creativity, positive image, risk taking, sharing of resources, and cooperation toward common goals.

~~59.~~ 60. Where appropriate, provide staff with education, training, and modern equipment and supplies to increase personal productivity, efficiency, and pride.

~~60.~~ 61. Establish and coordinate the activities of an active volunteer corps to assist staff and other City officials with park and recreation programs and facility maintenance and development requirements.

7.7.3 Monitoring

1. Review the PRO Plan annually in conjunction with review of the Capital Facilities Plan,
2. Review the Parks inventory every three years, and
3. Periodically reassess and review the Implementation Strategies within this Element and the PRO Plan.

Appendix 7: Parks, Recreation, and open space

A-7.1 Parks, Recreation, and Open Space Plan

For detailed parks, recreation and open space data please see the Park, Recreation and Open Space Plan (PRO Plan), adopted July 6, ~~1998~~2005 here by reference.

A-7.2 Summary of Countywide Planning Policies for Parks, Recreation, and Open Space

A-7.2.1 King County

Countywide policies regarding parks, recreation, and open space are addressed in Chapter IV– Community Character and Open Space, of the King County Growth Management Planning Council's Countywide Planning Policies, adopted July 6, 1992 with updates through August 2000. The focus of these policies is to ensure that each jurisdiction provide linkages (open space corridors) between and within population centers with land useful for recreation, trails, wildlife habitat and connection of critical areas. The Countywide policies require jurisdictions to work cooperatively to identify and protect open space corridors as well as water bodies and rivers of the region.

Countywide policies provide guidance for countywide funding and require all jurisdictions to develop parks and open spaces as development and redevelopment occurs. As part of this, jurisdictions are required to develop coordinated levels of service standards for the provision of parks and open space.

A-7.2.2 Snohomish County

Snohomish County ~~does not have~~has countywide policies relating to parks, recreation, and/or open space, and are found in their 2004 adopted PRO Plan, Chapter 1.

Chapter 10 Capital and Public Facilities

10.2 Goals and Policies

CF-3.1 Require capital facility service standards to be established by the providing agency for the following types of facilities to determine long-term (Capital Facilities Plan) facility and funding requirements.

1. Water system:
Woodinville Water District Standard – 274 residential gallons per family per day and 98 residential gallons per person per day.
2. Sewer system:
Woodinville Water District Standard - 80 gallons per capita per day (where sanitary sewer is available)
3. Storm and surface water management:
Establish level-of-service standards that meet those standards as modified and adopted by the City of Woodinville.
4. Transportation:
Level-of-service E or better Citywide
5. Parks and recreation:
(Refer to the adopted Parks, Recreation & Open Space Plan)

Table 10-1 Parks Level-of-Service

Recreation Category	Existing City LOS*	NRPA LOS*	2005 1998 Adopted City LOS*
Resource Conservancy	<u>7.47</u> 7.11	N/A 10.0 **	<u>5.0</u> 7.67
Neighborhood Parks	<u>0.26</u>	<u>1.0</u>	<u>1.0</u>
Resource Activities	<u>0.35</u>	<u>16.5</u> **	<u>0.94</u>
Linear Trails	<u>0.18 mi/1000 population.</u> ** <u>0.32</u>	<u>.45 mi/1000 population.</u> ** <u>1.5</u> ***	<u>.45 mi/1000 population.</u> ** <u>1.97</u>
Community Parks	<u>1.41</u>	<u>5.0</u>	<u>3.0</u>
Athletic Fields/Playgrounds	<u>1.06</u>	<u>3.1</u>	<u>4.93</u> ****
Special Use Facilities	<u>5.25</u> 0.38	None	<u>N/A</u> 4.11
Recreation Centers/ Pools	<u>0.67</u>	none	<u>N/A</u> .30
Total Recreation Facilities	<u>9.66</u> 9.89	34.45	<u>9.0</u> * Not Applicable

* Acres per 1000 population. ** Includes resource areas within 1-hour driving distance. *** Based on 12-foot trail corridor. **** Many existing fields in Woodinville are considered under-sized and are included in the Park Service Area. **Miles per 1000 population.

14.6 Schools:

Northshore School District Standard of Service –

Class Size (students/classroom, average)

Elementary

Kindergarten

23

Regular, alternative, gifted	24
Special education (CLC)	12
Integrated reg. & sp. ed.	21*
Special education	9

Junior High	
Regular	27
Regular (portables)	27
Special education	12

Senior High	
Regular	27
Regular (Portables)	27
Special education	12
Vocational education	27

* 15 regular and 6 special education students

Lake Washington School District -

No school projects are planned for the portion of the District that includes Woodinville.

15.7. Municipal buildings:

City Offices

The City Hall building is approximately 25,000 square feet in gross floor area. Approximately 20,500 square feet houses 55 City employee office space with a maximum build-out space for 77 employees.

The Community Center Building (formerly City Hall) may accommodate approximately 2,000 square feet of public service, office and administration space with an approximately 6,000 square feet of area per floor.

The Civic Center Complex has approximately 31,000 square feet of gross floor area. Of this, approximately 25,000 square feet may be converted to other public use space.

The above contributes to meeting the needs and level-of-service guideline of 1,150 square feet of public service and/or administrative office space per 1,000 population for the purposes of calculating costs for the capital facilities finance plan. Prior to construction, the City should reassess the level-of-service guideline.

City Maintenance Shops

Utilize a level of service guideline of 2,000 square feet of maintenance shop space per 1,000 population (pursuant to Public Works Department analysis) for the purposes of calculating costs for the Capital Facilities Plan. Prior to construction, the City should reassess the level-of-service guideline at that time. Implements Policies CF-1.1, CF-1.9, and CF-5.1.

The most current version of the following Capital Facilities Plans are hereby adopted by reference:

1. City of Woodinville Six-year Capital Improvement Plan, 2003-2008,
2. City of Woodinville Six-year Transportation Improvement Plan,
3. City of Woodinville Parks, Recreation and Open Space (PRO) Plan, ~~1998~~, 2005
4. Woodinville Water District Capital Facilities Plan,

5. Northshore School District #417 Capital Facilities Plan, 2003,
6. Woodinville Fire & Life Safety Services Study, 1992 , and
7. Northshore Utility District Capital Facilities Plan, 2000-2006.

10.3.3.1 Revenue Options and Forecasts (2003-2008)

The following is a description of each revenue option along with assumptions used in the forecasts.

i. Park Impact Fees

The park impact fee was established in 2001 to set aside money for park facility planning, land acquisition, site improvements, construction and engineering costs. The fee is \$1,796 per residential and multi-family dwelling unit as defined in the adopting ordinance. The estimated revenue from this tax is assumed to be ~~\$200,000~~ \$24,000 in the first year with a 5% annual increase over the six-year planning period.

Table 10-9 Park Impact Fees (all amounts are x 1,000)

Park Impact Fees	2002	2003	2004	2005	2006	2007	2008
Beginning Balance	3	6	9	12	16	20	24
Revenue (+)	24	25	26	28	29	34	32
Expenses (-)							
Ending Balance	27	52	79	106	136	166	198

Table 10-9 Park Impact Fees (all amounts are x 1,000)

Park Impact Fees	2005	2006	2007	2008	2009	2010
Beginning Balance	12	16	20	24	28	32
Revenue (+)	<u>200,000</u> 28	<u>210,000</u> 29	<u>220,000</u> 34	<u>231,525</u> 32	<u>243,101</u>	<u>255,256</u>
Expenses (-)						
Ending Balance		106	136	166	198	

10.4.4.1 Land Requirements

According to National Recreation Park Association (NRPA) standards, a park and recreation system should provide approximately 34.45 acres of all types of park land per every 1,000 persons in the population.

The City of Woodinville currently owns ~~98.2~~ ~~90-94~~ acres of park land or about ~~9.66~~ ~~9.9~~ acres per every 1,000 residents of the City (per ~~2004~~ ~~2000~~-census population of ~~10,153~~ ~~9,194~~). Public agencies including King County and the Northshore, Monroe, and Lake Washington school districts own approximately ~~508.9~~ acres with park, recreation, and open space potentials (does not include their total landholdings) or about ~~12.10~~ acres per every 1,000 persons within the Woodinville park planning area as defined by section 1.1 figure 1 of the City's Parks, Recreation & Open Space (PRO) Plan. Snohomish County does not presently own any park lands or facilities within the Woodinville park planning area.

The total park land requirement is shown on Table 4 of the PRO Plan. ~~would also be partially satisfied by the availability of other public park lands that are within a one-hour driving distance including the National Park Service's Mount Rainier National Park.~~

10.4.4.2 Wildlife Habitat/Resource Conservancies

According to the NRPA, the desired planning area for an open space or resource conservancy is a one-hour driving distance. A suitable standard for resource conservancies is about 10.0 acres per every 1,000 residents. In practice, however, there are no minimum or maximum standards concerning conservancies. A park system should include whatever is necessary to protect the resource.

The City of Woodinville owns ~~75.86~~ ~~65.19~~ acres of open space and resource conservancies. King County provides ~~204.1~~ acres of open space including Bassot Pond, Gold Creek Park, and the Hmong property. These sites combined provide about ~~7.47~~ ~~6.3~~ acres per every 1,000 residents of the park planning area.

~~Public and private agencies combined, including the Woodinville Water District and private homeowners associations, own approximately 386.1 acres of properties that conserve open space. This is equal to about 0.2 acres per every 1,000 residents.~~

~~Therefore, existing open space lands almost satisfy resource conservatory objectives, particularly given the number of sensitive sites which are not currently conserved around, such as Leota Lake, along Little Bear Creek, Woodin Creek and Nelson Creek, the wooded hillsides overlooking the Sammamish River Valley and other significant natural areas in the City.~~

~~Consequently, the present supply is adequate should be increased within the park planning area by another 34.7 acres to allow additional conservancy acquisitions.~~ City.

10.4.4.3 Resource Park Activities Neighborhood Parks

According to NRPA standards, the desired planning area for resource activities is a one-hour driving distance. A suitable standard for resource activities is 16.5 acres per 1,000 population. The City of Woodinville presently owns 3.2 acres of resource park activities including Woodin Creek Park and a portion of Wilmot Gateway Park, equal to 0.32 acres per 1,000 City residents. King County provides 29.8 acres including Daniel's Creek Park and Cottage Lake Park for boating, fishing, and swimming beach uses or combined total of 0.71 acres per 1,000 planning area residents. Public and private sponsors combined provide approximately 32.6 acres or 0.78 acres per 1,000 park planning area population.

The City of Woodinville has completed several land acquisitions that may be developed in the future that have not been included in the resource park activity assessment. Such sites include the Beeson, Lumpkin, Mercer, Johnson, and Lakeside properties. For the most part, existing resource lands do not satisfy resource activity objectives particularly given the number of resource sites, which are not currently accessible to the public along Little Bear Creek, Gold Creek, Woodin Creek, Nelson Creek, unnamed tributaries, and other significant natural areas in the City. The Beeson site, Lumpkin site and Woodin Glen Pond site may be partially developed in the future for some types of resource activities.

Consequently, the present supply should be increased within the park planning area by another 19.0 acres or to a standard of 0.94 acres per 1,000 residents to allow for additional resource activities.

10.4.4.4 Linear Trails

According to the NRPA, a suitable standard for linear trails is about ~~0.45~~ ~~0.5~~ miles of hiking and jogging trail and ~~0.45~~ ~~0.5~~ miles of separate biking trail per 1,000 population, or the equivalent of 1.0 mile of linear park trail facility units ~~(equal to 4.85 acres assuming a trail corridor averages 40 feet in width)~~ per 1,000 population if the different types are provided within a combined multiuse corridor assuming the trail is used primarily by local residents.

The City of Woodinville presently provides ~~0.18 miles~~ ~~2.9 acres~~ or ~~0.29~~ acres per 1,000 City residents of linear trail parks consisting of the roadside trail segment of the Woodinville Valley Trail in the Tourist District. King County provides ~~94.8~~ acres of linear trail corridor along the

Sammamish River and the Tolt Pipeline or a combined total of 2.26 acres per 1,000 park planning area residents.

Consequently, the present supply is somewhat deficient and should be increased by another 3.5 miles 44.7 acres to provide a system of neighborhood and community collector trails to adequately support local residents interests.

10.4.4.5 Community Parks/Athletic Fields and Playgrounds

According to the NRPA, a suitable standard for athletic fields and playgrounds is 5.0 3.4 acres per 1,000 population. The City of Woodinville presently provides 14.36 9.8 acres of athletic fields and playgrounds at Woodinville Heights Park, ~~Sorenson School Playfields~~City Ball Fields, and Woodin Creek Park. This combined total is equal to about 1.41 0.99 acres per every 1,000 city residents.

~~All public agencies combined provide 168.2 acres or about 4 acres per 1,000 City residents. This includes acreage in East Norway Hill Park, 132nd Square Park, Northshore Athletic Fields, and portions of Woodin, Hollywood, John Muir, Sunrise, Bear Creek, Cottage Lake, and Maltby Elementary Schools, Wellington/Loota and Woodmoor/Northshore Elementary/Junior High Schools, Kamiakin Junior High School, and Woodinville High School facilities devoted to fields and playgrounds.~~

~~However, the school facilities include a number of undersized fields that cannot be used for competitive league games. The limited size of regulation sized fields in the region results in the use of City facilities by teams residing outside of the city limits. Consequently, the present supply is not sufficient to meet demand and would need to be increased by another 20.95 acres 86.3 acres to provide playable fields for local neighborhood activities and additional competitive fields for community and regional game needs.~~

10.4.4.6 Recreation Center/ Pools

~~There are no NRPA standards for recreation centers or indoor facilities. There is presently 6.0 acres at the Sorenson School/ Old Woodinville School complex equal to about 0.14 acres per 1,000 residents.~~

~~All agencies combined, including King County's Gold Creek Park, the Kingsgate and Woodinville libraries, and private homeowner tennis courts and swim pools, provide 12.7 acres or 0.30 acres per 1,000 park planning area residents of community building space or acreage.~~

~~The existing level of service is close to recreation center objectives where the inventory to include an indoor gymnasium, arts and crafts space provided by Northshore, Monroe, and Lake Washington school districts facilities could be made available on an after school basis.~~

~~Consequently, the present supply is sufficient and does not need to be increased at the present time to meet local City and park planning area resident needs.~~

10.4.4.6.7 Special Use Facilities

There are no standards concerning the development of special use facilities. Demand is defined by opportunity more than a ratio standard. There are no minimum or maximum facility or site sizes because the size of a special use facility is a function of the type of facility rather than a separately established design standard.

The City provides 5.26 3.5 acres of special use facilities 0.52 35 acres per 1,000 city residents at the ~~Wilmot Gateway Park amphitheater and public overlook and at DeYoung Park,~~ Woodinville Community Center and Rotary Skate Park, equal to. All public and private agencies combined provide 203.4 acres per every 1,000 park planning area residents including the private stables, riding arenas, indoor soccer and ice skating centers, golf courses and golf driving ranges.

~~Since the demand for these facilities is generally determined by user fees and other special interest population revenue or by special opportunities to conserve historical or cultural sites, any increase will be determined by market conditions or strategic opportunities. Consequently,~~

the existing amount of special use facilities may be increased by another 22.7 acres with the possible acquisition, restoration, and reuse of the Nelson Homestead as a special park opportunity site.

10.4.4.8 Support Facilities

There are no standards concerning the development of support use facilities, demand being defined by functional operating requirements more than a ratio standard. Nor are there minimum or maximum facility or site sizes. Size in this case being a function of the type of facility space required and whether the facility space is shared with other municipal support functions rather than a separately established design standard.

The City presently provides park support facilities in a portion of the Sorenson School Complex. This is not sufficient to provide maintenance equipment and facility space or plant nurseries necessary to maintain and operate the City's park, recreation and open space inventory. No other agencies maintain local park support facilities within the park planning area.

Consequently, the City's future public works field maintenance operation facility (shop and yard) should include 0.5 acres of land to meet present and future park support facility needs.

10.4.4.7.9 Facility Requirements

Park, recreation, and open space facility requirements can be determined using variations of participation models. Participation models are usually compiled using activity diaries where a person or household records their participation in specific recreational activities over a measurable period of time. The diary results are then compiled to create a statistical profile that can be used to project the park and recreational behavior of comparable persons, households or populations.

The following analysis of facility needs utilizes the results of the 1976 and 1983 Interagency Committee for Outdoor Recreation surveys and the 1982 Tri-State survey for each of the six age groups (male or female) for the northwest region of the state (west of the Cascade Mountains and north of Olympia). Estimates were developed for 20 park and recreation activities that were determined to be of most interest to the residents of the Woodinville and King County planning areas.

The estimates were developed for each activity demand for the peak season periods that would most impact facility capacities and thereby, the level-of-service to local residents. The estimated demands were calculated in facility unit terms based on an assumed capacity and turnover rate common to the findings of the diary surveys. The projected facility unit requirements were then converted into a sample facility unit per 1,000 residents ratio to allow comparison with similar standards development by the NRPA and found to be the existing facility level-of-service for each activity.

Table 10-18 -- 2010 Park Activity Needs

<u>Activity</u>	<u>Existing Facility Locations</u>	<u>2004 Unit Total</u>	<u>2004 LOS</u>	<u>2010 City Std.</u>	<u>2010 Total PLOS needs</u>	<u>2010* Unit needs</u>	<u>Planned Service Area</u>	<u>Recreation Activity Needs by Neighborhood</u> **
<u>Playgrounds</u>	<u>Rotary</u>	<u>4</u>	<u>0.40</u>	<u>0.60</u>	<u>7.08</u>	<u>3 +</u>	<u>¼ - ½ mi</u>	<u>WW, EW, U, L,</u>

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	<u>Community Park, Stonehill Meadows, Wilmot Gateway Park, Woodinville Heights</u>							<u>TC, R, W</u>
<u>Outdoor Basketball</u>	<u>Woodin Creek Park (1/2) Community Center (1.0)</u>	<u>1.5</u>	<u>0.15</u>	<u>0.20</u>	<u>2.36</u>	<u>2</u>	<u>1.0 mi</u>	<u>U, R, WH, W, TC</u>
<u>Outdoor Volleyball</u>	<u>None</u>	<u>0</u>	<u>0.00</u>	<u>0.20</u>	<u>2.36</u>	<u>2</u>	<u>1.0 mi</u>	<u>U, R, WH, W, TC</u>
<u>Tennis Courts</u>	<u>Woodin Creek Park</u>	<u>1</u>	<u>0.10</u>	<u>0.50</u>	<u>5.90</u>	<u>5</u>	<u>½ mi</u>	<u>L, U, TC, W, R, EW, WW, WH</u>
<u>Soccer / Football</u>	<u>City Sports Field</u>	<u>1</u>	<u>0.10</u>	<u>0.32</u>	<u>3.78</u>	<u>3</u>	<u>1.0 mi</u>	<u>WW, ER, R, W, U, L</u>
<u>Baseball (250')</u>	<u>City Sports Field</u>	<u>1</u>	<u>0.10</u>	<u>0.28</u>	<u>3.30</u>	<u>2</u>	<u>2.0 mi</u>	<u>WW, WE, R</u>
<u>Softball (200')</u>	<u>City Sports Field (3)</u>	<u>3</u>	<u>0.30</u>	<u>0.25</u>	<u>2.95</u>	<u>0</u>	<u>1.0 mi</u>	<u>WW, WE, W, U, L, R</u>
<u>Picnic Tables</u>	<u>Wilmont Gateway, Rotary Community, Woodin Creek, Woodinville Heights</u>	<u>27</u>	<u>2.65</u>	<u>1.77</u>	<u>20.89</u>	<u>0</u>	<u>¼ mi</u>	<u>L, U, T, TC, W, R, EW, WW, WH</u>
<u>Swimming Pools</u>	<u>None</u>	<u>0</u>	<u>0</u>	<u>540.82</u> <u>*</u>	<u>6,372*</u>	<u>1</u>	<u>3.0 mi</u>	<u>City</u>
<u>Walking Trails</u>	<u>Greenbrier, Georgian Heights, Quail Ridge, Rotary Park, 136th Avenue NE, Woodinville Valley</u>	<u>2.19</u>	<u>0.14</u>	<u>0.15</u> <u>mi/</u> <u>1,000</u> <u>pop.</u>	<u>2.94</u>	<u>0.75</u>	<u>N/A</u>	<u>All Neighborhoods</u>
<u>Bike Trails</u>	<u>Georgian Heights, Quail Ridge, 136th Avenue NE, Woodinville Valley</u>	<u>1.18</u>	<u>0.06</u>	<u>0.30</u> <u>mi/1,000</u> <u>pop.</u>	<u>3.58 mi</u>	<u>2.34</u>	<u>N/A</u>	<u>All Neighborhoods</u>
<u>Biking on Roads</u>	<u>NE 175th Street, Mill Place, Garden Way</u>	<u>1.91</u>	<u>0.19</u>	<u>0.25</u>	<u>2.94 mi</u>	<u>1.03</u>	<u>N/A</u>	<u>All Neighborhoods</u>

*Based on LOS/1000 not radius method

2004 Population – 10,153 / 2010 Projection – 11,772

**L – Lower West Ridge, U – Upper West Ridge, T – Tourist District, V – Valley Industrial, TC – Town Center, N – North Industrial,

W – Wedge, R – Reinwood/Lcota, EW – East Wellington, WW – West Wellington, WH – Woodinville Heights

1. Playgrounds – 0.60 playgrounds of all types per every 1,000 residents increased by another 10 playgrounds and improved the existing 1.7 acres of play area.
2. Skate Park – A skate park facility is planned for the Mercer site at the SE corner of NE 195th Street and 136th Ave NE across from Woodinville High School.
3. Outdoor Basketball/Volleyball Courts – Ratio of 0.10 basketball and volleyball courts of all types per every 1,000 City residents increased by another 4 outdoor basketball and 3 outdoor sand volleyball courts in neighborhood and community park locations.

4. Tennis Courts—0.24 tennis courts of all types per every 1,000 City residents increased by another 6 outdoor unlighted courts to meet local residents' interests during day and evening hours.
5. Soccer Fields—0.32 soccer fields of all types (regulation) per every 1,000 residents increased by another 15 regulation or competition fields located at regional facilities.
6. Baseball/Softball Fields—0.53 baseball and softball fields of all types (adult, bronco, and little league regulation and practice) per every 1,000 residents increased by 6 lighted and 1 unlighted large fields for older league competitions and a community or regional complex, and 1 non regulation and 2 smaller sized field in neighborhood parks for younger age youth.
7. Jogging Tracks—The participation model projections indicate public agencies should be providing a ratio of 0.02 quarter mile jogging tracks of all types (special and dirt surface) per every 1,000 residents. By comparison, all agencies combined presently provide 1.38 miles of track or ratio of 0.03 miles of track per 1,000 residents.
8. Picnic Tables and Shelters—1.77 picnic tables of all types (open and under shelters) per every 1,000 residents increased by another 128 picnic tables and 9 picnic shelters dispensed throughout the City at neighborhood and community park sites.
9. Swimming at a Beach (waterfront access)—2.14 swimming beach (waterfront access) parking spaces per every 1,000 residents increased to provide at least 1,000 additional beach front square footage with 36 more parking spaces to meet local swimming or waterfront beach access needs.
10. Fishing/Boating—Woodinville will provide 2 hand carry boat launch sites at Wilmet Gateway Park equal to a ratio of 0.20 facilities per 1,000 City residents.
11. Tent and Vehicle Camping—A ratio of 1.28 tent campsites and 2.00 vehicle campsites per every 1,000 residents. By comparison, no agencies provide campsites of any kind nor are local park sites suitable for this type of activity within the city or park planning area. However, the Washington State Department of Natural Resources and the National Park Service provide an extensive system of camping facilities and services at Mount Baker/Snoqualmie National Forest and the Mount Rainier National Park within a 30-60 minute commute.
12. Local Park Trails—0.13 miles of park contained walking trails per every 1,000 residents increased by another 5.5 miles of asphalt and 1.5 miles of dirt trail to complete systems within existing parks, between existing and potential parks, and between existing and potential parks and adjacent neighborhoods.
13. Walking/Biking on a Multipurpose Trail—0.15 miles of walking or hiking trails and 0.30 miles of bicycling trails within a separated multipurpose trail corridor per every 1,000 residents enhanced by 13.2 miles of asphalt and 6.7 miles of dirt walking trail, and 5.7 miles of asphalt and 4.5 miles of dirt bicycling trail to meet local trail requirements within the park planning area.
14. Bicycling on a Road—Ratio of .03 miles of designated and shoulder improved roadways per every 1,000 residents increased to provide 7.5 miles of improved biking roadways along scenic routes and within residential areas to meet local needs.
15. Horseback Riding on a Trail—0.12 miles of horseback riding trails per every 1,000 residents increased by another 1.0 mile of trail to provide access along the west of the Sammamish River to meet local requirements.
16. Swimming at a Pool—540.82 square feet of swimming pool and related area every 1,000 residents. Additional indoor and outdoor pool facilities are provided at Gold Creek

~~Tennis Club and Highland Park, however, these pools can only be used by homeowners and members.~~

~~17. Indoor recreation Centers—1,554.3 square feet per 1,000 residents. Due to continued population growth, particularly of school age children, the present supply which includes the Sorenson Recreation Center Complex will be increased by another 7,500 square feet of indoor gymnasium, 1,000 square feet of arts and crafts, and 2,500 square feet of classroom meeting space through the development of additional school facilities.~~

~~18. Golf Course—The 0.41 holes of golf and related facilities per every 1,000 residents available in the park planning area is sufficient.~~

~~19. Gun and Archery Ranges—The ratio of 0.14 gun range and 0.06 archery range targets per every 1,000 residents available in the park planning area is sufficient.~~

~~20. Support Facilities—Increased by another 1,000 square feet of park maintenance building, 3,000 square feet of shop yard and plant nursery, and 36 permanent restroom spaces at local park sites to meet expanding park operational requirements within the City and park planning area.~~

10.4.4.8 10 Future Growth Implications

The Washington State Office of Financial Management (OFM) and the Puget Sound Regional Council (PSRC) expect the population of corporate Woodinville will continue to grow in a significant fashion. According to the PRO Plan, the population of the park planning area the City will grow from 42,000 10,153 persons in 1997 2005 to an estimated 55,000 11,772 persons by the year 2003 2010 or 1,619 43,000 more persons equal to an increase of 30.9 16 percent.

Park and Recreation Land – The forecasted population increase will create a citywide need for an additional 30.08 7.7 acres of land by the year 2010 2003. The forecasted population increase will create additional requirements for all types of park lands except resource conservancy land. The greatest needs will be for athletic fields and playgrounds based on the City's existing proposed level-of-service (LOS), and assuming the same ratio of land is maintained. In contrast, based on the composite city, county, school district, and private sponsor's existing level of service standard within the park planning area, the forecasted population increase will create a need for an additional 264.1 acres of land by the year 2003. The forecasted population increase will create additional requirements for all types of lands, but particularly for athletic fields and courts, and linear trails, and resource conservancies based on the composite LOS and maintaining the same ratio of land.

Park and Recreation Facilities—Using the city's existing level of service standard, the forecasted population increase will create a citywide need for an additional playground, baseball field, 8 picnic tables, 1 picnic shelter, 151 square feet of swimming beach, a hand carry boat launch ramp, 423 square feet of indoor swimming pool, 4,669 square feet of indoor facilities, 392 square feet of park administration space, and 4 permanent restroom fixtures by the year 2003 assuming the same ratio of facilities is maintained.

Under a composite city, county, school district, and private sponsor's existing level of service standard and with the existing ratio of facilities, the forecasted population increase will create a need for an additional:

- | | |
|-----------------------------|--|
| 4 playgrounds, | 155 square feet of dock, |
| 2 open play area, | 1 mile park trail, |
| 5 basketball courts, | 5 miles of walking trail, |
| 8 tennis courts, | 3 miles of bicycle trail, |
| 6 football fields, | 6 miles of horseback riding trail, |
| 9 soccer fields, | 2,290 square feet of swimming pools, |
| 8 baseball/softball fields, | 37,917 square feet of indoor facilities, |

42 picnic tables, and 3 picnic shelters,
681 square feet of swimming beach,
1 boat launch ramp,

4 holes of golf,
11 permanent restroom fixtures, and
619 square feet of park administration space.

The additional city, county, school district, and private agency land and facility developments necessary to sustain the existing proposed level-of-service due to forecasted population growth impacts and the proposed level of service standards determined to be necessary to meet unsatisfied needs within the existing city limits will require \$9,657,8420 9,855,800 in land acquisitions and \$21,880,0933,568,218 in facility developments or a total of \$31,537,93513,424,018 if accomplished within the next capital facility programming period (6 years). These levels of facility investment cannot be financed with the resources currently available to the City of Woodinville. See table 4

Table 10-19 : 2005-2011 Park Level of Service & Needs Assessment

<u>PARK TYPES</u>	<u>Existing Acres</u>	<u>2005 Existing Level of Service 1</u>	<u>NRPA STD</u>	<u>2010 Planned Level of Service</u>	<u>2011 UNIT NEEDS 2</u>
<u>Neighborhood Parks</u>	<u>2.64</u>	<u>0.26 AC/1000 POP</u>	<u>1 AC/1000 ¼-1/2 Mi</u>	<u>1.0 AC/1000 POP. ¼-1/2 Mi Radius</u>	<u>9.13 AC</u>
<u>Community Parks</u>	<u>14.36</u>	<u>1.41 AC/1000 POP</u>	<u>5 AC/1000 1-3 Mi</u>	<u>3.0 AC/1000 POP 2 Mi Radius</u>	<u>20.95 AC</u>
<u>Recourse Parks / Open Space</u>	<u>75.86</u>	<u>7.47 AC/1000 POP</u>	<u>NONE</u>	<u>5.0 AC/1000 POP as needed</u>	<u>17.0 AC Surplus</u>
<u>Special Use Parks</u>	<u>5.26</u>	<u>.052 AC/1000 POP</u>	<u>NONE</u>	<u>N/A</u>	<u>N/A</u>
<u>Trails</u>	<u>1.78</u>	<u>0.18 AC/1000 POP</u>	<u>0.45 Mi/1000 11 AC</u>	<u>0.45 Mi/1000 POP</u>	<u>3.5 Mi</u>
<u>TOTAL PARKS</u>	<u>98.2 AC.</u>	<u>9.66 AC/1000 POP</u>	<u>N/A</u>	<u>9.0 AC/1000 POP</u>	<u>30.08 AC</u>

1 Based on 2004 population of 10,153

2 Based on 2010 projected population of 11,772

(Use PLOS x Population (POP.) = existing facilities needs)

Table 10-20: 2010 Park Activity Needs

<u>ACTIVITY</u>	<u>EXISTING FACILITY LOCATIONS</u>	<u>2004 UNIT TOTAL</u>	<u>2004 LOS</u>	<u>2010 C STD.</u>	<u>2010 TOTAL PLOS NEEDS</u>	<u>2010* UNIT NEED</u>	<u>PLANNED SERVICE AREA</u>	<u>RECREATION ACTIVITY NEEDS BY NEIGHBORHOOD **</u>
<u>Playgrounds</u>	<u>Rotary Community Park, Stonehill Meadows, Wilmot Gateway Park, Woodinville Heights</u>	<u>4</u>	<u>0.40</u>	<u>0.60</u>	<u>7.08</u>	<u>3 +</u>	<u>¼ - ½ mi</u>	
<u>Outdoor Basketball</u>	<u>Woodin Creek Park (1/2)</u>	<u>1.5</u>	<u>0.15</u>	<u>0.20</u>	<u>2.36</u>	<u>2</u>		

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	<u>Community Center (1.0)</u>							
<u>Outdoor Volleyball</u>	<u>None</u>	<u>0</u>	<u>0.00</u>	<u>0.20</u>	<u>2.36</u>	<u>2+</u>		
<u>Tennis Courts</u>	<u>Woodin Creek Park</u>	<u>1</u>	<u>0.10</u>	<u>0.50</u>	<u>5.90</u>	<u>5</u>	<u>½ mi</u>	
<u>Soccer / Football</u>	<u>City Sports Fields</u>	<u>1</u>	<u>0.10</u>	<u>0.32</u>	<u>3.78</u>	<u>3</u>	<u>1.0 mi</u>	
<u>Baseball (250')</u>	<u>City Sports Fields</u>	<u>1</u>	<u>0.10</u>	<u>0.28</u>	<u>3.30</u>	<u>2</u>		
<u>Softball (250')</u>	<u>City Sports Fields (3)</u>	<u>3</u>	<u>0.30</u>	<u>0.25</u>	<u>2.95</u>	<u>0</u>	<u>1.0 mi</u>	
<u>Picnic Tables</u>	<u>Wilmot Gateway, Rotary Community, Woodin Creek, Woodinville Heights</u>	<u>27</u>	<u>2.65</u>	<u>1.77</u>	<u>20.89</u>	<u>0</u>	<u>¼ mi</u>	
<u>Swimming Pools</u>	<u>None</u>	<u>0</u>	<u>0</u>	<u>540.82*</u>	<u>6.372*</u>			
<u>Walking Trails</u>	<u>Greenbrier, Georgian Heights, Quail Ridge, Rotary Park, 136th Avenue NE, Woodinville Valley</u>	<u>2.19</u>	<u>0.14</u>	<u>0.15 mi/1000 POP</u>	<u>.94</u>	<u>0.75</u>	<u>N/A</u>	
<u>Bike Trails</u>	<u>Georgian Heights, Quail Ridge, 136th Avenue NE, Woodinville Valley</u>	<u>1.18</u>		<u>0.30 mi/1,000 pop</u>	<u>3.58 mi</u>	<u>2.34</u>	<u>N/A</u>	
<u>Biking on Roads</u>	<u>NE 175th Street, Mill Place, Garden Way</u>	<u>1.91</u>	<u>0.19</u>	<u>0.25</u>	<u>2.94 mi</u>	<u>1.03</u>	<u>N/A</u>	

*Based on LOS/1000 not radius method

2004 Population - 10,153 / 2010 Projection - 11,772

**L - Lower West Ridge, U - Upper West Ridge, T - Tourist District, V - Valley Industrial, TC - Town Center, N - North Industrial,

W - Wedge, R - Relnwood/Locata, EW - East Wellington, WW - West Wellington, WH - Woodinville Heights

Table 10-21: Six Year PLOS Capital Costs (Capital Program)

<u>Acquisition Projects</u>	<u>Program Units</u>	<u>Required Expenditure</u>
<u>Neighborhood Parks</u>	<u>9.13 Units</u>	<u>\$3,874,000</u>
<u>Community Parks</u>	<u>20.95 AC. or 1 per 2 mi radius</u>	<u>\$5,761,000</u>
<u>Recourse Parks / Open Space</u>	<u>Acres</u>	<u>PLOS Surplus</u>
<u>Special Use Parks</u>	<u>Acres</u>	<u>No Land Required</u>
<u>Trails</u>	<u>18,400' x 12' wide</u>	<u>\$220,800</u>

Recommended Six-Year CIP – Acquisition Costs		\$9,855,800
Development Projects	Number of Facilities	Required Expenditure
<u>Playgrounds</u>	<u>3</u>	<u>\$195,000</u>
<u>Outdoor Basketball</u>	<u>2</u>	<u>\$140,000</u>
<u>Outdoor Volleyball</u>	<u>2</u>	<u>\$20,000</u>
<u>Tennis Courts</u>	<u>5</u>	<u>\$275,000</u>
<u>Athletic Fields</u>	<u>3</u>	<u>1,125,000</u>
<u>Baseball Fields</u>	<u>1</u>	<u>415,000</u>
<u>Softball Fields</u>	<u>0</u>	<u>---</u>
<u>Swimming Pool</u>	<u>1 Shared</u>	<u>800,000</u>
<u>Walking Trails</u>	<u>3,960 Lincal Feet</u>	<u>118,800</u>
<u>Bike Trails</u>	<u>12,355 Lincal Feet</u>	<u>370,650</u>
<u>On Road Biking Trails</u>	<u>5,438 Lincal Feet</u>	<u>108,768</u>
Recommended Six-Year CIP – Development Costs		\$3,568,218

TABLE 10-18 Parks and Recreation Level-of-Service Requirements for all Facilities

Parkland Category	Units	2001 Inventory	2003 Needed Facilities
resource-conservancy	acres	387.51	367.43
resource-activities	acres	32.6	42.7
linear trails	acres	96.6	126.5
athletic fields/playgrounds	acres	184.7	241.9
recreation centers/pools	acres	12.7	16.6
special-use facilities	acres	203.4	266.4
Subtotal for land impact		917.56	1,126.24

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Facilities			
playground-uncovered	playground	15	17
open-play-area-not-improved	acre	6.9	9.0
basketball-covered-outdoor	court	7	9
basketball-uncovered-outdoor	court	11	14
tennis-w/o-lights-outdoor	court	18	24
soccer-regulation	field	26	34
baseball-250+ adult-grass-lighted	field	7	9
baseball-250+ adult-grass/unlighted	field	8	10
baseball/little-league-dirt	field	1	1
parcourse	stations	0	0
picnic-tables-w/o-shelter	table	137	179
picnic-shelters-group-use	shelter	10	13
swimming-at-a-beach	pkng-sp	30	39
boat-launch-ramps	each	2	3
parking-spaces	pkng-sp	4	5
walking-in-a-park-asphalt	trail-mile	3.2	4.2
day-hiking-on-a-trail-dirt	trail-mile	9.5	12.4
bicycling-on-a-trail-asphalt	trail-mile	8.2	10.7
horseback-riding-on-a-trail	trail-mile	19.8	25.9
swimming-at-a-pool-indoor	square-ft	3,400	4,452
indoor-gymnasium	square-ft	77,250	101,161
arts/crafts/pottery-room	square-ft	9,100	11,917
classrooms/meeting-facilities	square-ft	27,000	35,357
kitchen-facilities	square-ft	650	851
day-care/nursery	square-ft	1,600	2,095
community-center-administration	square-ft	2,400	3,143
parks-admin-facilities	square-ft	2,000	2,619
restrooms-permanent	fixture	36	47

Source: Woodinville Parks, Recreation and Open Space (PRO) Plan

Table 10-19 Parks and Recreation Plan for Facility Needs

Type of Land	City Funding	Proposed Projects
resource conservancies	\$258,264	John Muir Greenway—all
	\$172,176	Winchester Hills Greenway—500 ft
resource activities		
	\$275,482	Gold Creek Greenway
linear trails	\$61,983	Gold Creek Drainage—100 ft
	\$30,992	Winchester/Samm Trail Access—50 ft
	\$34,435	NE 145th St Greenway—100 ft
	\$34,435	124th Ave Greenway—100 ft
	\$13,774	Woodin Creek Trailhead—upper
athletic flds/plygrnds	\$375,000	Nelson Homestead
	\$344,353	Woodin Creek Realignment
	\$275,482	140th Ave Gateway—north
	\$57,392	SLS&E Trail—Cemetery North
support facilities	\$37,500	Parks Maintenance/Nursery
Subtotal for land impact	\$3,560,342	
Type of Facilities	City Funding	Proposed Projects
playground—uncovered	\$125,800	Wellington Hills GC
	\$62,900	Nelson Homestead
	\$62,900	Gold Creek Greenway
	\$62,900	Winchester Hills Greenway
	\$314,500	Neighborhood Parks—unassigned
play area—improved	\$164,992	Neighborhood Parks—unassigned
play area—not improved	(\$42,500)	Neighborhood Parks—unassigned
skate park	\$230,000	SE corner of NE 195 th Street and 136 th Ave NE across from Woodinville High
basketball—uncovered	\$213,532	Maltby Intermediate School
volleyball—sand	\$10,000	Wellington Hills GC
	\$10,000	Nelson Homestead
	\$10,000	Gold Creek Greenway
tennis—outdoor unlighted	\$209,924	Wellington Hills GC
	\$104,962	Maltby Intermediate School
soccer—regulation	\$3,628,280	South Gateway Park—King County
picnic tables w/o shelter	\$91,308	Little Bear Creek Park
	\$60,872	Little Bear Creek Greenway

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	\$91,308	Gold Creek Greenway
	\$91,308	Nelson Homestead
	\$60,872	John Muir Greenway
	\$60,872	Winchester Hills Greenway
	\$30,436	Woodinville Water District
	\$30,436	Tolt River Pipeline Trail
picnic shelters--group use	\$10,694	Little Bear Creek Park
	\$10,694	Gold Creek Greenway
	\$10,694	Nelson Homestead
park trail--asphalt	\$73,928	Little Bear Creek Park
	\$86,249	Gold Creek Greenway
	\$123,213	Nelson Homestead
	\$184,819	Woodin Creek Realignment
day hiking trail--asphalt	\$1,011,364	SLS&E Downtown Maltby
	\$674,242	Wellington Hills Trail
	\$252,844	Hollywood Hills Trail
	\$404,545	Winchester Hills Trail
day hiking trail--dirt	\$80,794	John Muir Greenway
	\$53,863	Winchester Hills Greenway
	\$403,969	Little Bear Creek Greenway
	\$161,588	Upper Little Bear Greenway
	\$53,863	NE 145th Street Greenway
	\$53,863	124th Ave Greenway
	\$48,476	Gold Creek Drainage
	\$48,476	Winchester/Sammamish Trail Access
	\$53,863	Woodin Creek/NE 171st Trail
bicycling trail--asphalt	\$852,159	SLS&E Downtown Maltby
bicycling trail--trailhead	\$21,205	
	\$42,410	
bicycling lane--marked	\$194,344	
	\$72,878	
	\$116,605	Winchester Hills Trail
equestrian trail	\$63,992	
equestrian trailhead	\$63,992	
	\$63,992	SLS&E Maltby Trailhead
class/meeting room	\$262,500	Nelson Homestead
nature center	\$75,000	Nelson Homestead

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museum	\$450,000	Nelson Homestead
parke maintenance facilities	\$60,000	Parks Maintenance/Nursery
park shop yard	\$45,000	Parks Maintenance/Nursery
	\$104,352	Nelson Homestead
	\$104,352	Gold Creek Greenway
	\$104,352	Winchester Hills Greenway
	\$104,352	John Muir Greenway
	\$104,352	Little Bear Creek Park
Total for land and facilities	\$12,356,289	

Source: Woodinville Parks, Recreation and Open Space (PRO) Plan Chapter 5: Land and Facility Demand

10.4.4.9 44 Schools

To ensure concurrency, the Northshore School District #417 and the Lake Washington School District #414 shall submit their Six-Year Capital Facilities Plans to the City annually. The Plans shall be adopted by reference annually as a sub-element of the Capital Facilities Element of the Comprehensive Plan. Accordingly, the 2002 Capital Facilities Plans of Northshore School District #417 and the Lake Washington School District #414 are adopted by reference. Table 10-10 at the end of this section provides a summary of the Northshore School District's capital projects planned for the next six years. The adequacy of school facilities will be evaluated when reviewing new residential development in accordance with RCW 58.17.110, using the annual inventories noted in the Capital & Public Facilities Element and other sources.

The vast majority of the City is served by the Northshore School District. A relatively small portion of the City (south of 145th Street NE, extended, and west of Woodinville –Redmond Road, extended) is served by the Lake Washington School District. The Lake Washington School District does not have any facilities located within the City of Woodinville, nor does the District plan, at this time, to expand existing or build new facilities that would serve the City. Therefore, the following concurrency analysis of school capacity and facilities only discusses the Northshore School District (NSSD).

Under the Growth Management Act, public entities are required to inventory existing capital facilities. Capital facilities are defined as any structure, improvement, piece of equipment or other major asset, including land that has a useful life of at least ten years. The purpose of the facilities inventory is to establish a baseline for determining what facilities will be required to accommodate future demand (student enrollment) at acceptable or established levels of service. This section provides an inventory of capital facilities owned and operated by the Northshore School District including schools, relocatable classrooms (portables), developed school sites, undeveloped land and support facilities. School facility capacity was inventoried based on the space required to accommodate the district's adopted educational program standards (see The 2001 Capital Facilities Plan adopted by reference dated May 22, 2001).

The Northshore School District currently operates 20 elementary schools (grades K-6), six junior high schools (grades 7-9), and three high schools (grades 10-12). The district also has one alternative high school (grades 10-12) and an early childhood center.

School capacity was determined based on the number of teaching stations within each building and the space requirements of the district's adopted educational program. This capacity calculation is used to establish the district's baseline capacity and determine future capacity needs based on projected student enrollment.

Capacities were determined for each school by classroom usage. For the elementary grade level the classroom uses are divided into regular grades 1-6; regular kindergarten; alternative grades 1-6; alternative kindergarten; gifted; Contained Learning Centers (special education); and integrated (combined regular and special education). For secondary, the separate uses are regular, grades 7-9 and 10-12; and special education grades 7-9 and 10-12. For example, excess space in a kindergarten classroom, which could not in theory be used to house overflow fifth-graders, does not offset a calculated fifth grade deficiency. The school facility inventory is summarized on Table 10-20, Elementary School Capacity Inventory.

Table 10-22 20–Northshore School Capacity Inventory within the City of Woodinville

School	Site Size (acres)	Bldg. Area (sq. ft.)	Teaching Stations	Student Capacity	Year Built or Last Remodel
Woodinville High	40	172,956	54	1481	1994
Leota Junior High	20	99,085	33	831	1997
Wellington Elementary	15	51,167	21	503	1999
Total	75	323,208	108	2,815	-

Note: The number of teaching stations at each school includes special teaching stations that typically provide capacity for 12 to 24 students each. Please refer to Section 3 for a list of special teaching stations and programs offered by the district.

Projected facility needs are derived from the differences between the school capacities and the full-time-equivalent (FTE) student enrollments for each year of the planning period. This year the district is not anticipating any need for additional facilities due to growth in the near term.

Table 10-21, School Enrollment/Capacity Projections, is a summary by grade level, of the projected enrollments, capacities and deficiencies in district facilities. "Capacity in Relocatables" represents the number of relocatables necessary to house students beyond the capacity limitations of permanent facilities. Dividing "Capacity in Relocatables" by the applicable standard of service yields the number of relocatables, or other appropriate housing strategies¹ necessary to accommodate enrollment. Consistent with the method of calculating capacities described in Section 4, "Capacity" is necessarily greater than "Enrollment."

Table 10-21, School Enrollment/Capacity Projections, indicates that the district's construction plan will result in a gradual reduction in the number of relocatables needed to house students. The reader should be aware that the indicated number of relocatables required may vary because of differences in class size and program needs from school to school.

This Capital Facilities Plan has been developed to ensure adequate capacity through a combination of construction/ expansion of permanent facilities installation of relocatables. Should unexpectedly high growth occur in the next four years, the district would retain relocatables that would otherwise be surpluses, convert special-use relocatables into additional classrooms, and/ or convert some specialized permanent spaces for use as classrooms. The latter action would involve revising the district's Standard of Service. Since the Capital Facilities Plan is updated annually, any unexpected growth will be reflected in the then-current enrollment projections and will be addressed with corresponding changes in the plan. and

Table 10-23 24 Northshore School Enrollment/Capacity Projections

	2001-2002	2002-2003	2003 – 2004	2004 - 2005	2005 – 2006	2006 – 2007
Elementary						
Enrollment	9,525	9,426	9,503	9,488	9,605	9,715
Capacity in Permanent Facilities	9,582	9,582	9,582	9,690	9,690	9,690
Capacity in New Perm. Facilities			108			
Total Capacity in Perm. Facilities	9,582	9,582	9,690	9,690	9,690	9,690
Capacity in Relocatables	806	806	698	698	698	698
No. of Relocatables Contributing to Cap.	38	38	34	34	34	34
Capacity with Relocatables	10,388	10,388	10,388	10,388	10,388	10,388

Junior High

Enrollment	4,884	4,980	4,896	5,047	4,958	4,983
Capacity in Permanent Facilities	5,168	5,168	5,168	5,168	5,168	5,168
Capacity in New Perm. Facilities						
Total Capacity in Perm. Facilities	5,168	5,168	5,168	5,168	5,168	5,168
Capacity in Relocatables	573	573	573	573	573	573
No. of Relocatables Contributing to Cap.	22	22	22	22	22	22
Capacity with Relocatables	5,741	5,741	5,741	5,741	5,741	5,741

Senior High

Enrollment	4,810	4,807	4,835	4,802	4,894	4,819
Capacity in Permanent Facilities	5,149	5,149	5,149	5,149	5,149	5,149
Capacity in New Perm. Facilities						
Total Capacity in Perm. Facilities	5,149	5,149	5,149	5,149	5,149	5,149
Capacity in Relocatables	405	405	405	405	405	405
No. of Relocatables Contributing to Cap.	15	15	15	15	15	15
Capacity with Relocatables	5,554	5,554	5,554	5,554	5,554	5,554

Totals

Enrollment (K-12)	19,219	19,213	19,234	19,357	19,456	19,517
Capacity in Permanent Facilities	19,898	19,898	20,006	20,006	20,006	20,006
Capacity in Permanent Facilities and Relocatables	21,682	21,682	21,682	21,682	21,682	21,682

On the basis of the long-term projections discussion within the Capital Facilities Plan, Northshore School District is expected to have overcrowding at each of the grade levels by the year 2012. A long-term projection of unhoused students and facilities needs is shown in Table 10-22, Long-Term Projection of Enrollment and Facilities Needs Year 2012, below.

Caution should be observed in making use of the information exhibited in the table. Long-term projections are based on many estimates and assumptions, and are, accordingly, subject to change. These estimated facilities are based on housing ten percent of the enrollment at each grade level in relocatables.

Table 10-24 22 Northshore School Long-Term Projection of Enrollment and Facilities Needs (Year 2012)

Grade Level	FTE Enrollment	Capacity*	Unhoused Students	Classrooms Needed
Elementary	10,520	10,388	133	6
Jr. High	5,232	5,741	(509)	(19)
Sr. High	4,981	5,554	(573)	(21)
Totals	20,733	21,682	(949)	(35)

* Total capacity in permanent facilities and relocatables is not increased beyond assumptions made in the current six-year plan.

Table 10-25 23 Northshore School District Capital Projects (6-year)

Completed Projects	Construction Budget	Scope
Canyon Park Junior High Modernization Phase I	\$9,600,000	New two-story classroom building, modernization/addition to the gymnasium and a modernization to the kitchen and cafeteria
Cottage Lake Elementary Modernization/Expansion Phase I	\$5,600,000	Phase 1 modernization and expansion, including new gymnasium, administration and four-classroom primary wing
Moorlands Elementary Addition	\$1,200,000	Four-classroom addition completed in April 2001
Woodinville High School Field Improvements	\$2,800,000	New synthetic turf track and field
Bothell High School Gymnasium	\$9,000,000	New physical education complex completed fall 2001.
Current Projects	Construction Budget	Scope / Status
Crystal Springs Library Administrative Renovation	\$1,600,000	New library building and administrative reconfiguration in bid stage. Scheduled to be under construction summer of 2001 with completion in the fall of 2002.
Fernwood Elementary Program Improvements	\$800,000	Administrative reconfiguration in preliminary stages of planning. The design is scheduled to be completed in the fall of 2001 with full funding contingent upon passage of the February 2002 bond.
Hollywood Hill Elementary Administrative Modernization	\$800,000	Administrative reconfiguration under construction. Completed December 2001.
Kenmore Junior High Gymnasium	\$3,500,000	New gymnasium complex under construction. Scheduled completion is the fall of 2002.
Lockwood Elementary Modernization and Expansion	\$2,000,000	Includes new gymnasium and four-classroom addition in bid stage. Currently under construction and to be completed in two phases, summer of 2002 and spring of 2003.
Maywood Hills Elementary Modernization Phase II	\$3,300,000	New library, music room and administrative addition under construction with completion scheduled for fall of 2002.
Northshore Junior High Modernization and Expansion	\$17,500,000	Full modernization of existing school and an approximately 20,000 square foot addition in design stage. Construction anticipated to begin summer of 2002 with completion scheduled for spring of 2004.
Sorenson Early Childhood Center Relocation	\$4,500,000	The new Sorenson Early Childhood Center will be relocated to a site north of the Westhill Elementary School campus.
Support Services Center	\$12,000,000	New support services center to house support services departments including transportation. Design complete. Currently in appeal process for conditional use permit. Pending positive outcome of appeal, plan to begin construction summer 2002. Anticipated completion in summer of 2003.
Woodin Elementary Administrative Modernization	\$800,000	Administrative reconfiguration. The design is scheduled to be completed in the fall of 2001 with construction to begin in 2002.

10.4.4.10.12 Surface Water

The City of Woodinville incorporated in 1993. At that time, the Woodinville Surface Water Management Utility was created in order to promote public health, safety, and welfare by minimizing uncontrolled stormwater and sedimentation. The objectives of the Utility were to preserve and utilize the many values of the City's natural drainage system, including water quality, open space, fish and wildlife habitat, recreation, education, and urban separation,

drainage and erosion control facilities, and to provide for the comprehensive management and administration of surface and stormwater.

The purpose of the City of Woodinville Surface Water Management Program is to protect public health and safety; prevent property damage; protect, preserve, and enhance surface water and associated habitats; protect groundwater quality and quantity; and to protect and enhance surface water and sediment quality by controlling and reducing harm from urban hydrologic changes and stormwater pollutants. The program includes surface water management comprehensive planning, surface water capital facilities design and construction, water quality programs, and management, operations, and maintenance of City-owned drainage facilities. The Utility is developing a Surface Water Management Comprehensive Plan and is scheduled present the plan to the City Council for approval in 2003. This plan will include surface water management improvement projects shown on Table 10-24.

Based on field history, the majority of the existing conveyance system appears to meet the demands of the existing land use. An analysis will be included in the Surface Water Management Comprehensive Plan that will determine the areas with capacity problems. At that time, basin flows will be determined and, if necessary, system improvement projects will be developed.

Table 10-26 24 Surface Water Management Improvement Projects

Project Name	Description	Cost Estimate
Little Bear Creek 132 nd Avenue NE Culvert Removal	Earthwork, culvert removal, revegetation, large woody debris, bank stabilization, and biological evaluation.	\$80,000
Little Bear Creek 134 th Avenue NE Culvert Removal	Earthwork, culvert removal, bridge installation, revegetation, large woody debris, bank stabilization, and biological evaluation.	\$500,000
Little Bear Creek NE 195 th Street Rock Weir Improvement	Rock weir installation, revegetation, large woody debris, bank stabilization, and biological evaluation.	\$40,000
Little Bear Creek NE 205 th Street Fish Passage Improvement	Log weir installation, revegetation, large woody debris, bank stabilization, and biological evaluation.	\$40,000
SR202 Chateau Drainage Erosion Protection	Property acquisition, sediment facility, and storm system improvements.	\$500,000
NE 175 th Street Storm Drainage Improvement	Pipe and catch basin installation, earthwork, and paving.	\$150,000
136 th Avenue NE Storm Drainage Improvement	Pipe and catch basin installation, earthwork, and paving.	\$75,000
Total		\$1,385,000

Table 10-27 25 Existing (1999) Surface Water Facilities

Facility	Units	Quantity
Detention/Water Quality (Public)	Each	43
Detention/Water Quality (Private)	Each	157
Conveyance Pipe	Linear Feet	196,000
Open Ditch	Linear Feet	151,000
Catch Basins	Each	2,020
Note: Inventory is currently underway. Quantities are subject to change.		

10.4.4.11 13 Woodinville Fire and Life Safety District

The source of the background information for this report is the King County Fire District #36/#42 Fire Services Study (March 11, 1992, Hughes, Heiss and Associates) and additional information provided by the Fire District. Updated by Woodinville Fire and Life Safety District, February 2002.

Fire District #36 serves the City of Woodinville and unincorporated areas of northeastern King County. The District serves a population of approximately 42,500 in a 36 square mile area.

The Woodinville Fire and Life Safety District has a Class 3 insurance rating through the Washington State Survey and Rating Bureau. The Fire District operates out of five stations: Woodinville Fire & Life Safety District Headquarters Station 31 at 17718 Woodinville Snohomish Road NE, Station 32 at 14700 148th Avenue NE, Bear Creek Station 33 at 19401 NE 133rd Street, Kingsgate Station 34 at 12703 NE 144th Street, and Cottage Lake Station 35 at 17805 Avondale Road NE. The stations are staffed full time.

The Woodinville Fire and Life Safety District is a full service fire district. The services are provided by a Fire Prevention Bureau, Training Division, Administrative Division and an Operations Division. The Fire Prevention Bureau is located at Woodinville City Hall and Headquarters - Station 31. The Fire Prevention Bureau has two full time inspectors, a part-time inspector, a Deputy Fire Marshal and two clerical support personnel. To provide regional training, the Training Divisions of the Redmond and Kirkland Fire Departments were consolidated.

The District provides full emergency medical services as well as an Emergency Medical Technician (Paramedic Unit which is located at Fire Station 35). The Emergency Medical Technician/Paramedic Unit also provides service to the communities of King County Fire District 45 (Duvall), Redmond, Bothell and Kirkland. The Fire District employs 62 union employees, a Fire Chief, 2 Deputy Chief, 6 full time and 1 part time administrative support personnel, and 5 volunteer firefighters.

The Board of Fire Commissioners meets regularly on the first and third Monday of every month.

In 200,1 the District responded to 4,258 calls for service. The 2001 average response time was approximately 6.1 minutes for all emergency responses.

The Fire District's fleet replacement plan lists the following inventory of apparatus and vehicles:

Pumpers	6
Ladder Truck	1
Aid Vehicles	6
Utility/Rescue/Other	3
Staff Vehicles	9
Total Vehicles	25

10.4.4.12 14 City of Woodinville Municipal Buildings

a. Civic Center

In 1999 the City of Woodinville purchased a 10.5 acre site in downtown Woodinville from the Northshore School District. The site includes two schools on 3.8 acres and 6.7 acres of playfields. The vintage-1935 building temporarily served as the Woodinville City Hall until the construction of the new City Hall. In 2001, the new City Hall was completed on the southern parcel. The C.O Sorenson School, built in 1975, was used (fall 2002) as an active preschool and special needs school. The School District will be constructing a new building on another site to replace this facility. The District expects to move into their new facility in the fall of 2002. The City of Woodinville addressed the need for creating a civic center for the community within the Civic Center Master Plan.

The City acquired the property for the purpose of developing a community/civic center complex. With the new City Hall on an adjacent parcel and the Wilmot Park across the street, the City Council envisions a public campus that will serve as a civic anchor for downtown Woodinville. The final area encompasses the 10.5 acre Sorenson site, the 1.8 acre site of the new Woodinville City Hall, and approximately 1.2 acres of privately owned commercial properties on the southeast corner of NE 175th Street and 131st Avenue NE. The Sorenson site includes the old Woodinville School (Woodinville Annex) and the four-building C.O. Sorenson School. Four playfields round out the Sorenson site. There are three one-story commercial buildings, with parking, on the private parcels. Two of these buildings front on NE 175th Street and the other faces 131st Avenue NE.

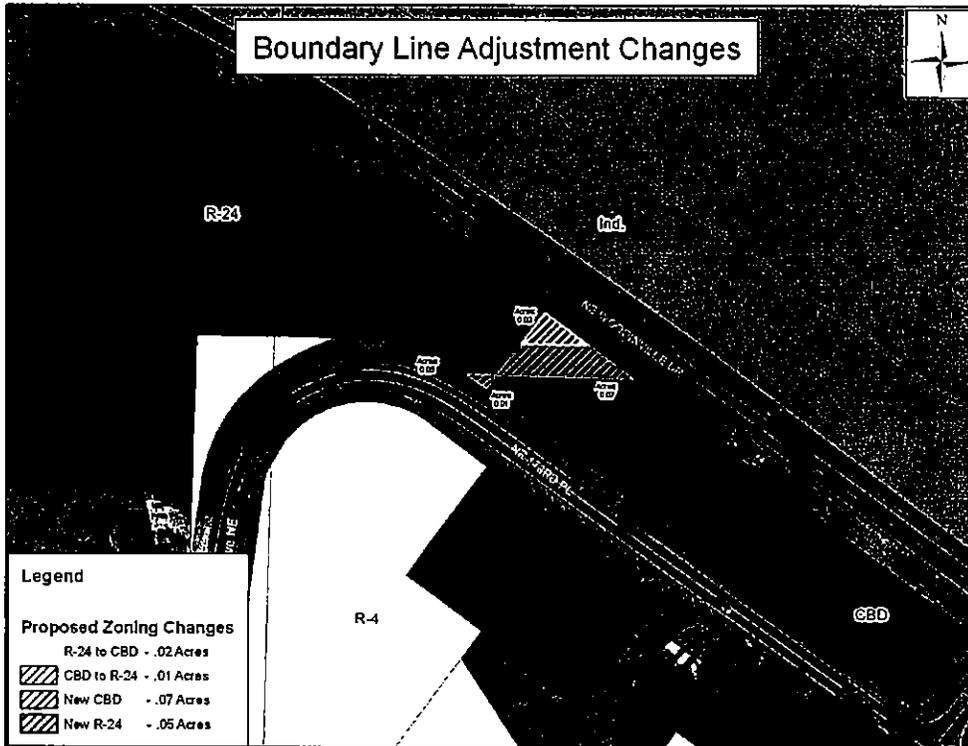
b. Field Maintenance Operation Facility

A field maintenance operation facility is a shop and yard for providing in-house maintenance and operation and fleet management for a city. This includes both Public Works Department and Parks & Recreation Department operations. Table 10-13 lists the necessary area required for a City of Woodinville Field Maintenance Operation Facility.

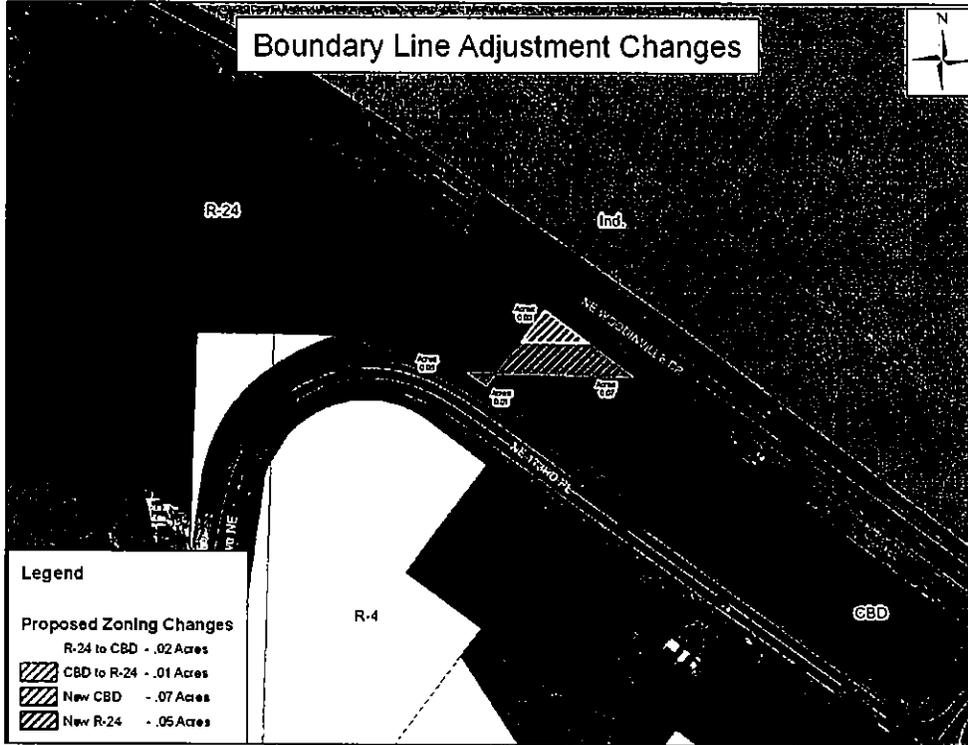
Table 10-28_26 Medium Field Maintenance Operation Facility (Estimated Space)

Facility Activity or Use	Required Square Footage (est.)
Rolling Stock Parking (Rolling Stock Parking)	9,882 square feet
Rolling Stock Parking (Equipment outside)	4,672 square feet
Traffic Control	2,000 square feet
Traffic Control (Material Outside)	7,066 square feet
Storage Subtotal (Internal)	1,968 square feet
Facility Structure	6,096 square feet
Washing Down Area	580 square feet
Parking	8,400 square feet
Subtotal	40,664 square feet
Access Open Space @ 20%	8,133 square feet
Buffer Area @ 10%	4,066 square feet
Storm Water Pond	2,500 square feet
Total Estimated	55,364 square feet

AMENDMENT TO FUTURE LAND USE MAP AT NE 173RD PLACE AND NE WOODINVILLE DRIVE RESULTING FROM 2004 BOUNDARY LINE ADJUSTMENT AND STREET VACATION.



**AMENDMENT TO ZONING MAP AT NE 173RD PLACE AND NE WOODINVILLE DRIVE
RESULTING FROM 2004 BOUNDARY LINE ADJUSTMENT AND STREET VACATION.**



WMC 21.08.040 A. RECREATIONAL / CULTURAL LAND USE <u>KEY</u> P – PERMITTED USE C – CONDITIONAL USE S – SPECIAL USE U – SPECIAL USE		ZONE										
		Residential				Commercial/Industrial/Public						
		L o w	M o d e r a t e	M e d i u m	H i g h	N e i g h b o r h o o d	T o u r i s t B u s i n e s s	G e n e r a l B u s i n e s s	C e n t r a l B u s i n e s s	O f f i c e	I n d u s t r i a l	P u b l i c
NAICS#	SPECIFIC LAND USE	R1-4	R5-8	R9-18	R19+	NB	TB	GB	CBD	O	I	P/I
	Park / Recreation:											
*	Parks	P1	P1	P1	P1	P1	P1	P	P		P	P
*	Trails	P	P	P	P	P	P	P	P		P	P
*	Destination resorts								C2			
*	Marina			C4	C4		P5	P	P		P	
	Amusement/Entertainment:											
512131	Theater							P6	P6			
512132	Theater, drive-in							C6	C6			
711110 711130	Plays / Theatrical production								P6			
71395	Bowling center							P				
71394 *	Sports club	C4	C4	C4	C4		C	P	P			
71391 *	Golf facility	C7	C7	C7	C7			P				
71391	Golf driving range	C8	C8	C8	C8			P7				
*	Shooting range							P10				
71312 *	Amusement Arcades						P	P	P			
71311	Amusement park							P	C			
*	Outdoor performance center						S	S	S			
*	Indoor batting cage facility										C1 3	
*	Indoor go-cart facility							P14				
	Cultural:											
51412	Library	P11, C	P11, C	P11, C	P11, C		P		P			P3
71211	Museums and Art Galleries	P11, C	P11, C	P11, C	P11, C		P		P		P	P3
71213	Arboretum	P	P	P	P		P		P			P3
81311	Churches, temples and, synagogues	P12, C	P12, C	P12, C	P12, C		P	P	P			<u>P15</u>
*	Civic Center											<u>P</u>
*	Community Center											<u>P</u>
*	Conference Center	P11, C	P11, C	P11, C	P11, C				P			
GENERAL CROSS REFERENCES:						Application and Review Procedures, see WMC 21.40 through 21.44						
Land Use Table Instructions, see WMC 21.08.020 and 21.02.070						Tourist District Regulations, see WMC 21.38.065						
Development Standards, see WMC 21.12.through 21.30						R-48/O Regulations, see WMC 21.28.030						
General Provisions, see WMC 21.32 through 21.38						(*) Definition of the specific Land Use, see WMC 21.06						

21.08.040 B DEVELOPMENT CONDITIONS

- (1) The following conditions and limitations shall apply, where appropriate:
 - (a) No stadiums on sites less than ten acres;
 - (b) Lighting for structures and fields shall be directed away from residential areas;
 - (c) Structures or service yards shall maintain a minimum distance of fifty feet from property lines adjoining residential zones; and
 - (2) Except recreational vehicle parks.
 - (3) Limited to publicly owned facilities.
 - (4) Limited to recreation facilities for residents of a specified residential development.
 - (5) Limited to day moorage.
 - (6) Adult use facilities shall be prohibited within 660 feet of any residential zones, any other adult use facility, or school licensed daycare centers, public parks, community centers, public libraries or churches that conduct religious or educational classes for minors.
 - (7) Structures, driving ranges and lighted areas shall maintain a minimum distance of fifty feet from property lines adjoining residential zones.
 - (8) Only as an accessory to golf courses.
 - (9) (Reserved).
 - (10) Only in an enclosed building.
 - (11) Only as accessory to a park or in a building listed on the National Register as an historic site or designated as a landmark subject to the provisions of WMC 21.38.080.
 - (12) Only as accessory to a nonresidential use established through a discretionary permit process and limited in scale to ensure compatibility with surrounding neighborhoods.
 - (13) Indoor batting facilities are subject to the following conditions and limitations:
 - (a) Facilities open to youth under the age of eighteen (18) shall not be located in the Sexually Oriented Business Overlay District.
 - (b) The facility shall require the minimum safety standards as provided for a national youth baseball association such as the Little League Association.
 - (c) Signs regarding safety rules must be prominently displayed.
 - (d) Pedestrian walkways shall be clearly marked.
 - (e) The business owner shall provide to the City a signed statement by the building owner declaring that High Hazard Occupancies (Type H Occupancies as defined in the International Building Code) shall not be located in any spaces adjacent to the indoor batting facility; or, the facility shall be located in a single occupancy building.
 - (f) Retail sales at an indoor batting facility shall be limited to baseball-related items, and the retail sales area shall not exceed 500 square feet.
 - (g) Children under the age of fifteen (15) are not permitted on the premises without a supervising adult.
 - (h) On site food preparation is prohibited.
 - (i) A safe pedestrian "pick-up/drop-off" area that does not interfere with local traffic shall be provided.
 - (14) Indoor go-cart racing facilities are subject to the following conditions and limitations:
 - (a) Signs regarding safety rules must be prominently displayed.
 - (b) Pedestrian walkways shall be clearly marked.
 - (c) The business owner shall provide to the City a signed statement by the building owner declaring that high hazard occupancies (Type H occupancies as defined in the International Building Code) shall not be located in any spaces adjacent to the indoor go-cart racing facility, or the facility shall be located in a single occupant building.
 - (d) A safe pedestrian "pick-up/drop-off" area that does not interfere with local traffic shall be provided.
 - (e) Until and unless the City adopts an overriding noise ordinance, the maximum noise levels (dBA) associated with the operation of any go-cart racing facility shall not exceed the following maximum dBAs:
-

	Receiving Property	
Residential Zones	Commercial Zones	Industrial Zones
57*	60	65

*Reduced to 10 dBA between the hours of 10 p.m. and 7 a.m.

- (f) Loitering outside the facility shall be strictly controlled by the facility's management.
- (g) Prior to the opening of the facility, proof of suitable insurance is required.

(15) Permitted within a publicly-owned building as part of a standard lease or other use agreement between the church, temple, or synagogue and the owner or operator of the underlying property.

CITY OF WOODINVILLE

COMMERCIAL DESIGN STANDARDS PLANNING COMMISSION RECOMMENDED DRAFT October 2005

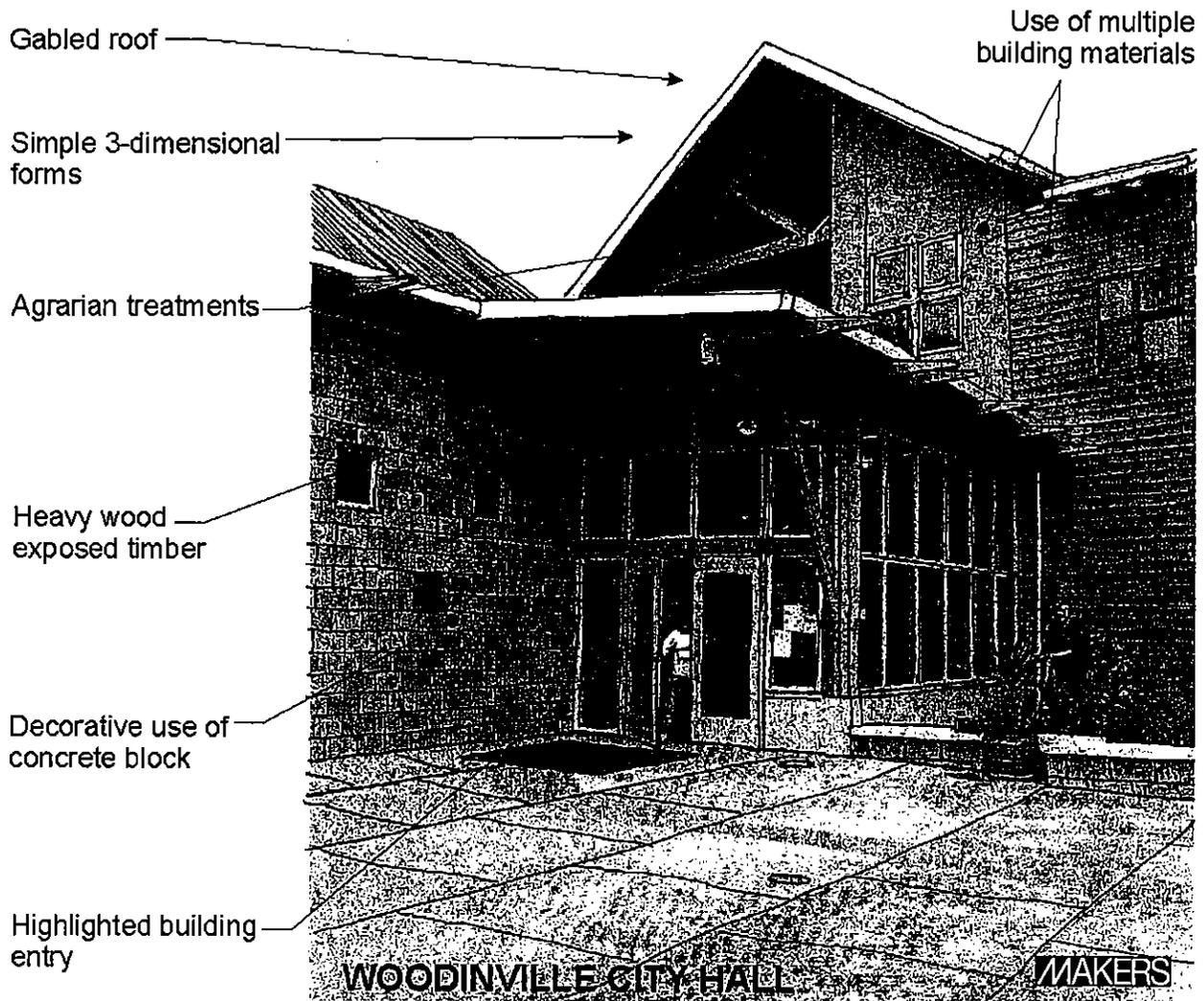


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21.14.300 Purpose.

- (1) The overall purpose of these Commercial Design Standards is to help implement the City's Comprehensive Plan vision:

"In the year 2015, Woodinville is a safe, friendly, family-oriented community that supports a successful balance of neighborhoods, parks and recreation, tourism, and business. We have preserved our Northwest woodland character, our open space, and our clean environment. We have enhanced our ability to move freely throughout the community by all modes of travel. Woodinville is a pleasant place in which to live, work, play, and visit, with a compact, inviting downtown that is attractive and functional."

More specifically, the purposes of these Commercial Design Standards are to guide development in a manner that is not only functional, but also aesthetically pleasing, promote social and economic vitality, and foster an enhanced sense of safety, comfort, interest and identification between people and their environment. Additionally, the purpose of these Commercial Design Standards is to encourage development that meets the goals and policies of the City of Woodinville Comprehensive Plan for community design. These goals are:

- (a) Goal CD-1: To promote an image of a visually cohesive community to residents and visitors.
- (b) Goal CD-2: To maintain the Northwest woodland character and heritage of Woodinville.
- (c) Goal CD-3: To promote quality design that preserves and enhances the character of Woodinville.
- (d) Goal CD-4: To create pedestrian friendly environments in Woodinville.
- (e) Goal CD-5: To encourage the arts as a vital contributor to community design.

21.14.301 Administrative Procedures.

- (1) The Director of Planning (Director) will report design review activity regularly to the Planning Commission, who will serve as the monitor for these COMMERCIAL DESIGN STANDARDS. The City is committed to incorporating design review procedures that:
 - (a) Apply to all commercially designated property within the City;
 - (b) Allow for flexibility to accommodate creative design that meets the intent of adopted standards;
 - (c) Do not prolong approval processes; and
 - (d) Encourage design review that parallels development design for economy of design resources.
- (2) The procedures outlined in sections WMC 24.14.320 and 21.14.330 are intended to accomplish the previously stated objectives. The underlying premise of the

procedures established for design review is to provide City review that parallels design processes. The developer has access to design review as design development progresses so that design resources are directed to known, expected results.

21.14.310 Applicability.

- (1) All new construction within the CBD, O, TB, and NB zones shall be subject to all ~~chapters~~ sections of the Design Standards as determined by the Director.
- (2) Alteration of any structure on commercially designated property within the City that affects the exterior appearance of a building elevation visible from a public right-of-way or public space shall be subject to design review under the Design Standards. While Woodinville would benefit greatly if all the design standards were met when existing properties are altered, such a strict application of the design standards might disadvantage property owners or discourage them from improving their buildings. The recommended solution is to establish two thresholds to gauge the extent of remodeling and set requirements based on what is practical and reasonable for that level of improvement.
 - (a) If 50 % or more of a building elevation of a structure subject to design review is altered within a period of three years, the structure shall be subject to the applicable requirements that do not involve repositioning the building or reconfiguring site development as determined by the Director.
 - (b) If less than 50% of a building elevation of a structure subject to design review is altered within a period of three years, the requirement is only that the proposed improvements meet the standards and/or guidelines and do not lead to further nonconformance with the standards and guidelines. For example, if a property owner decides to replace a building façade's siding, then the siding shall meet the applicable exterior building material and color standards and/or guidelines, but elements such as building modulation would not be required.
- (3) The Design Standards Checklist will be used for addressing design issues in all review processes.

21.14.320 Interpretation.

- (1) Where there is a conflict between these Design Standards and other City plans, policies, and regulations, the most specific standard, guideline, or regulation shall apply, as determined by the Director. For example, Chapter 21 of WMC provides for a minimum street setback of 10' in commercial districts, whereas the design standards allow buildings to be placed on the front property line as long they meet certain design requirements. While the Design Standards herein are less restrictive in this case, they are more specific in that they allow for zero setbacks if certain conditions are met. (Therefore, the Director will determine that they apply.)

- (2) Each Section of the Design Standards contains a list of “Intent” statements followed by “Design Principles” and subsequent implementing measures. Specifically:
 - (a) Intent statements are overarching objectives. For example, the Intent statement for the “Building Corners” section is to “create visual interest and increased activity at street corners.” Project applicants must be able to demonstrate how their project meets the Intent, to the Director’s satisfaction.
 - (b) Design Principle statements describe broad actions that are necessary to achieve the Intent.
 - (c) A collection of Standards implements the Design Principles. Specifically:
 - (i) Standards that use words such as “shall,” “must,” “is/are required,” or “is/are prohibited” signify required actions.
 - (ii) Some standards take a “tool box” approach, in that a development may be required to include at least two design elements from a large list of options.
 - (iii) Standards using words such as “should” or “is/are recommended” signify recommended actions that are meant to be applied with some flexibility. Development projects must comply with such measures unless the development proposal meets the Intent in some other manner, as determined by the Director.
 - (d) Furthermore, the document contains some specific standards that are easily quantifiable, while others provide a level of discretion in how they are complied with. In the latter case, the applicant must demonstrate to the Director, in writing, how the project meets the Intent of the standard.
- (3) Words within the standards and guidelines that are italicized are defined in WMC 21.06 – Technical Terms and Land Use Definitions.

21.14.320 Design Review Procedures. Design review is available and encouraged in phases described below:

- (1) **Schematic Design Review.** Schematic design, as used here, is a preliminary graphic representation of the proposed development that is based on available information. The graphic representation may be supplemented with written information.

The intent of Schematic Design Review is to provide a way for the developer to convey information that describes the developer’s objectives early so the Design Standards that relate to the development can be identified for consideration. Most issues will be addressed at the Schematic Design Review with the understanding that details of these issues will be addressed subsequently.

Schematic Design Review will be conducted by the City’s Technical Review Committee (TRC). Multiple TRC reviews may be justified for larger

developments. TRC review will be most beneficial if the following items are included in schematic plans:

- (a) Site layout;
 - (b) Pedestrian, bicycle and vehicular circulation on-site and in relation to connecting walks and streets;
 - (c) Building elevations;
 - (d) Landscaping in concept and general material types; and
 - (e) Storm drainage system concept.
- (2) Permit Document Development Design Review. At the developer's option, the City will provide reasonable periodic design review during preparation of development permit documents. This review may be conducted by TRC or the Staff person responsible for the issue reviewed.
- (3) Dispute Resolution. Either the applicant or the staff may request consultation with the Planning Commission as provided in WMC 21.14.340, Appeals WMC 21.14.340.
- (4) Final Design Review. A final Design Standards Checklist will be prepared using documents submitted for development permits. Staff will also prepare a final decision with conditions of approval as may be required.
- (5) Appeal. Any appeal of the decision shall be made to the City Council pursuant to Ordinance No. 18 and 81 Chapter 2.30 WMC and Title 17 WMC.

21.14.330 Alternative Review Procedure.

- (1) Intent.
 - (a) To provide an alternative review procedure that recognizes the unique opportunities and special challenges of developments that merit special considerations. Such considerations include environmental constraints or circumstances or large lot development (2 acres or larger).
 - (b) To permit greater flexibility and encourage more creative and imaginative site planning and design than may be possible under procedures described in (1)(a), above.
 - (c) Qualifying developments may utilize Alternative Review Procedure to gain flexibility to vary from the strict requirements of certain of the City's Zoning development standards (~~WMC 21A-12-18~~ Chapters 21.12 through 21.18) and Commercial Design Standards provided that the Director determines that the proposal complies with the City's Comprehensive Plan, meets the intent of the development standards and Commercial Design Standards and provides public benefit by meeting ~~items~~ terms of WMC 21.14.310(1) SCHEMATIC DESIGN REVIEW and as further specified below:

- (i) To provide more economic and efficient use of the land;
 - (ii) To reduce the negative impacts to adjacent properties;
 - (iii) To increase convenient pedestrian and vehicular circulation in the vicinity of the subject property;
 - (iv) To enhance the overall visual quality in the commercial areas of Woodinville and maintain a human architectural scale;
 - (v) To produce consistent design identity compatible with the surrounding commercial area;
 - (vi) To take advantage of special opportunities to create a pleasing composition of buildings and landscape features; and
 - (vii) To create a focal point in the downtown.
- (2) **Applicability.** Alternate Review Procedures may be used by holders of an equitable interest in or option on property. The applicant must submit evidence of such interest.
- (3) **Permitted Uses.** Land uses of the site plan review process shall be limited to those permitted in the underlying zone.
- (4) **Public Service Availability.** Design review under Commercial Design Standards shall consider sufficiency of public facilities such as water lines and streets. Sufficiency shall mean that either the systems exist or are planned to serve the proposed development and integrate the total systems of which the reviewed system is a part.
- (5) **Site Plan Review Criteria.**
- (a) The TRC may consider and approve plans submitted under the Alternative Review Procedures for development that vary from the development standards of WMC 21.12-18 and ~~City-adopted~~ these Commercial Design Standards provided that the TRC finds that all of the following standards are met:
 - (i) The proposal is consistent with the intent of the City's Commercial Design Standards.
 - (ii) The proposal complies with the City's Comprehensive Plan.
 - (iii) The proposal provides a public benefit by meeting the following standards: The site planning for developments reviewed under this Alternative Review Procedure shall demonstrate unifying organization as well as accomplish the following goals:
 - 1) Mitigate transportation impacts and conform to the City's objectives for better circulation by connecting through streets;
 - 2) Provide convenient, inviting pedestrian circulation connecting all on-site activities to adjacent pedestrian routes and street rights-of-way and encourage bicycle access and use;

- 3) Encourage buildings to complement adjacent activities and visual character and create human scale;
- 4) Incorporate open space and landscape design as a significant unifying element;
- 5) Enhance the quality of pedestrian-oriented streets if adjacent to streets classified as “pedestrian oriented street” for design review purposes;
- 6) Incorporate screening, environmental mitigation, utilities, and drainage as positive elements in site design, such as creating a “natural” open space or wet pond as a site feature to accommodate surface water runoff;
- 7) Reduce the visual and functional impacts of parking through placement and design of parking lots; and
- 8) Where it is warranted and feasible, incorporate shared or joint use parking, transit access, and other parking/auto trip reduction measures.

(6) Schematic Site Plan Review.

- (a) Before filing any application, the prospective applicant shall submit for review by the TRC information noted in WMC 21.14.320(1)(a)-(e).
- (b) The TRC will meet with the applicant, who will provide information necessary for a complete application. ~~A written record of the~~ The TRC's recommendations and comments shall be provided to the applicant in writing after the meeting.
- (c) The Director shall issue a letter indicating acceptance when documents submitted for Schematic Site Plan Design Review for major issues identified in WMC 21.14.310320(1)(a)-(e) above are satisfactory to the City. Approved documents, marked for identification, will be provided to the applicant and retained in the City's files.

(7) Permit Document Development Design Review.

- (a) Subsequent to Schematic Site Plan Review, the City will provide periodic design review at the applicant's request and reasonably scheduled by the City during development of permit documents.
- (b) The City will reasonably schedule Permit Document Development Design Reviews until the applicant is prepared to submit documents for Final Design Review.
- (c) The applicant may request tentative approval of design acceptance for this phase upon completion of the phase. The Director shall respond to the applicant by written tentative approval, approval with conditions, or disapproval with reasons for disapproval. The applicant and the City are to retain duplicates of documents accepted for design review as references for Final Design Confirmation.

- (8) Final Design Confirmation.
 - (a) Documents submitted for Final Design Confirmation are documents submitted for permit approval. Where the project is to be developed in phases, a master plan shall be prepared that indicates phasing and methods for ensuring functionality of phased utility, circulation, and drainage systems.
 - (b) Submission requirements for Final Design Confirmation shall conform to permit submission requirements as follows:
 - (i) Building and Planning Departments requirements;
 - (ii) SEPA Checklist or determination from prior SEPA review for the project proposed;
 - (iii) Updated Design Review Checklist indicating conformance with Design Standards of the final design compared with Checklist review conducted for Schematic Site Plan Review and Permit Document Development Design Review; and
 - (iv) A written description of phasing proposed and measures included in the design to assure the public's safety and welfare during all phases of the development.

21.14.340 Appeals. Request for dispute resolution to the Planning Commission:

- (1) The applicant or the Director may request consultation with the Planning Commission during Schematic Site Plan Review or Permit Document Development Design Review to resolve interpretation disputes of the Commercial Design Standards.
 - (a) The Director shall schedule a requested consultation with the Planning Commission within a reasonable time period after the request. The reasonableness of time shall give consideration to any time required to review an environmental checklist and make a threshold determination and to develop and review an environmental impact statement, if required under SEPA, as well as time consumed by Planning Commission optional review.

The Planning Commission shall render a decision on the design review issue(s) subject of the requested consultation. Thereafter, the Director shall consider the decision of the Planning Commission and shall issue a final decision.

- (2) Appeal of Final Decisions to City Council.
 - (a) Design review decisions may be appealed to the City Council by the applicant after they are heard by the Planning Commission. Appeals to the City Council shall be considered on the basis of whether or not the proposed design(s) are consistent with the Design Standards and otherwise comply with the provision of law.

- (b) Permitted land uses in the underlying zone cannot be appealed under design review processes.
- (c) Appeals shall be made in accordance with the provisions of ~~Ordinance No. 18 and 81~~ Chapter 2.30 WMC and Title 17 WMC.~~17.~~

21.14.350 Amendment of Site Plan. Major change(s) to plans approved by the Director or City Council may only be amended by the same procedures provided herein for original site plan approval. Design review for amendments shall be limited to the proposed change, except the proposed amendment shall be considered in context with approved design review.

A major change is a change that affects a design standard reviewed in the original approval(s).

21.14.360 Expiration.

- (1) Site plan approval shall expire within two years of the date of approval, except as provided for phased site plan approvals below. A single two-year extension may be granted for good cause as determined by the Director.
- (2) The Director may grant site plan approval for large projects planned to be developed in phases over a period of years exceeding the normal time limits of WMC 21.14.360(1) above. Such approval shall include time limits for particular phases of the development as agreed upon by the applicant and the Director. If the time limits of a phase cannot be met, a single two-year extension may be granted for good cause by the Director.

21.14.370 Notice. Notice of the final staff decision for design review or the alternate review procedure shall be posted and published in the same manner as SEPA threshold determinations.

21.14.371 Site Planning – Relationship to Street Front.

- (1) Intent. People experience the City from streets. Streets are some of the vital spaces that bind the community together and allow for various modes of movement within the City. The intent for street fronts is:
 - (a) To create an active, safe pedestrian environment;
 - (b) To enhance commercial areas and to establish visual identity for each area;
 - (c) To reflect a small village tradition in structures;
 - (d) To unify streetscapes;
 - (e) To improve circulation, including options for pedestrians, bicycles and vehicles;
 - (f) To enhance the visual character of streets within commercial areas;
 - (g) To encourage garden-type landscaping elements as a unifying feature; and
 - (h) To enhance the visibility of commercial uses from the street.



Figure 1. An example of development that meets frontage requirements for Pedestrian-Oriented Streets.

- (2) **Pedestrian-Oriented Street Design Principle.** Relate development to designated pedestrian-oriented street frontages. All development for properties fronting on a designated Pedestrian-Oriented Street, as defined in WMC 21.14.960, shall include the following features: site planning measures to define the street edge; encourage pedestrian access amenities; and support the commercial area's design purpose stated in WMC 21.14.3XX. Developments must adhere to the following standards, unless the Director determines that they prevent viable site development:
- (a) Buildings are encouraged to be located adjacent to the sidewalk. Such buildings must contain a pedestrian-oriented façade. This includes either:
 - (i) Transparent window areas or window displays along at least 75% of the ground floor façade. The window area must cover the area between 2' and 8' above the sidewalk or walkway surface; or

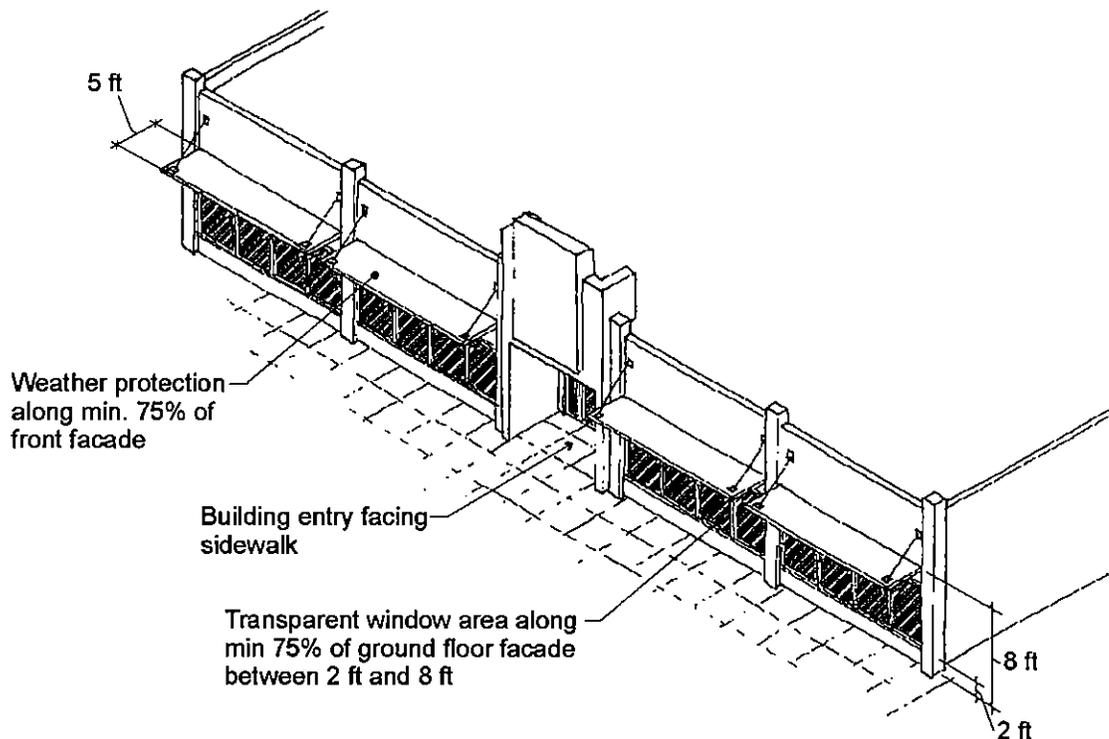


Figure 2. An example of a Pedestrian-Oriented Façade.

- (ii) A combination of sculptural, mosaic, or bas-relief artwork and transparent window areas or window displays (as described above) over at least 75% of the ground floor façade.



Figure 3. Examples of Pedestrian-Oriented Façades.

- (b) Where buildings are not located directly adjacent to the sidewalk, the space between the sidewalk and building must be either:
- (i) Pedestrian-oriented space, as described in WMC 21.14.850 Pedestrian Activities and Plazas. Specifically, at least 500 SF must be located along the sidewalk for every 100 linear feet of façade as measured along the property line adjacent to the street; or
 - (ii) Garden area incorporating landscaping that adds seasonal color and interest and does not act as a visual barrier. The sketch in Figure 4 provides one example of how a development could comply. The photos in Figure 5 show a variety of good examples. Such areas should incorporate a variety of plant types that feature a range of colors and textures that provide visual interest from the sidewalk. Grass is acceptable only if combined with other plantings that provide seasonal interest and meet the Intent. English Ivy and other non-native, invasive plants are prohibited in this space. Plant types should be appropriate to the Pacific Northwest climate. Native and drought tolerant plants are preferred. The garden area must be designed and maintained to provide clear visibility between storefront windows and the street.

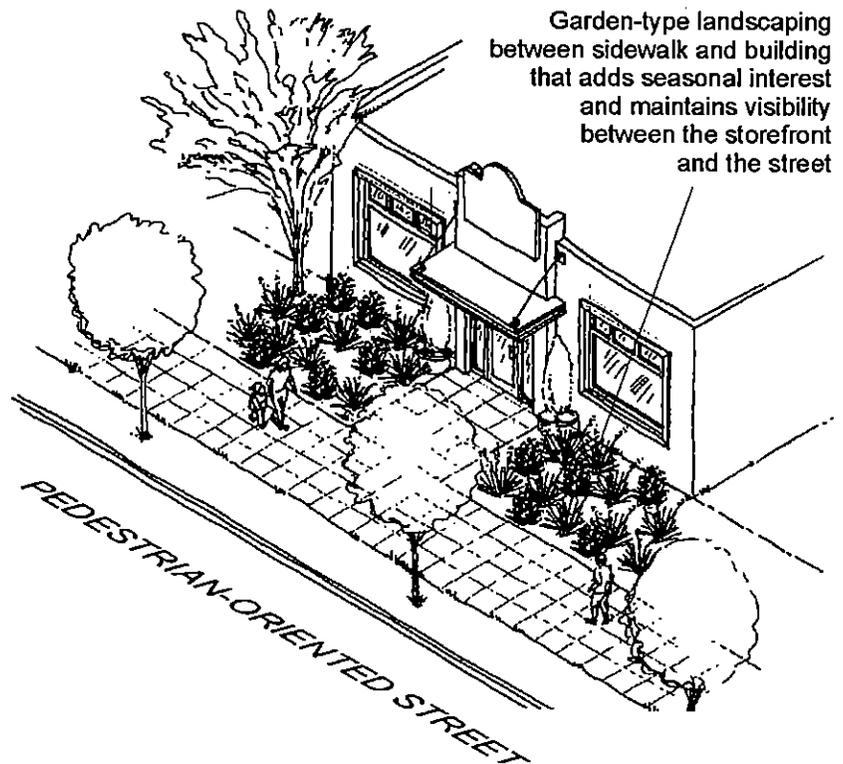


Figure 4. An example of incorporating a small garden area between the sidewalk and the building.



Figure 5. A variety of “garden” type landscaping configurations and designs that would be appropriate for areas between the sidewalk and a building on a pedestrian-oriented street.

- (c) When located adjacent to the sidewalk, buildings shall provide pedestrian weather protection at least 5’ wide along at least 75% of the building’s front face. Wider weather protection features are encouraged to provide for outdoor seating areas such as in Figure 6. The weather protection may be in the form of awnings, marquees, canopies, or building overhangs (see Figures 2 and 3). Gaps in the covering allow for visual variety in the façade through the use of architectural features and/or landscaping components.



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Figure 6. Weather protection features that are 8 feet or wider can accommodate outdoor seating areas.

- (d) Building entries must have direct access to the public sidewalk. Such entries should face the street to the extent possible. Where entries are located on the side of the building, they must be visible from the street and connected by a pedestrian pathway. See Figures 2 and 3 for examples.
- (e) Preferably, parking should be located behind structures, away from pedestrian-oriented streets. Where at least some street front parking and vehicular access is unavoidable, as determined by the Director, no more than 50% or 65' of the street frontage, whichever is less, may be occupied by parking and vehicle access.

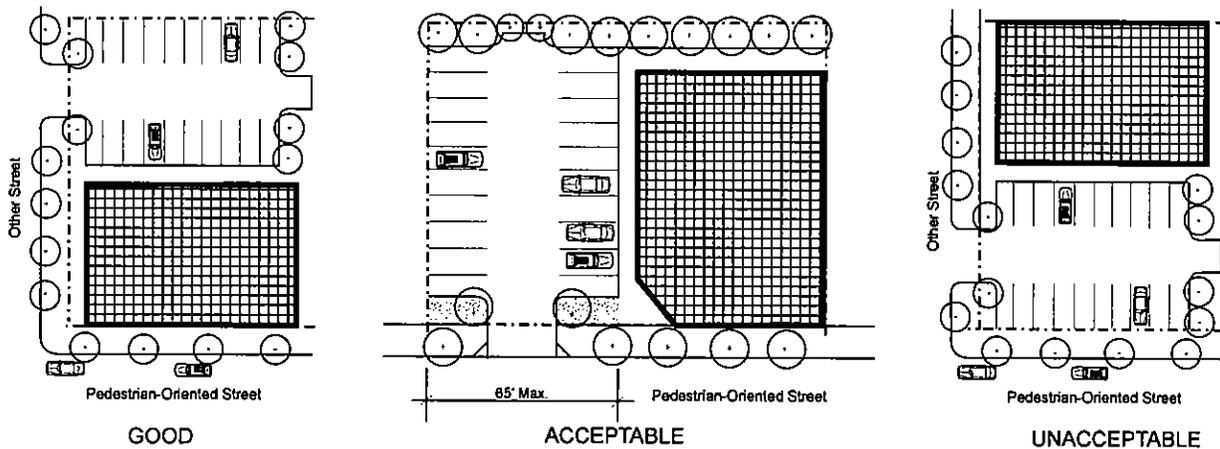


Figure 7. Parking location and configuration options.

On sites that front on two or more pedestrian-oriented streets and where the Director determines that there are no reasonable alternatives, parking and vehicle access areas may occupy a frontage greater than 65' on one or more of the pedestrian-oriented streets. The Director shall determine which street(s) are most appropriate for parking and vehicular access frontage. Design elements must be included to screen parking areas and maintain visual continuity along the pedestrian-oriented street frontage.

Figure 8 shows two such examples, including a landscaped trellis and architectural columns with hanging plants. Both include vertical elements that, together with the trees, help to define the edge of the street. Also note that visibility is maintained between the parking lot and the street. This is particularly important at eye level for public safety.

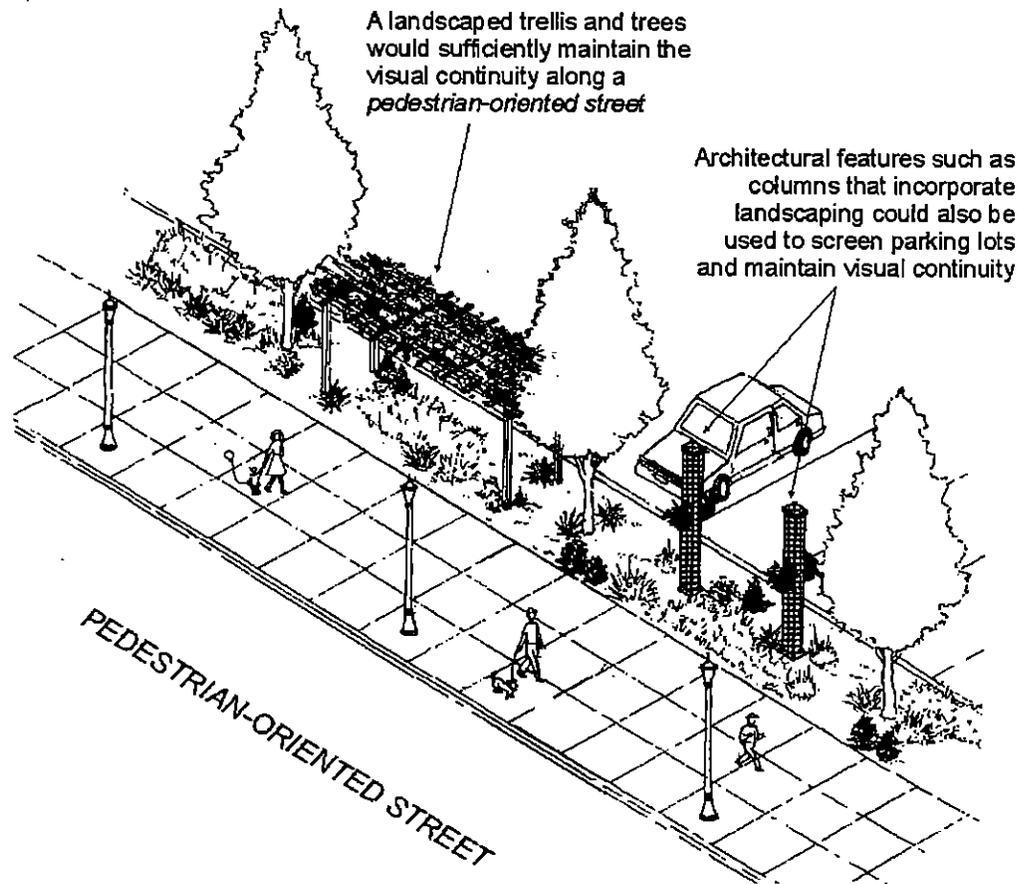


Figure 8. Examples of design elements between a street and parking lot that maintain visual continuity along the street.

- (f) If insufficient right-of-way exists to allow for 12' of public sidewalk, set the building back sufficiently to provide at least 12' of walking surface according to WMC 21.14.820 (2)(a) Sidewalk Size and Materials.

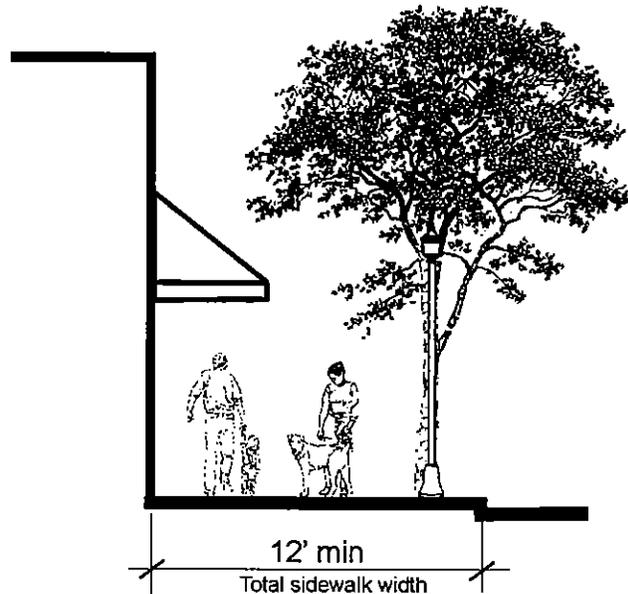


Figure 9. Where insufficient right-of-way exists, set buildings back sufficiently to meet minimum sidewalk width standards.

- (g) No large item display areas are permitted (e.g. auto sales in the front yard area). Sidewalks shall not be enclosed as building space for retailing. Small, temporary displays for items such as groceries, hardware, nursery stock, books, etc., may be allowed provided the display does not unduly impede pedestrian sidewalk traffic. Large items, such as potting soil and compost bags, are not appropriate.
- (h) The Director may permit departures from the specific standards if he/she determines that public benefit can be achieved in terms of the intent described above. The applicant must demonstrate that there is a compelling reason to depart from specific standards and that the departure will result in increased pedestrian activity and visual interest along the street.
- (3) **Non-Pedestrian-Oriented Street Design Principle.** Relate development to street fronts for streets that are not designated as pedestrian-oriented streets.
- All development on streets not designated as pedestrian-oriented streets shall include site planning measures to create an attractive street edge, accommodate pedestrian access, and support the applicable design objectives stated in the Comprehensive Plan. Developments must adhere to the following standards unless the Director determines that they prevent viable site development.
- (a) Developments must provide the following amenities near the sidewalk:

- (i) Physically define the street edge with building(s), landscaping, or other features as approved by the Director;
- (ii) Provide sufficient room for a sidewalk at least 8' wide if there is not space in the public right-of-way; and

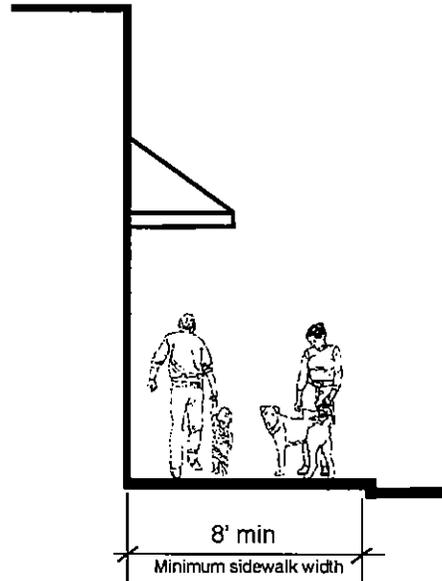


Figure 10. Provide sufficient room for a sidewalk at least 8' wide on streets that are not designated as Pedestrian-Oriented Streets.

- (iii) Provide direct access to building fronts from the sidewalk. Preferably, these areas should be separate from the parking lot. If access traverses the parking lot, then it should be raised and/or specially marked.
- (b) Buildings are encouraged to be located adjacent to the sidewalk. Such buildings must feature a pedestrian-oriented façade and weather protection at least 4'-6" wide along at least 75% of the building's front face. The weather protection may be in the form of awnings, marquees, canopies, or building overhangs (see Figures 2 and 3).
- (c) Developments should use the architectural elements of a building and landscaping to highlight and define the entrance, particularly where the entrance is set back off the street.

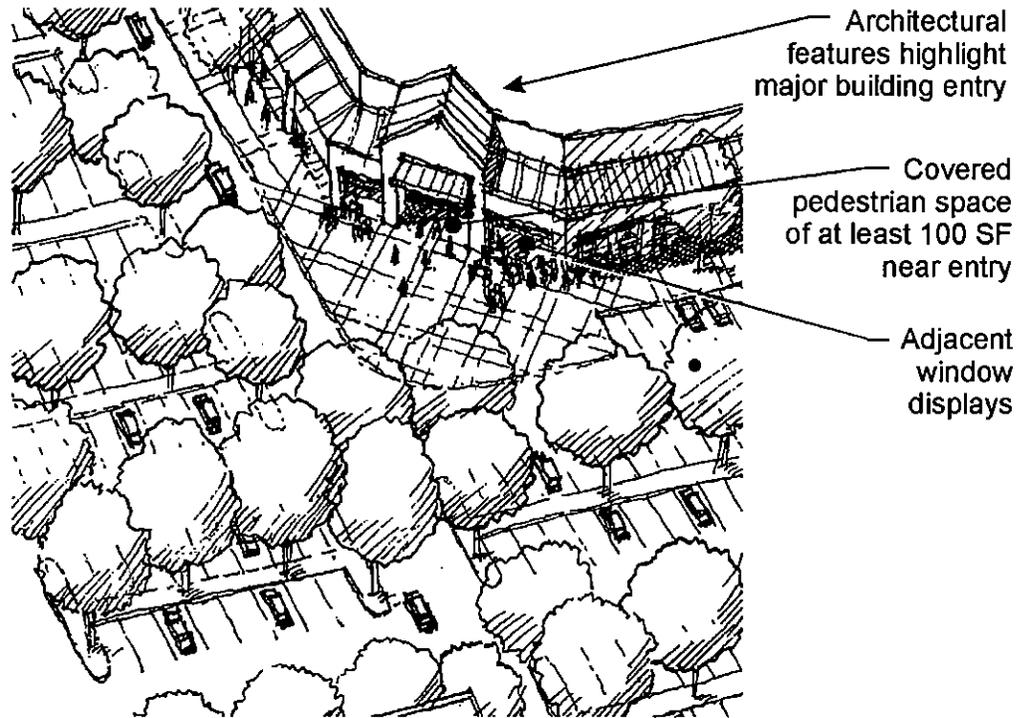


Figure 11. Provide highlighted building entries, particularly where the entry is not adjacent to a public street.

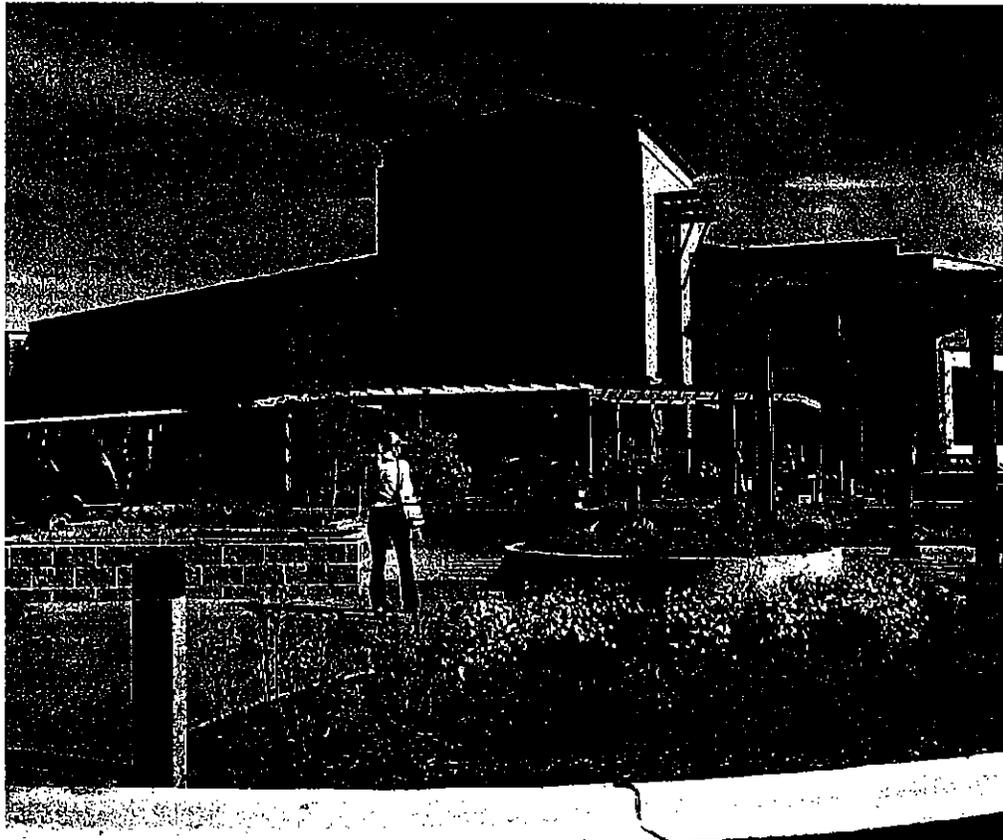


Figure 12. This building effectively uses architectural features, open space, and landscaping to highlight the entry.

21.14.380 Site Planning – Interior Yard Compatibility.

- (1) Intent. To provide functional and visual compatibility between adjacent properties.

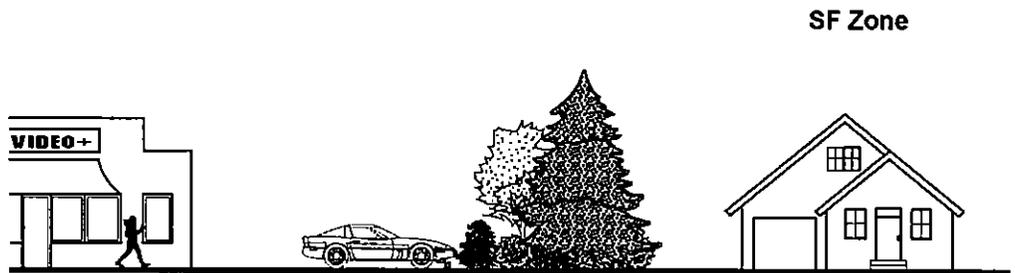


Figure 13. Provide landscape screening along property lines adjacent to incompatible uses.

- (2) Design Principle. Minimize visibility and impacts of service areas. Specifically:
 - (a) Landscape screening, buffers, or other forms of screening must be provided along property lines adjacent to “incompatible uses.” Incompatible uses include outdoor storage areas adjacent to any other use, service areas

adjacent to any other use, and commercial development adjacent to a residentially zoned or developed property.

- (i) Provide a landscaped buffer along interior lot lines per the requirements of WMC 21.16.060.
- (ii) New development shall provide enclosures for recyclable and garbage collection points per WMC 21.14.250 and WMC 21.14.400.
- (iii) Where outdoor storage is greater in size than 120 SF and abuts another commercial area or industrial use, 10' width of Type II landscaping shall be provided.
- (iv) Integrate outdoor storage areas and loading facilities into the site design to minimize their size, reduce visual impact, and where appropriate, allow for pedestrian and vehicular movement between site.

If changes in topography between the residentially zoned or developed property and adjacent property are great, modifications to some of the buffer options (above) may be allowed through the Director's approval. The Director may waive screening requirements if shared parking advantage and/or other landscaping is approved.

21.14.390 Site Planning – Multiple Building/Large Lot Developments.

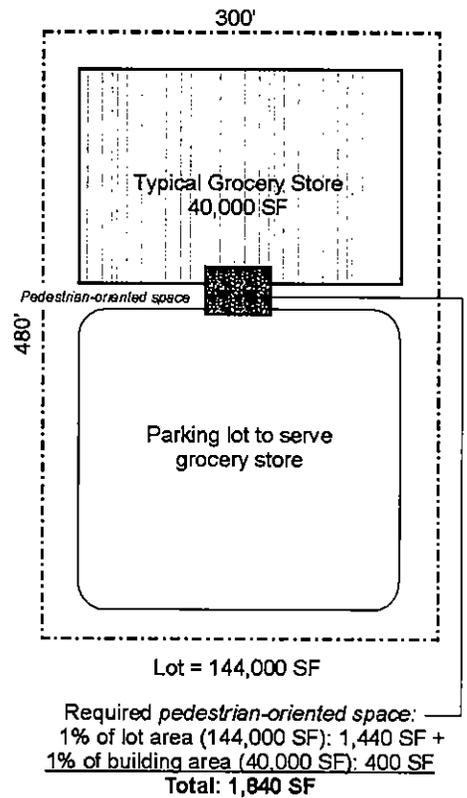
- (1) Intent. To encourage project designers to coordinate design standard requirements into an innovative organizational scheme, such as a “village green,” “small town grid,” “pedestrian square,” “perimeter walk,” etc., that integrates the new development into the existing/proposed structure and creates a pedestrian-oriented focus.

In addition to other requirements, the intent of multiple building/large lot development standards are:

- (a) To reduce negative impacts to adjacent properties;
 - (b) To take advantage of special opportunities to create a composition of buildings and landscape features;
 - (c) To enhance pedestrian and vehicular circulation;
 - (d) To encourage transit use;
 - (e) To provide usable open space;
 - (f) To create focal points for pedestrian activity for developments; and
 - (g) To enhance the visual character of the community.
- (2) Design Principle. Take advantage of special opportunities to mitigate impacts of multiple building and large developments (sites over 2 acres) through implementing measures such as the following:
 - (a) The site planning for all developments must demonstrate a unifying, organized design that:
 - (i) Incorporates open space and landscaping as a unifying element [see WMC 21.16 and WMC 21.14.850 Pedestrian Activity and Plazas];
 - (ii) Where possible, incorporates screening, environmental mitigation, utilities, and drainage as positive elements (ex: create a “natural” open space or wet pond as a site feature to accommodate surface water runoff); and
 - (iii) Provides pedestrian paths or walkways connecting all businesses and the entries of multiple buildings as required by WMC 21.18.100.8(1).
 - (b) Provide pedestrian paths from/to all transit stops through commercial areas to residential areas within 1,200’ of the site.
 - (c) Enhance transit stops by providing rider convenience and amenities such as weather protected seating, newspaper dispensers, postal boxes, automated teller machines (ATM), and small vendor spaces (i.e. cleaners, florist, etc., pursuant to WMC 21.08 Permitted Uses).

- (d) Integrate pedestrian accommodations for transit stops into the development of public and private streets, in addition to WMC 21.18.090.
- (e) Integrate on-site pedestrian circulation with adjoining right-of-way activity and development.
- (f) Provide on-site pedestrian-oriented space at the following ratio: 1% of applicable lot area plus 1% of non-residential floor area.

Figure 14. Illustrating how much pedestrian-oriented space would be required for a typical grocery store served by surface parking.



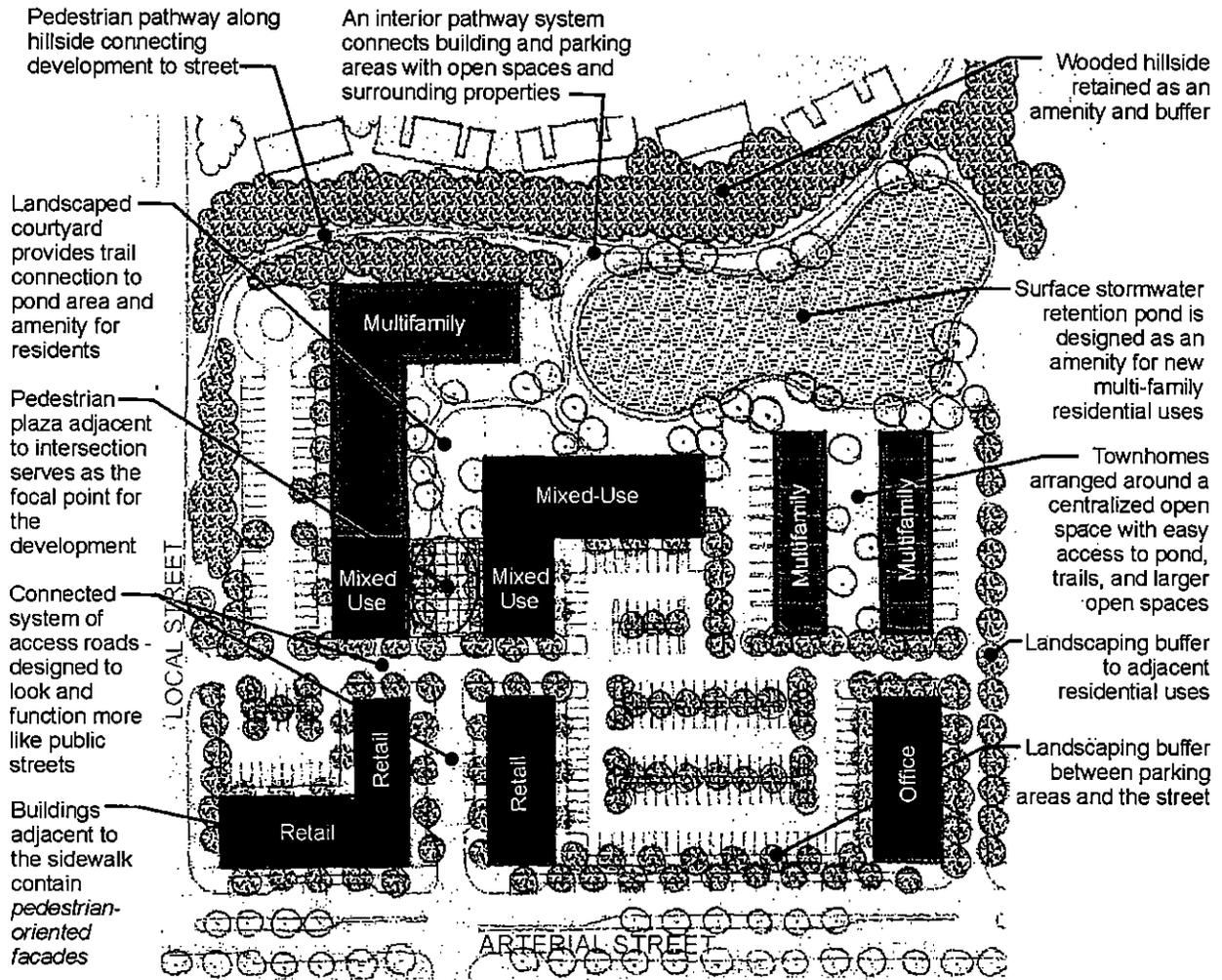


Figure 15. An example of a multiple building/large lot development that incorporates the implementation measures above.

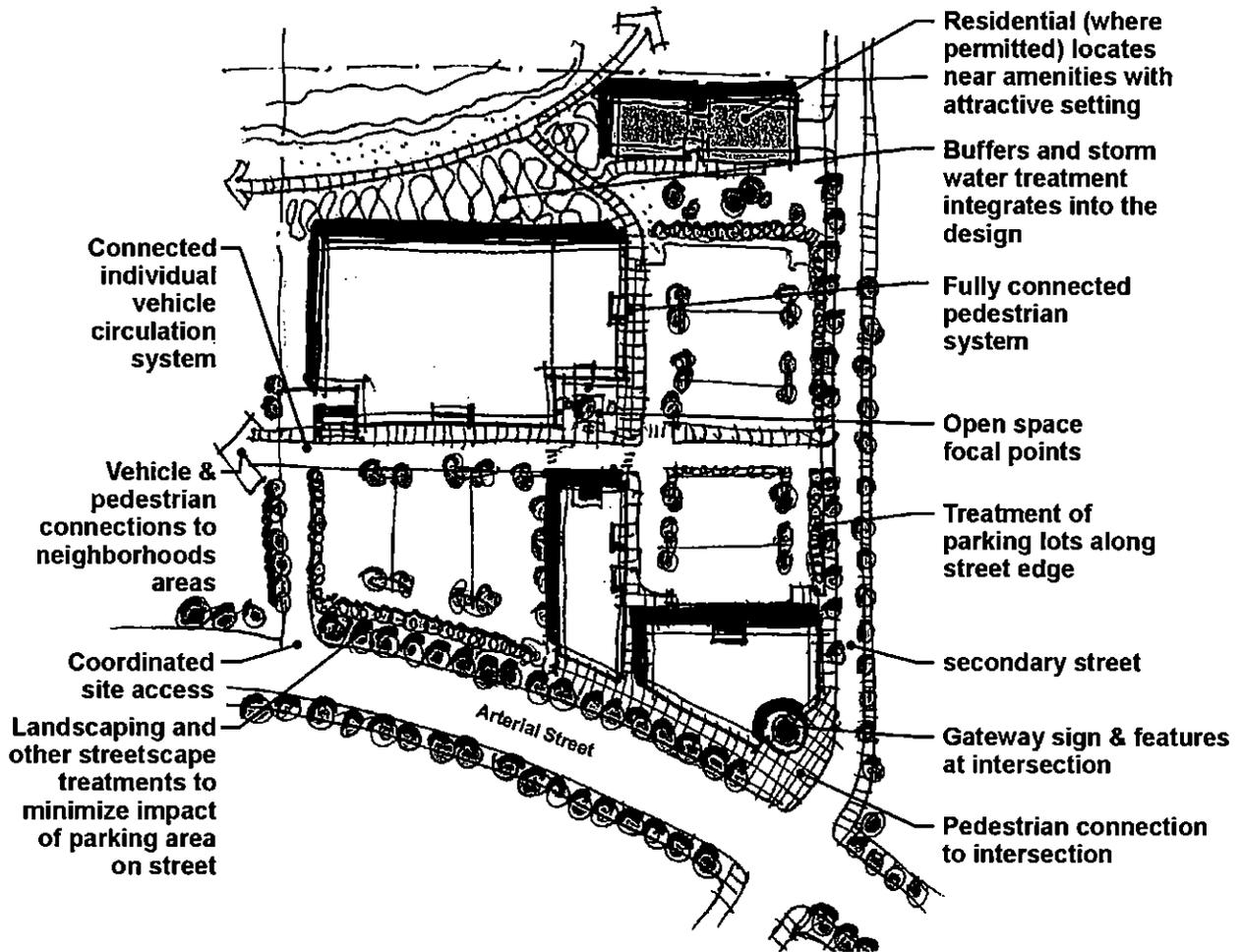


Figure 16. Another large site development example incorporating many of the implementation measures above.

21.14.400 Mechanical Equipment and Service Areas.

- (1) Intent.
 - (a) To minimize adverse visual, olfactory, or auditory impacts of mechanical equipment and service areas at ground and roof levels; and
 - (b) To encourage more thoughtful siting of trash containers and service areas.

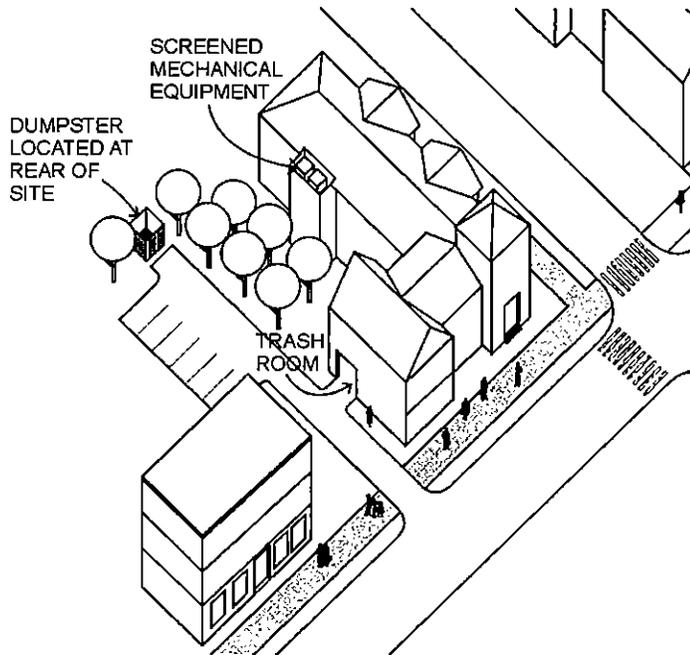


Figure 17. Locate service elements to reduce impacts on the pedestrian environment.

- (2) Design Principle. Reduce impacts of refuse containers and storage areas.
Implementation measures:
 - (a) Service areas (loading docks, trash dumpsters, compactors, mechanical equipment, and storage yards) should be located to avoid negative visual, auditory (noise), olfactory, or physical impacts on the street environment and adjacent residentially zoned or developed properties.
 - (b) Refuse containers are not to be visible from the sidewalk and adjacent properties. Acceptable screening treatments are described in WMC 21.14.250(4).

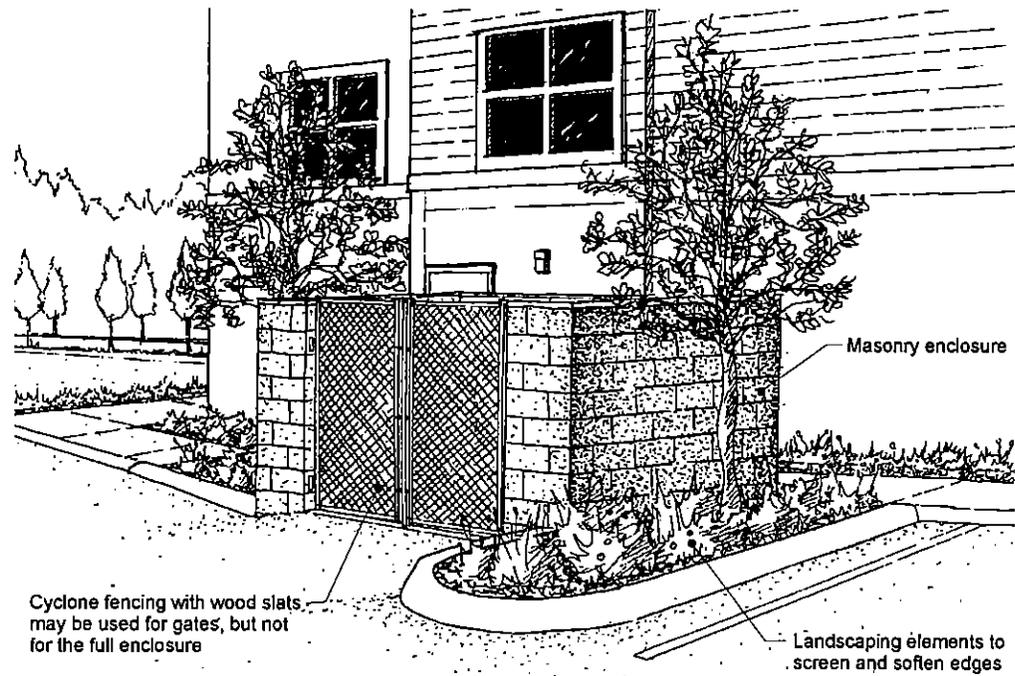


Figure 18. Service enclosure example.

- (c) Cyclone fencing with wood slats may be used for gates, but not for the enclosure.
- (d) Screened trash containers shall be a minimum of 44' from the wall of any structure where there is access to the structure for the public.
- (e) Mechanical equipment should be located and screened at ground level and attached to structures to reduce visual impacts from streets and adjoining properties.
- (f) Service areas should be located and screened to reduce adverse sensory impacts.
- (g) Roof mounted mechanical equipment should be located and screened so the equipment is not visible within 150' of the structure when viewed from the ground level of adjacent properties. Match the color of roof mounted equipment with the exposed color of the roof to minimize visual impacts when equipment is visible from higher elevations nearby.

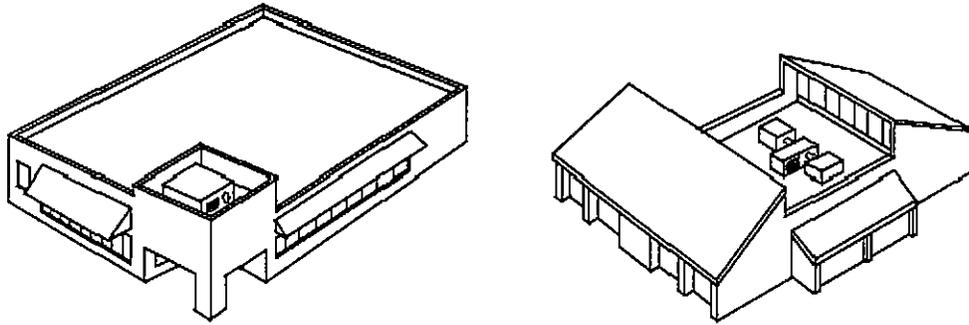


Figure 19. Examples of how to screen roof-mounted mechanical equipment.

- (h) Locate and screen utility meters, electrical conduit, and other service and utilities apparatus so as not to be visible from adjoining and nearby streets.

21.14.500 Biofiltration Swales.

- (1) Intent. To integrate grass swales, if used, into site design while maintaining biofiltration efficiency.
- (2) Design Principle. When used, integrate biofiltration swales and ponds into the overall site design. Methods of filtration are listed below in order of preference:
 - (a) Locate biofiltration swales, ponds, or other approved biofiltration systems as part of a landscape screen. Trees may be planted near the grass swale as long as they do not substantially shade the grass within the swale. The swale or pond should be designed so it does not impede pedestrian circulation or shared parking between two or more properties;
 - (b) Where topography is favorable, locate the biofiltration swale, wet pond, or other approved biofiltration system within the paved parking or service area. The swale or pond should be landscaped as part of the required internal parking lot landscaping and oriented so it does not impede pedestrian circulation;
 - (c) Locate the swale along the front edge of the property. Incorporate landscaping and screening to visually enhance the swale without reducing maintainability and sun exposure; or
 - (d) The incorporation of screening elements and/or landscaping into biofiltration swale designs is encouraged if the biofiltration swale is located and/or designed as a positive landscaping feature with approved design and plant materials. Where appropriate, shade tolerant plants should be used. It may be counted as part of the required site landscaping.

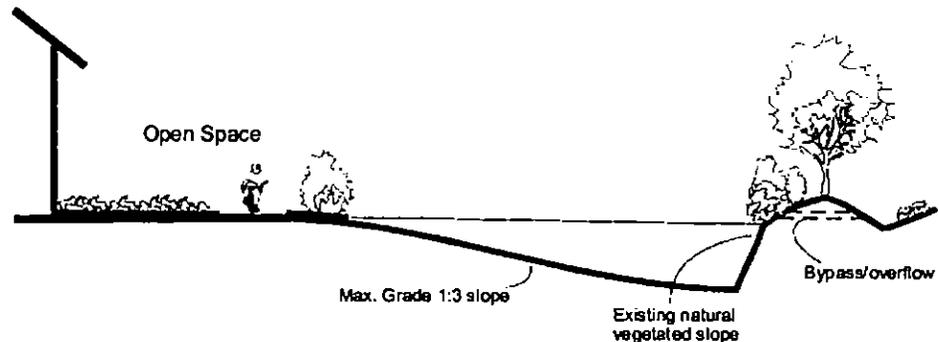


Figure 20. Biofiltration swale designed as an amenity.

21.14.600 Street Corners.

- (1) Intent.
 - (a) To create and preserve visual images for identification and spatial reference at street corners; and
 - (b) To enhance the pedestrian environment at street corners.
- (2) Design Principle. Enhance the visual quality of corners at the intersections of public streets. Implementing measures:
 - (a) All development proposals for street corner sites must include at least one of the design treatments described below (in order of preference):
 - (i) Locate a building towards the street corner (within 15' of corner property line);
 - (ii) Provide pedestrian-oriented space at the corner leading directly to a building entry or entries;



Figure 21. This example includes both a building located towards the street corner and a small pedestrian-oriented space.



Figure 22. Street corner building example.

If (i) or (ii) are not feasible per the Director, consider the following options:

- (iii) Install substantial landscaping (at least 30' by 30' or 900 SF of ground surface area with trees, shrubs, and or ground cover). The space may include a special architectural element, such as a trellis, to add identity or demarcation of the area. Such an architectural element may have a sign incorporated into it (as long as such sign does not identify an individual business or businesses);

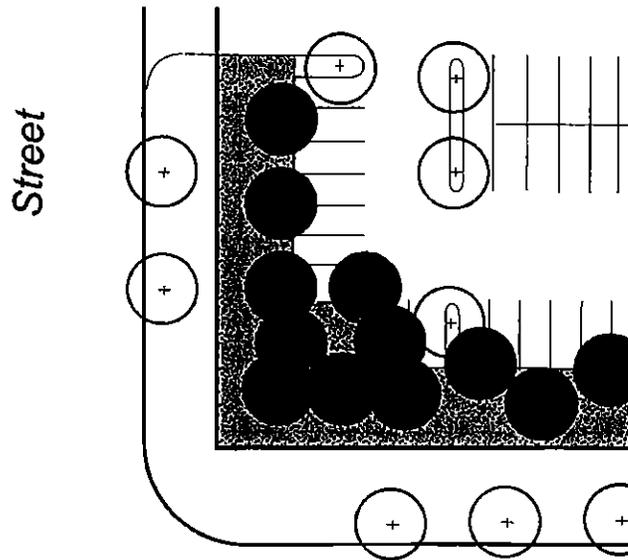


Figure 23. Substantial landscaping (at least 30' by 30' or 900 SF adjacent to the street corner).

- (iv) Install a decorative screen wall (at least 2'-6" high), a trellis, or other continuous architectural element, with a length of at least 20' along the front property line. Height and location of elements are not to create a visibility or security problem; or

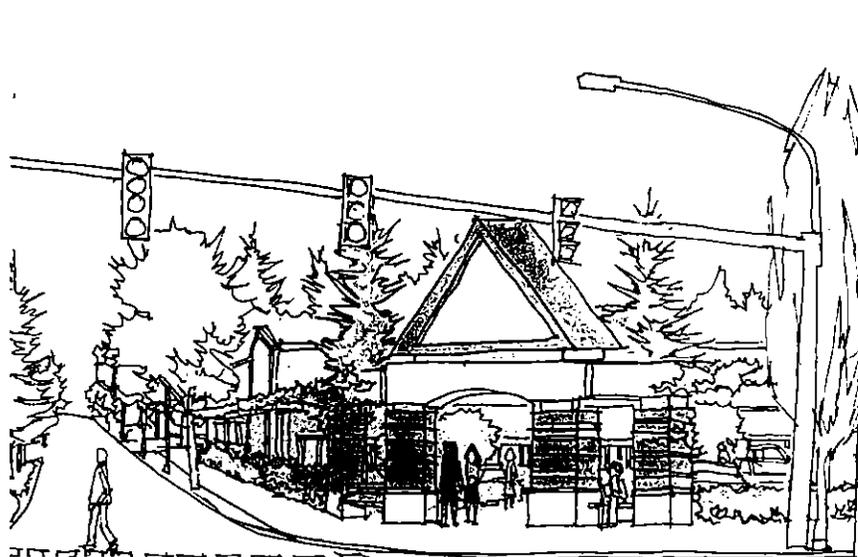


Figure 24. Decorative architectural element adjacent to the street corner.



Figure 25. This street corner successfully combines landscaping with architectural elements. Signage demarcates the area, not an individual store.

- (v) Other element or method would be considered for approval if the proposed element or method conforms with the intent of this section as determined by the Director.
- (b) Parking lots may not be located adjacent to street corners where one or both streets are designated pedestrian-oriented streets. The Director may make exceptions where lots are surrounded by three or more pedestrian-oriented streets or where other more desirable development configurations are possible without strict enforcement of this standard.

21.14.700 Site Lighting.

- (1) Intent.
 - (a) To encourage the use of lighting as an integral design component to enhance buildings, landscaping, or other site features;
 - (b) To encourage night sky visibility and to reduce the general illumination of the sky in Woodinville;
 - (c) To reduce horizontal light glare and vertical light trespass from a development onto adjacent parcels and natural features;
 - (d) To encourage the judicious use of lighting in conjunction with other security methods to increase site safety; and
 - (e) To discourage the use of lighting for advertising purposes.
- (2) Design Principle. Provide adequate lighting levels in all areas used by pedestrians or automobiles, including building entries, walkways, parking areas, circulation areas, and other open space areas.

New developments shall provide site lighting that meets the following design criteria through implementing measures such as:

- (a) All public areas shall be lighted with average minimum and maximum levels as follows:
 - (i) Minimum (for low or non-pedestrian and vehicular traffic areas) of 0.5 foot candles;
 - (ii) Moderate (for moderate or high volume pedestrian areas) of 1-2 foot candles; and
 - (iii) Maximum (for high volume pedestrian areas and building entries) of 4 foot candles.
- (b) Lighting shall be provided at consistent levels, with gradual transitions between maximum and minimum levels of lighting and between lit areas and unlit areas. Highly contrasting pools of light and dark areas shall be avoided.
- (c) Parking lot lighting fixtures shall be non-glare and mounted no more than 25' above the ground, with lower fixtures preferable so as to maintain a human scale. Requests for higher lighting fixtures may be considered with the approval of the Director. All fixtures over 15' in height shall be fitted with a full cut-off shield.

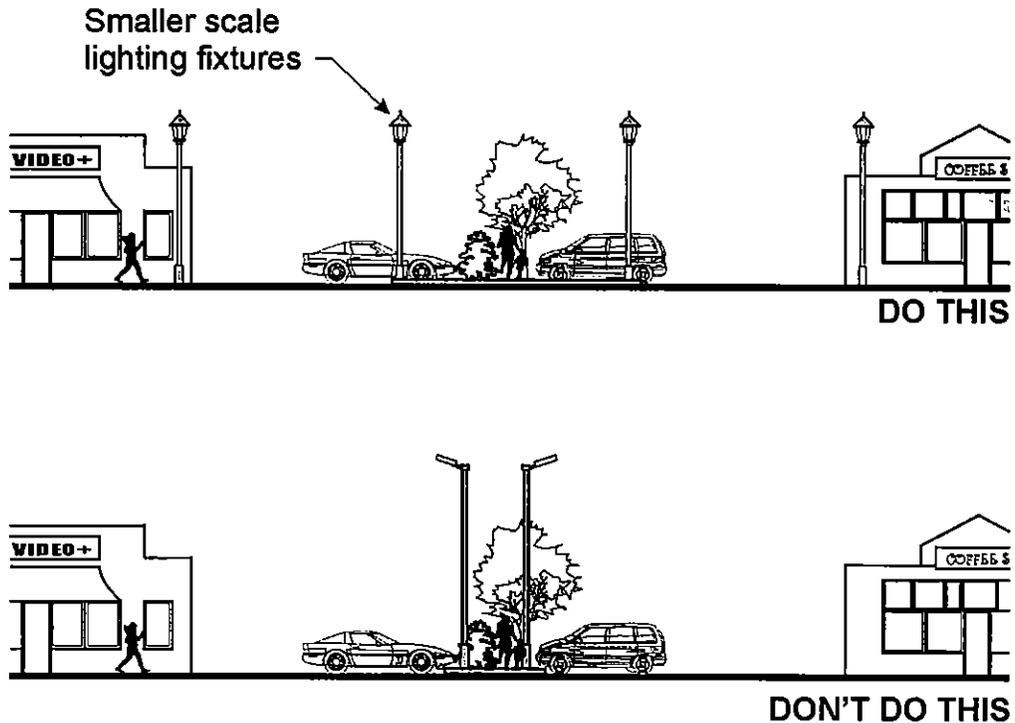


Figure 26. Acceptable and unacceptable parking lot lighting.

- (d) Pedestrian-scaled lighting (light fixtures no taller than 15') is encouraged in areas of pedestrian activity. Lighting shall enable pedestrians to identify a face 45' away in order to promote safety.
- (e) Lighting should not be permitted to trespass onto adjacent private parcels nor shall light source (luminaire) be visible at the property line. All building lights shall be directed onto the building itself and/or the ground immediately adjacent to it. The light emissions should not be visible above the roofline of the building. Light fixtures other than traditional cobra heads are encouraged.

21.14.710 Site Landscaping

(1) Intent

(a) To encourage the abundant use of gardens and other landscaping in site and development design to improve site aesthetics, enhance the pedestrian experience, and increase the uniqueness of Woodinville.

(2) Design Principle. All developments shall comply with the provisions of WMC 21.16 Tree Retention and Landscaping, and demonstrate in their development plans how they meet the Intent.



Figure 27. Molbak's landscaping elements are a major character defining element of Woodinville's downtown.



Figure 28. Much of the charm of Willows Lodge is from the colorful and diverse landscape.

Other implementing measures:

- (a) Townhomes and all other multi-family dwelling units with private exterior ground floor entries must provide at least 20 square feet of *landscaping* adjacent to the entry. This is particularly important for units where the primary entrance is next to private garages off of an interior access road. Such *landscaping* areas soften the appearance of the building and highlight individual entries. Figure 29 below illustrates one example without *landscaping* and two that would meet the standard. Also see Figure 30 on the following page.



Figure 29. Image "A" is an example where there is no landscaping near the entry. Images "B" and "C" are more desirable examples with individual planting strips that soften the buildings, highlight the individual entries, and help to deemphasize the garages.



Figure 30. Another good example. These units face the street and contain their required landscaping in the front yard. Garages are off an alley, where in this case, landscaping would not be required.

21.14.800 General Pedestrian Access Requirements.

- (1) Intent.
 - (a) In keeping with the City's commitment to pedestrians, priority treatment is given to pedestrian accommodations in the design of transportation modes for on-site developments using City street standards;
 - (b) To improve the pedestrian environment by making it easier, safer, and more comfortable to walk between businesses, on street sidewalks, to transit stops, and through parking lots;
 - (c) Pedestrian facilities such as sidewalks, crosswalks, and bus shelters should connect all modes of transportation; and
 - (d) To provide convenient pedestrian circulation connecting all on-site activities to adjacent pedestrian routes and streets.
- (2) Design Principle. Provide safe convenient pedestrian circulation for all users. Specifically:
 - (a) Provide pedestrian access onto the site from the main street off of which the use is located. Where a use fronts two streets, access shall be provided from the road closest to the main entrance, but preferably from both streets.

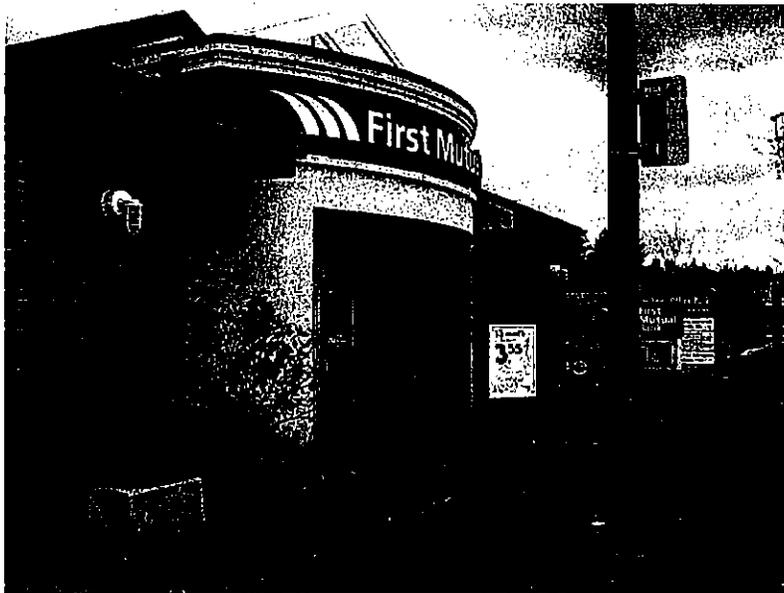


Figure 31. Provide pedestrian access to the site from the street.

- (b) Provide pedestrian access in accordance with WMC 21.18.100 Pedestrian Circulation and Access, unless otherwise directed by these design standards.
- (c) Access shall conform with Federal, State and local codes for the Americans with Disabilities Act.

- (d) Provide safe, convenient, on-site pedestrian circulation.
 - (i) Provide paved pedestrian path(s) from the street sidewalk to the main entry of all buildings.
 - (ii) Buildings with entries not facing the street shall have a clear and obvious pedestrian accessway from the street sidewalk to the entry.
- (e) Developments should adapt building access to site conditions for level, convenient, clearly identified pedestrian entry.

21.14.810 Pathways Through Parking Lots.

(1) Intent.

- (a) To provide safe and convenient pedestrian paths from the street sidewalk through parking lots to building entries in order to encourage pleasant walking experiences between businesses; and
- (b) To provide an inviting, pleasant pedestrian circulation system that integrates with parking and serves as access to nearby businesses.

(2) Design Principle. Provide pathways through parking lots. Specifically:

- (a) Developments must provide specially marked or paved walkways through parking lots in accordance with WMC 21.18.100. Generally, walkways should be provided every four rows and a maximum distance of 150' shall be maintained between paths. Where possible, align the pathways to connect with major building entries or other destinations.

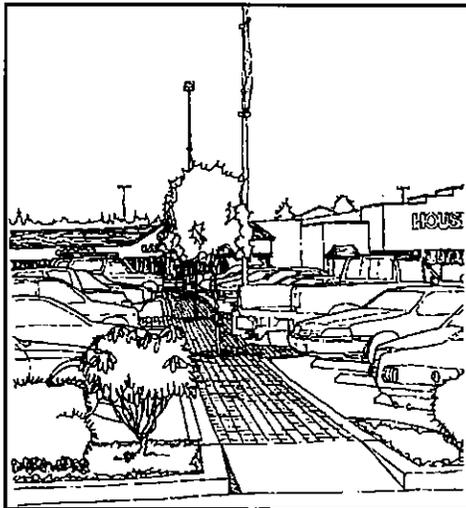


Figure 32. Parking lot pathway examples.

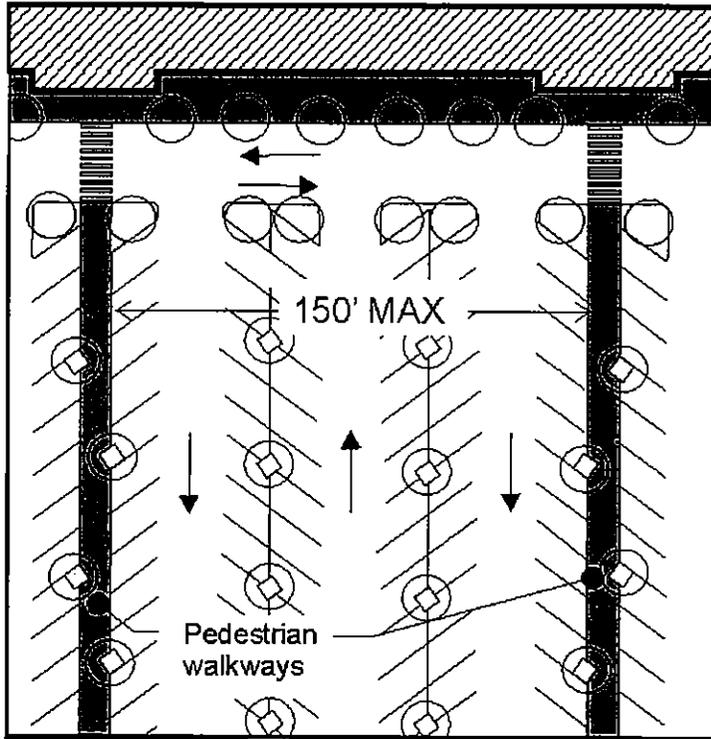
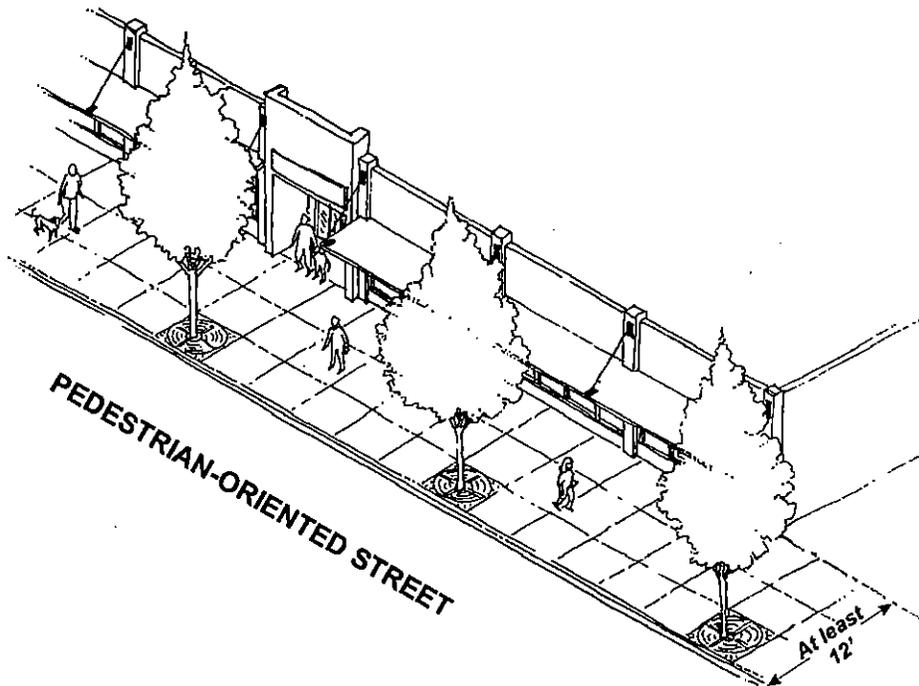


Figure 33. Parking lot pathway configuration.

- (b) Integrate on-site walkways with required parking lot *landscaping*.

21.14.820 Sidewalks - Size and Materials.

- (1) Intent.
 - (a) To provide safe, convenient and pleasant pedestrian sidewalks for circulation along all streets; and
 - (b) To improve the character and identity of commercial areas consistent with the City's Comprehensive Plan vision.
- (2) Design Principle. Utilize appropriate sidewalk widths, materials, designs, and construction standards to enhance pedestrian access and complement city life. Specifically:
 - (a) Required minimum sidewalk widths along both sides of streets:
 - (i) 12' along pedestrian-oriented streets; and
 - (ii) 8' along streets not designated as a pedestrian-oriented street.



- (b) Sidewalks must be constructed per Woodinville Public Infrastructure Standards and Specifications unless otherwise directed by these design standards.



Figure 35. An example sidewalk for a pedestrian-oriented street. Note the street trees and pedestrian-style lighting.

- (c) The sidewalk materials, colors, and textures shall be determined by the Director, based on the following:
 - (i) Adopted street improvement plans, where applicable;
 - (ii) Goals and policies of the Comprehensive Plan and adopted sub-area plans, where applicable; and
 - (iii) Sidewalk improvements on the subject property or adjacent sites, when desirable.



Figure 36. This decorative sidewalk pavement adds visual interest and character to the street. Where distinctive sidewalk patterns have been established, new development may be required to extend the pattern onto the project site.

- (d) The Director may require street trees to be placed within grates near the curb edge similar to the images in Figures 34-36.
- (e) If the City has a programmed street improvement for the public right-of-way in front of a building to be constructed, the required 12' minimum width shall be measured from the proposed back of the curb location and may include public right-of-way and private property. Upper building stories may extend to the front property lines as long as they do not restrict pedestrian traffic. All new fences, screen walls, and other obstructions to pedestrian traffic shall also be set back 12' from the back of the curb if located on a pedestrian-oriented street.



Figure 37. Planting strips are desirable along streets where there is no on-street parking.

21.14.830 Pedestrian Amenities.

(1) Intent.

- (a) To provide pedestrian spaces that include accommodations for seasonal climate conditions for a variety of activities;
- (b) To provide amenities along sidewalks and pathways that enrich the pedestrian environment; and
- (c) To encourage walking, both as a recreational activity and as a means of transportation.

(2) Design Principle. Provide pedestrian weather protection in public spaces such as transit stops, building entries, along display windows, and over outdoor dining areas. Specifically:

- (a) Weather protection at least 5' deep is required over all primary building, individual business, and individual residence entries. This may include a recessed entry, canopy, porch, marquee, or building overhang.



Figure 38. Provide weather protection over building entries.

- (b) All buildings located along *pedestrian-oriented streets* must comply with the standards and guidelines related to weather protection in WMC 21.14.371(2)(c).

(c) Canopies, awnings, or other similar weather protection features shall not be higher than 15' above the ground elevation at the highest point or lower than 8' at the lowest point. The street-side edge of the canopy or awning shall be at least 8' above the walking surface.

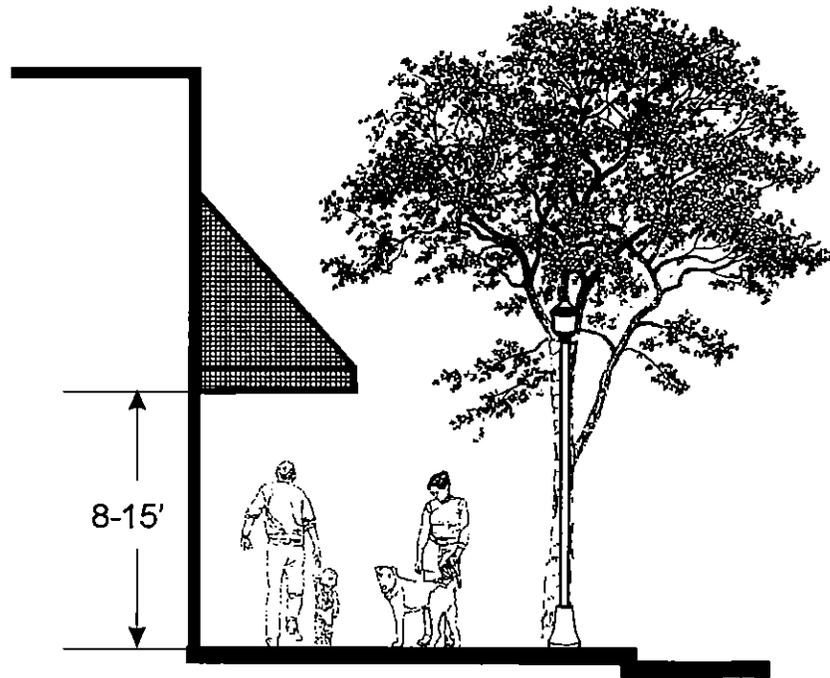


Figure 39. Height standards for weather protection features.

(d) The color, material, and configuration of the pedestrian coverings shall be as approved by the Director. Coverings with visible corrugated metal or corrugated fiberglass are not permitted unless approved by the Director. Fabric and rigid metal awnings are acceptable if they meet the applicable standards. All lettering, color and graphics on pedestrian coverings must conform to the City's Sign Code (see WMC 21.20 Development Standards - Signs).

- (e) Multi-tenant retail buildings are encouraged to use a variety of weather protection features to emphasize individual storefronts and reduce the *architectural scale of the building*. Figure 40 provides an unacceptable and better example.

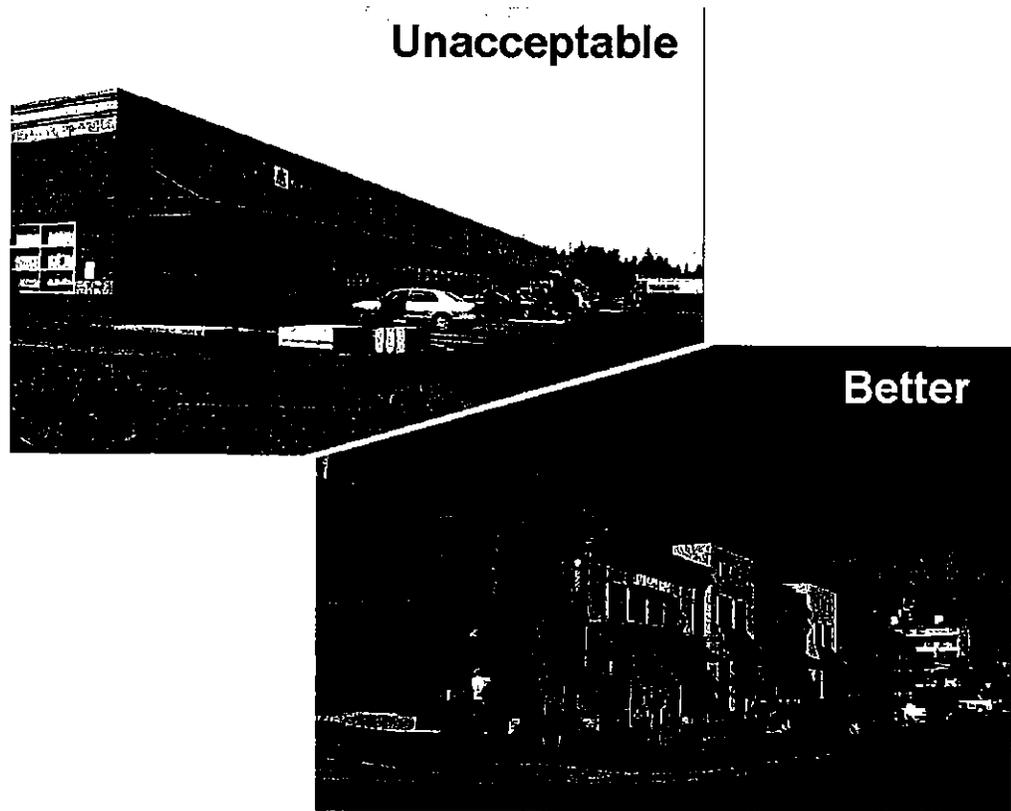


Figure 40. The continuous canopy on top is monotonous and deemphasizes individual storefronts. The bottom example provides a variety of weather protection features and represents a more desirable example.

- (f) Pedestrian amenities must be included along all pedestrian-oriented streets. Specifically, one or more of the desired amenities listed below must be included for each 100 lineal feet of street frontage. For multi-story buildings, two different types of amenity features are required for each 100 lineal feet of street frontage. The type, location, and design of chosen amenities must contribute to a well-balanced mix of features on the street, as determined by the Director. Desired amenities include (see Figure 41 for examples):
- (i) Pedestrian-scaled lighting (placed between 12'-14' above the ground);
 - (ii) Pedestrian furniture, such as seating space, approved trash receptacles, consolidated newspaper racks, bicycle racks, and drinking fountains. Seating areas and trash receptacles are particularly important where there is expected to be a concentration

of pedestrian activity (such as near major building entrances and transit stops) and may be required by the Director;

- (iii) Planting beds, hanging flower baskets, and/or large semi-permanent potted plants;
- (iv) Decorative pavement patterns and tree grates;
- (v) Informational kiosks;
- (vi) Transit shelters;
- (vii) Decorative clocks;
- (viii) Artwork; and
- (ix) Other amenities that meet the Intent.

Features above that are publicly funded, already required by code, and/or obstruct pedestrian movement will not qualify as an amenity to meet this standard.

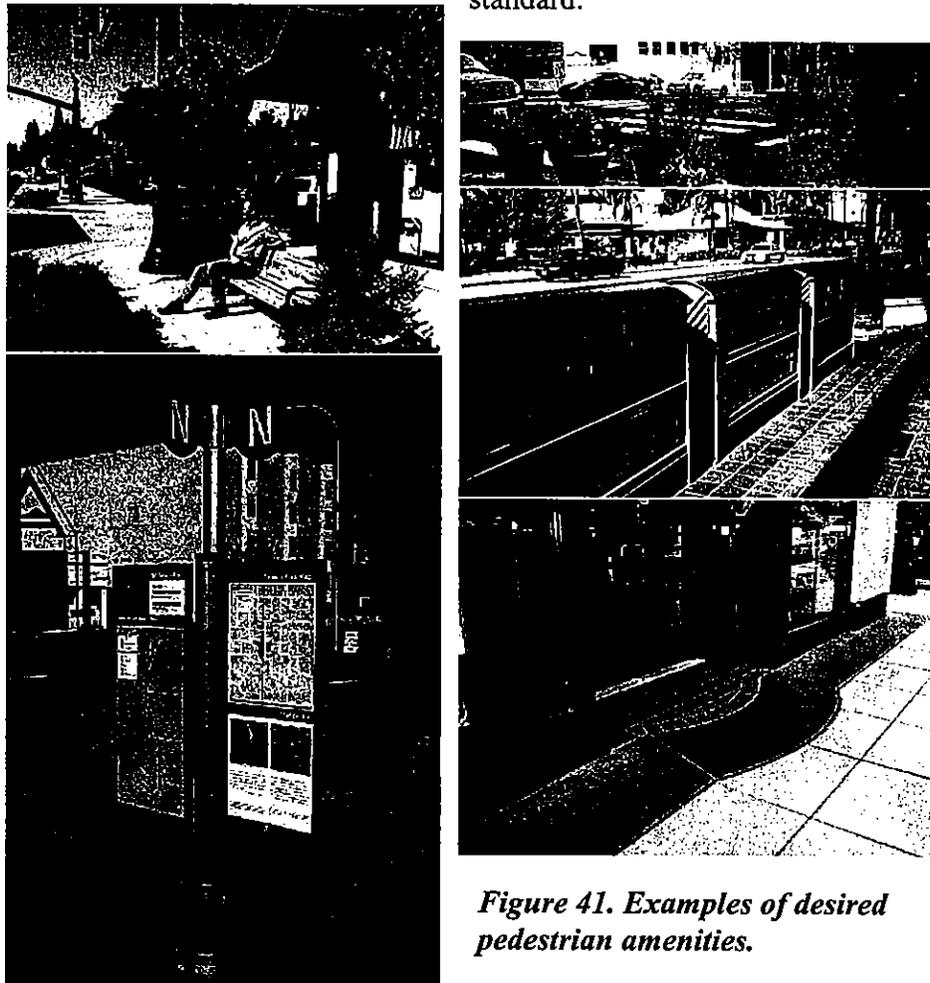


Figure 41. Examples of desired pedestrian amenities.

(g) Secondary Public Access. Whereas these design standards require businesses on a pedestrian-oriented street within the CBD to front on streets rather than parking lots, a large number of customers use the “secondary” entry off of the parking lot. Such businesses that have secondary public access shall comply with the following measures to enhance secondary public access (applies only to entries used by the public):

- (i) Weather protection at least 3’ deep is required over each secondary entry.
- (ii) A sign may be applied to the awning provided that the sign complies with WMC 21.20.110(10); awning signs on the building are similar in mounting, location, configuration, materials, and construction; and the sign area does not exceed 4.5 SF as measured under WMC 21.20.110(10)(a).
- (iii) Two or more of the following design elements must be incorporated within or adjacent to the secondary entry:
 - 1) A transparent window or door to allow visibility into the business;
 - 2) A landscaping bed, planter box, or trellis incorporating landscaping adjacent to the entry;
 - 3) Decorative architectural treatments that add visual interest to the entry;
 - 4) Outdoor dining area or pedestrian-oriented space;
 - 5) Decorative lighting;
 - 6) Other design elements that meet the Intent per the Director; or
 - 7) Plant containers (planters) that allow for a minimum 4’ passage on walks serving the public access. Planters shall be maintained with viable plant materials or removed.

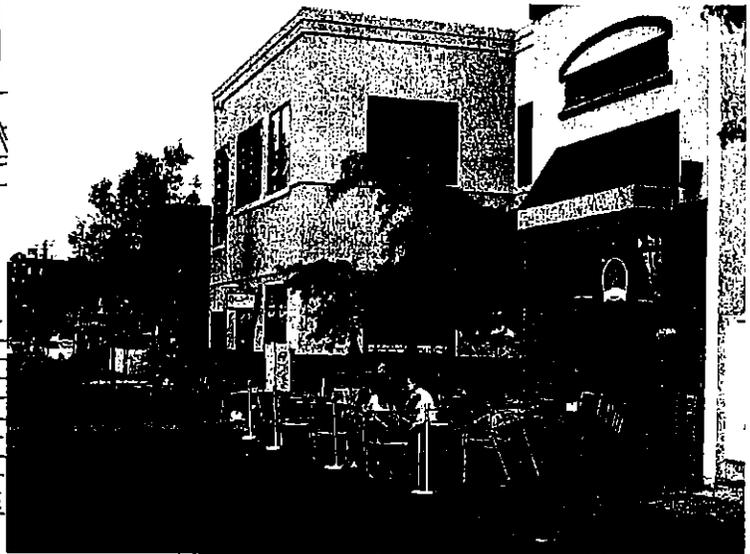


Figure 42. Examples of secondary public access. Note the planters, window sign, and awning.

21.14.840 Internal Pedestrian Paths and Circulation.

- (1) Intent.
 - (a) To provide safe and direct pedestrian access in commercial areas to accommodate pedestrian movement patterns, to minimize conflicts between pedestrians and vehicular traffic, and to provide pedestrian connections to neighborhoods;
 - (b) To provide safe routes for the pedestrian and disabled person across parking, to entries, and between buildings;
 - (c) To accommodate non-competitive/non-commuter bicycle riders who use bicycles on short trips for exercise and convenience;
 - (d) To provide attractive internal pedestrian routes that promote walking and enhance the character of the area;
 - (e) To provide a network of pedestrian pathways that can be expanded over time; and
 - (f) To encourage pedestrian amenities along pathways, such as artwork, landscaping elements, and architectural details.
- (2) Design Principle. Provide safe and direct access in commercial areas for all users. Specifically:
 - (a) Provide pedestrian circulation routes in accordance with WMC 21.18.100 from building entries of businesses to:
 - (i) Services within the same development;
 - (ii) Building entries of nearby residential complexes; and
 - (iii) Sidewalks along abutting roadways.

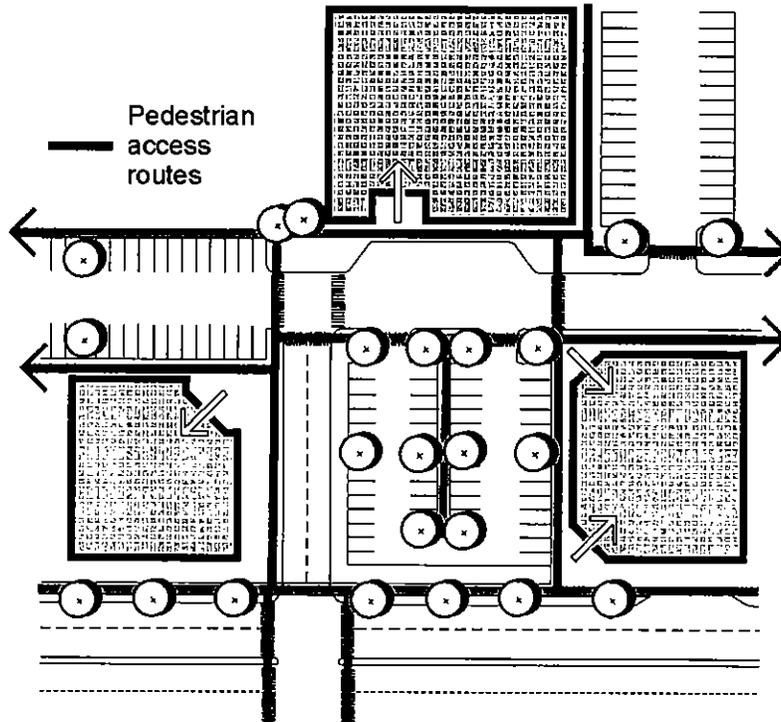


Figure 43. This development provides clear pedestrian connections from the street, between buildings, through parking lots, and to adjacent uses.

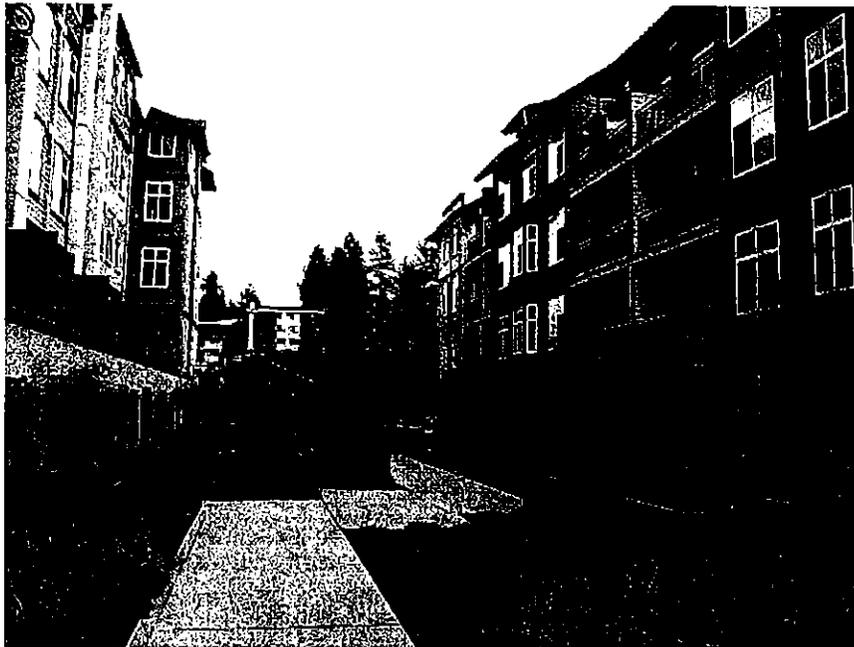


Figure 44. An example of an attractive pedestrian connection through a large development.

- (b) Where possible, provide steps and ramps across retaining walls and slopes in accordance with WMC 21.18.100.

- (c) Fences shall provide for pedestrian access by gates to shopping and other common activities, especially to transit.
- (d) When abutting vacant sites or properties with the potential for redevelopment, new developments shall provide for the opportunity for future pedestrian connections per the Director through the use of pathway stub-outs, building configuration, and/or parking lot layout.
- (e) Adjacent landscaping shall not block visibility to and from a path, especially where it approaches a roadway or driveway according to WMC 21.12.200.
- (f) Pedestrian walks shall be separated from structures at least 3' for landscaping except where the adjacent building features a pedestrian-oriented façade. The Director will consider other treatments to provide attractive pathways. Examples include sculptural, mosaic, bas-relief artwork, or other decorative treatments that meet the Intent (Figure 46 provides one example).

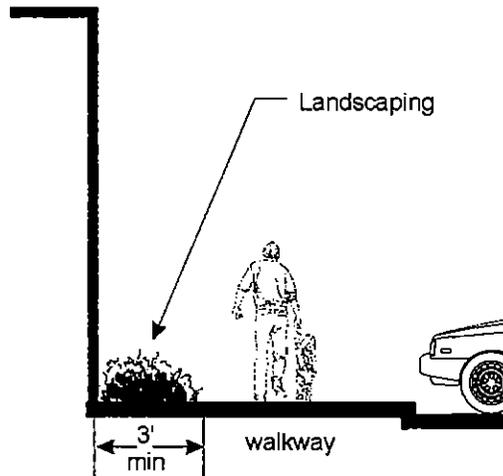


Figure 45. Provide landscaping between walkways and structures.

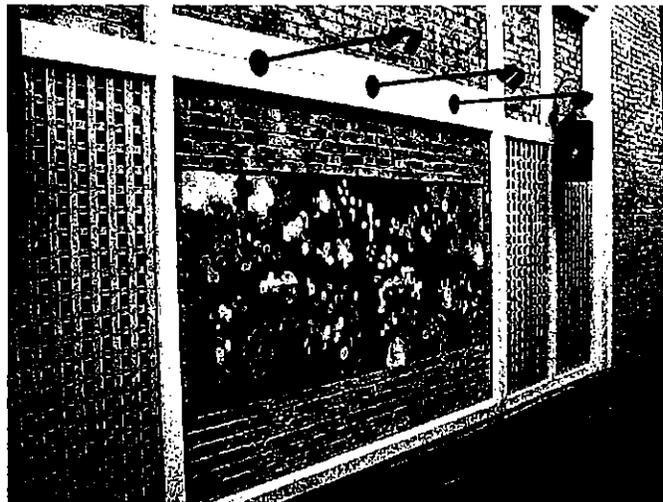


Figure 46. Wall treatment to provide interest along a walkway.

- (3) Design Principle. Provide wide pathways adjacent to the façades of retail and mixed-use buildings where they are not adjacent to the street. Specifically:
- (a) Pathways along the façade of mixed-use and retail buildings 100' or more in length (measured along the façade) that are not located adjacent to a street must be at least 12' wide with 8' minimum unobstructed width and include the following:
 - (i) Street trees, as approved by the Director, should be placed at an average of 30' on-center and placed in grates. Breaks in the tree coverage will be allowed near major building entries to enhance visibility. However, no less than 1 tree per 60 lineal feet of building façade must be provided;
 - (ii) Planting strips may be used between any vehicle access or parking area and the pathway, provided that the required trees are included and the pathway is at least 8' in width and the combined pathway and planting strip is at least 15' in width; and
 - (iii) Pedestrian-scaled lighting may be used as a substitute to the required street trees subject to Director approval, provided they are used at the same intervals.

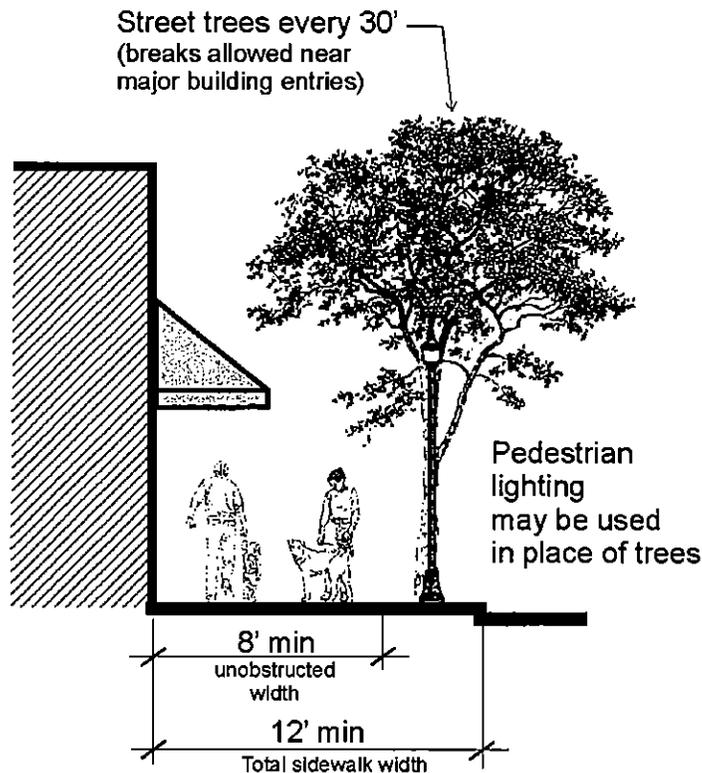


Figure 47. Pathway standards when adjacent to the façade of a mixed-use or retail building 100' or more in length.

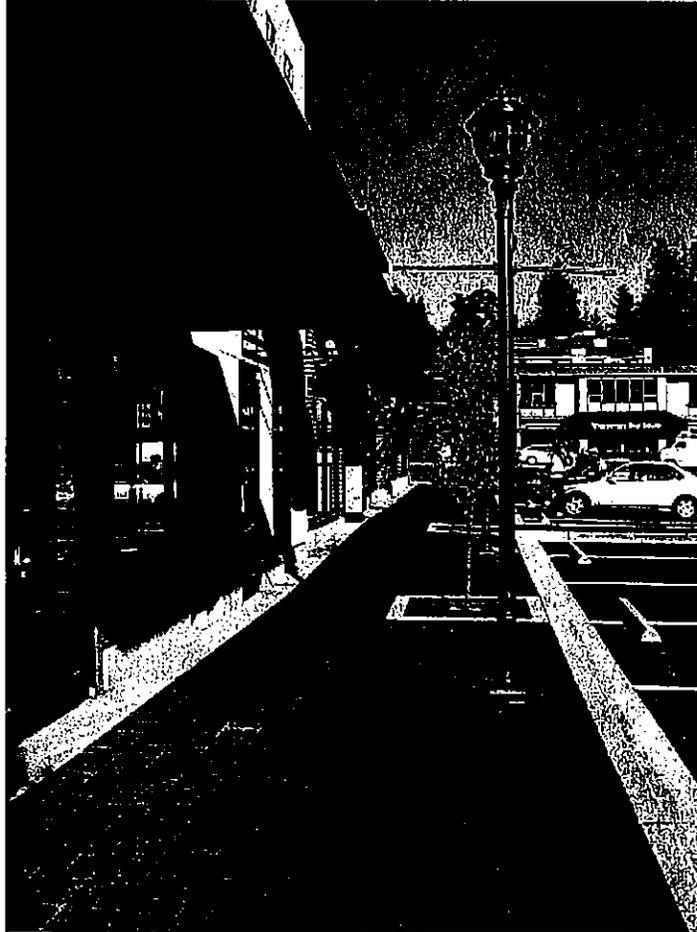


Figure 48. This off-street multi-tenant retail building incorporates wide walkways with street trees and pedestrian lighting. As a result, it looks more like a traditional city sidewalk rather than a utilitarian strip mall walkway.

- (b) For all other interior pathways, the applicant must demonstrate to the Director's satisfaction that the proposed walkway is of sufficient width to accommodate the anticipated number of users. For example, a 10'-12' pathway can accommodate groups of persons walking four abreast, or two couples passing one another. An 8' pathway will accommodate three persons walking abreast, while a 5' pathway will allow two individuals to pass comfortably.

21.14.850 Pedestrian Activity and Plazas.

(1) Intent.

- (a) To provide a variety of pedestrian areas to accommodate shoppers on designated pedestrian-oriented streets; and
- (b) To provide safe, attractive, and usable open spaces that promote pedestrian activity.

(2) Design Principle. Provide pedestrian-oriented open space at key locations.

A Pedestrian-Oriented Space is an area that promotes pedestrian activity, subject to the following:

A Pedestrian-Oriented Space must have:

- Visual and pedestrian access (including handicapped access) into the site from a street, private access road, or non-vehicular courtyard;
- Paved walking surfaces of either concrete or approved unit paving;
- On-site or building-mounted lighting (fixtures no taller than 15') providing at least 4 foot candles (average) on the ground;
- Spaces must be positioned in areas with significant pedestrian traffic to provide interest and security, such as adjacent to a building entry; and
- Landscaping components that add visual interest and do not act as a visual barrier. This could include planting beds, potted plants, or both.

A Pedestrian-Oriented Space is encouraged to have:

- Pedestrian amenities, such as a water feature, site furniture, artwork, drinking fountains, kiosks, etc;
- At least 2' of seating area (a bench or ledge at least 16" deep and appropriate seating height) or one individual seat per 60 SF of plaza area or open space;
- Adjacent buildings with transparent window and doors covering 75% of the façade between 2' and 8' above the ground level;
- Consideration of the sun angle at noon and the wind pattern in the design of the space; and
- Transitional zones along building edges to allow for outdoor seating areas and a planted buffer.

A Pedestrian-Oriented Space shall not have:

- Asphalt or gravel pavement;
- Adjacent non-buffered parking lots or service areas;
- Adjacent chain-link fences;
- Adjacent "blank walls" without "blank wall treatment"; and

- Outdoor storage or retail sales that do not contribute to the pedestrian-oriented environment.

Implementing actions:

- Minimum required pathway areas do not qualify as pedestrian-oriented space. However, if pathway widths are widened and the applicable area meets the definition of pedestrian-oriented space, then that area shall qualify as pedestrian-oriented space.
- See WMC 21.14.371(2)(b) for frontage treatment options along pedestrian-oriented streets.
- See WMC 21.14.390 for pedestrian-oriented space requirements for Multiple Building and Large Lot Developments.

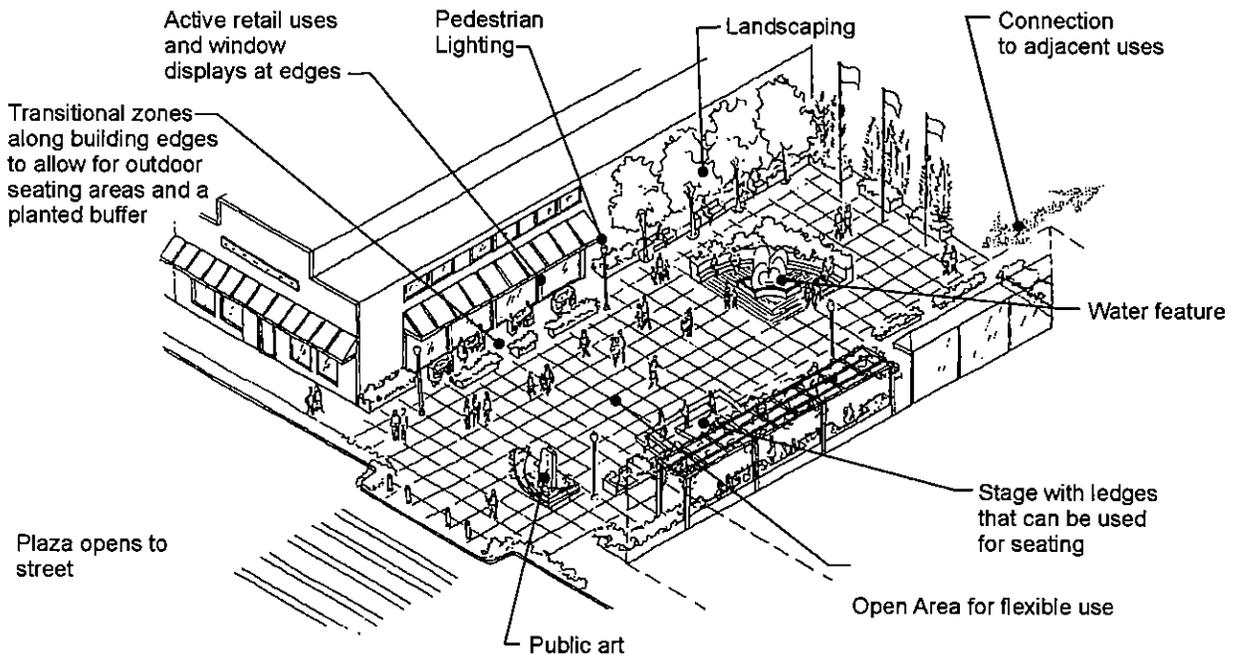


Figure 49. Example of a large pedestrian-oriented space.

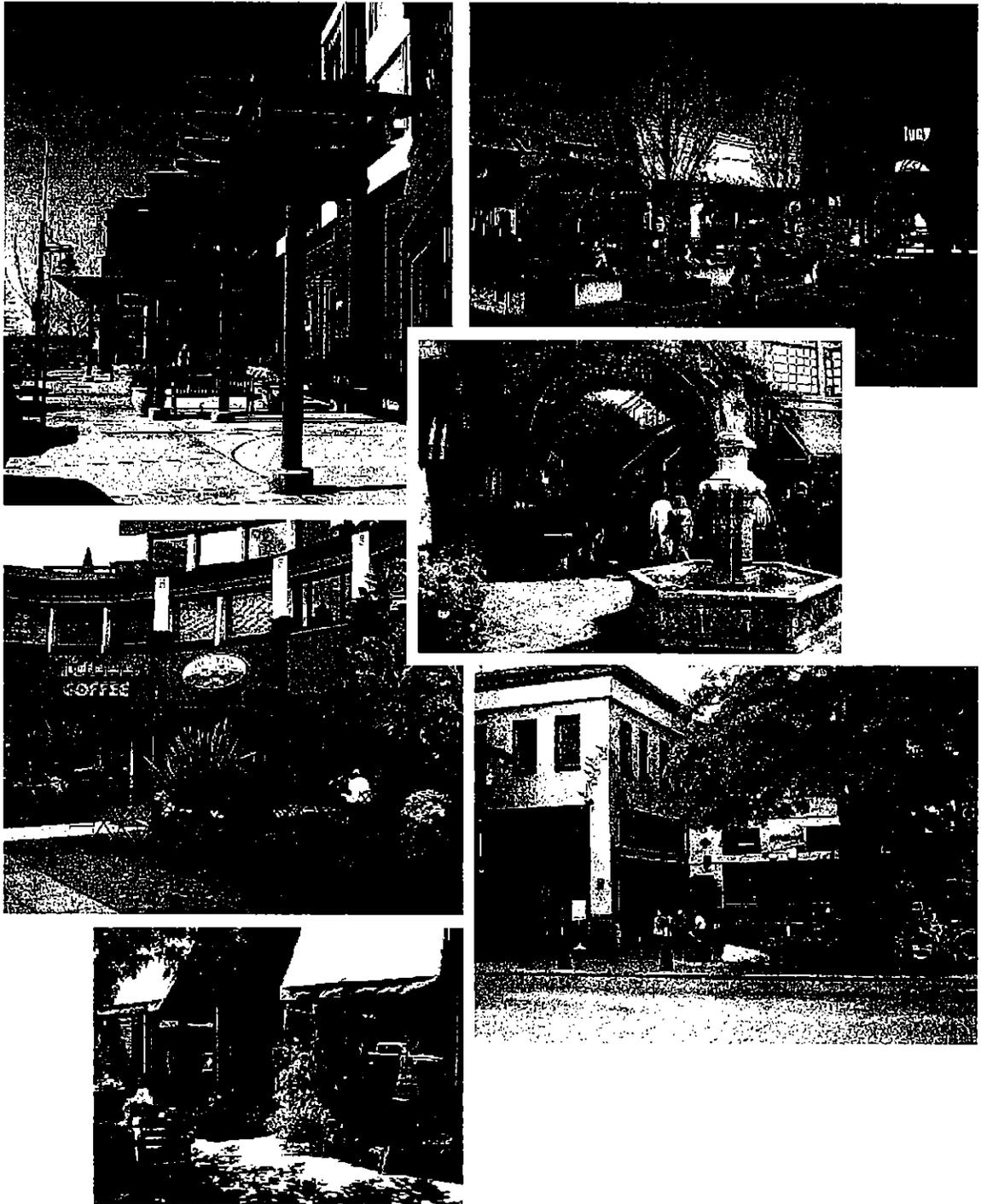


Figure 50. A variety of successful large and small pedestrian-oriented spaces.

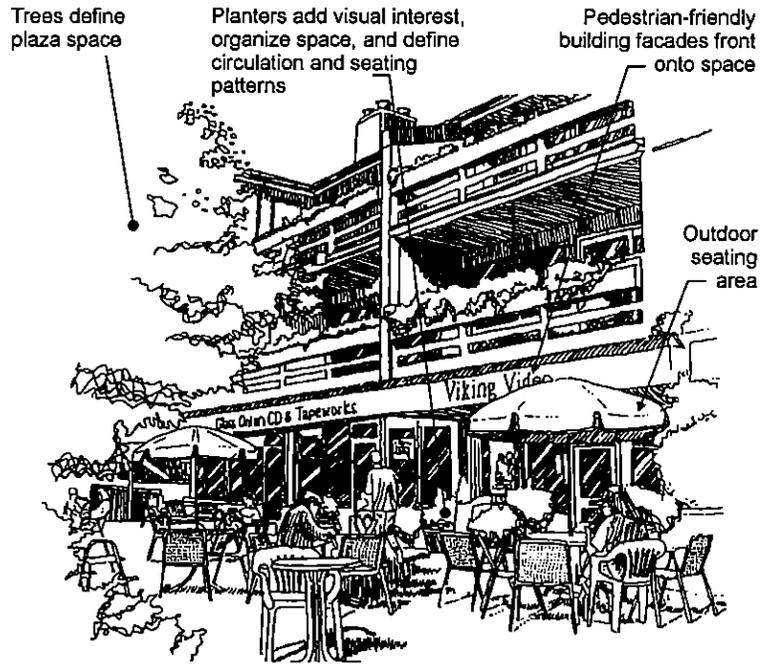


Figure 51. Example of a small Pedestrian-Oriented Space.

21.14.851 Residential Open Space.

- (1) Intent.
 - (a) To create useable space that is suitable for leisure or recreational activities for residents; and
 - (b) To create open space that contributes to the residential setting.
- (2) Design Principle. Provide usable and attractive open space for multi-family residential uses. Specifically:
 - (a) Provide open space in accordance with WMC 21:14.180 On-Site Recreational Space Requirement. Where there is a conflict with other design standards herein, the Director shall determine which standards apply.
 - (b) Common open space may be used for all of the required open space. This includes landscaped courtyards or decks, gardens with pathways, children's play areas, or other multi-purpose green spaces. Special requirements and recommendations for common spaces include the following:
 - (i) Minimum required setback areas will not count towards the open space requirement;
 - (ii) Space should be large enough to provide functional leisure or recreational activity per the Director. For example, long narrow spaces (less than 20 feet wide) rarely, if ever, can function as usable common space;
 - (iii) Consider space as a focal point of development;
 - (iv) Space must contribute to the residential setting of the development;
 - (v) Space (particularly children's play areas) must be visible from dwelling units and positioned near pedestrian activity;
 - (vi) Residential units adjacent to the open space should have individual entrances to the space. Preferably, these units include a small area of semi-private open space enclosed by low level landscaping or hedges (no taller than 42");
 - (vii) Space should feature paths, seating, lighting, and other pedestrian amenities to make the area more functional and enjoyable;
 - (viii) For large developments, provide for a range of activities that accommodate a range of age groups;
 - (ix) Space should be oriented to receive sunlight, facing east, west or (preferably) south, when possible; and
 - (x) Separate common space from ground floor windows, streets, service areas, and parking lots with landscaping and/or low-level fencing. However, care should be used to maintain visibility from dwelling units towards open space for safety.

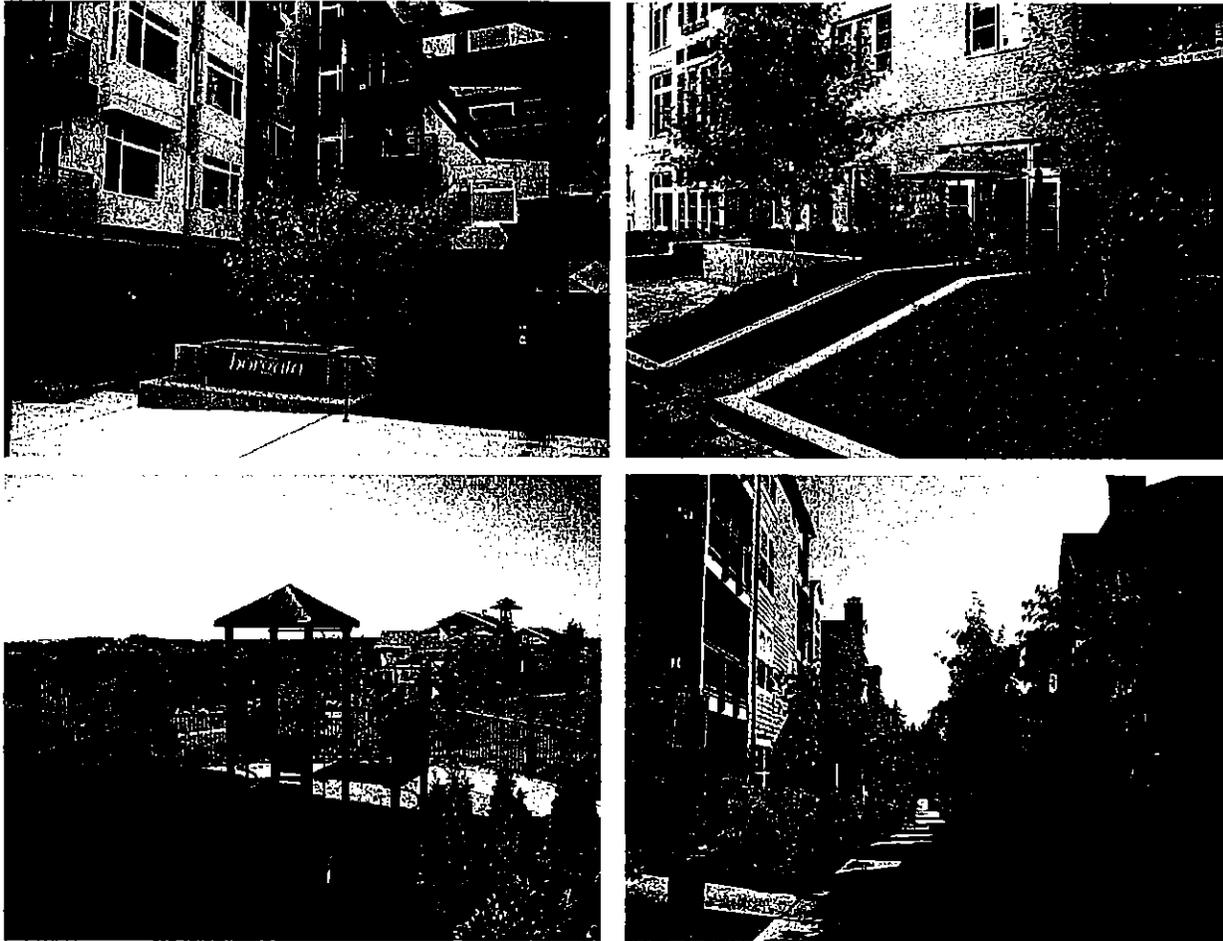


Figure 52. Good examples of common open space, including street level courtyards (top pictures), a children's play area (lower left), and a pedestrian corridor (lower right).

- (c) Individual balconies may be used to meet up to 50% of the required open space. To qualify as open space, balconies must be at least 35 square feet with no dimension less than 4' to provide a space usable for human activity.
- (d) Rooftop decks may count for up to 50% of the required open space, but are generally discouraged as a significant source of open space for a development, and may be used only if the following conditions are met.
 - (i) Space must be accessible (ADA) to all dwelling units.
 - (ii) Space must provide amenities such as seating areas, landscaping, and/or other features that encourage use as determined by the Director.
 - (iii) Space must feature hard surfacing appropriate to encourage resident use.
 - (iv) Space must incorporate features that provide for the safety of residents, such as enclosures and appropriate lighting levels.

- (e) Indoor recreational areas may count for up to 50% of the required open space only in mixed-use buildings where other forms of open space are less feasible or desirable per the Director's approval. The following conditions must be met:
 - (i) Indoor spaces must be located in visible areas, such as near an entrance lobby and near high traffic corridors.
 - (ii) Space must be designed to provide visibility from interior pedestrian corridors and to the outside. Windows should generally occupy at least one-half of the perimeter of the space to make the space inviting and encourage use.
 - (iii) Space must be designed specifically to serve interior recreational functions and not merely be leftover unrentable space used to meet the open space requirement. Such space must include amenities and design elements that will encourage use by residents as determined by the Director.

21.14.860 Vehicular Access and Circulation.

(1) Intent.

- (a) To provide vehicular access routes through large lots by connecting public and/or private roadways as directed by the City to complete the downtown street grid;
- (b) To create a safe, convenient network for vehicle circulation and parking;
- (c) To mitigate traffic impacts and to conform to the City's objectives for better traffic circulation;
- (d) To enhance the visual character of interior access roads; and
- (e) To minimize conflicts with pedestrian circulation and activity.

(2) Design Principles.

- (a) Development projects on properties which front on two streets are to conform with applicable City street specifications and standards for access.
- (b) Interior vehicular connections between streets may be required as indicated by the applicable City street plans/specifications and standards.
Specifically:
 - (i) Where abutting developed land provides road stub-outs, easements, or other methods to provide the opportunity for future road connections, the interior network of the new development should be designed to utilize these connections.
 - (ii) Developments should provide a safe and convenient network of vehicular circulation that connects to the surrounding road/access network and provides the opportunity for future connections to adjacent parcels, where applicable.

Recent commercial building and access designed to make future connection possible

Long building makes it difficult to make future connection to adjacent property

Stand-alone building will need to be removed to allow for interior connection to adjacent site

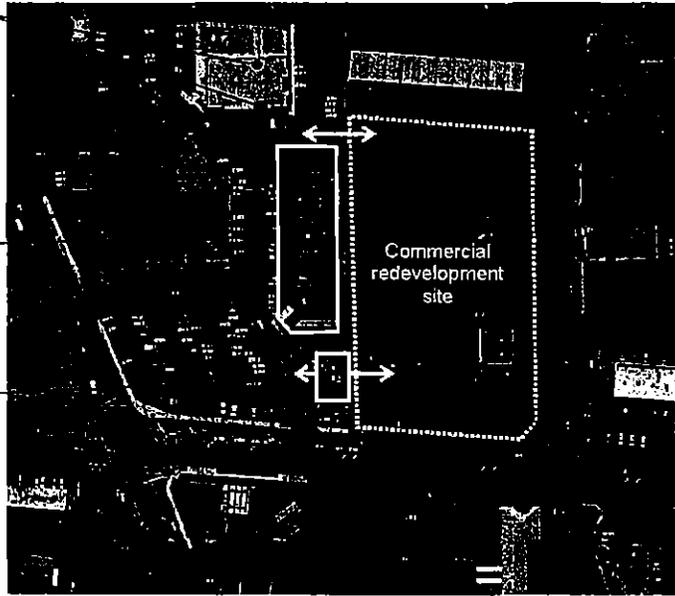
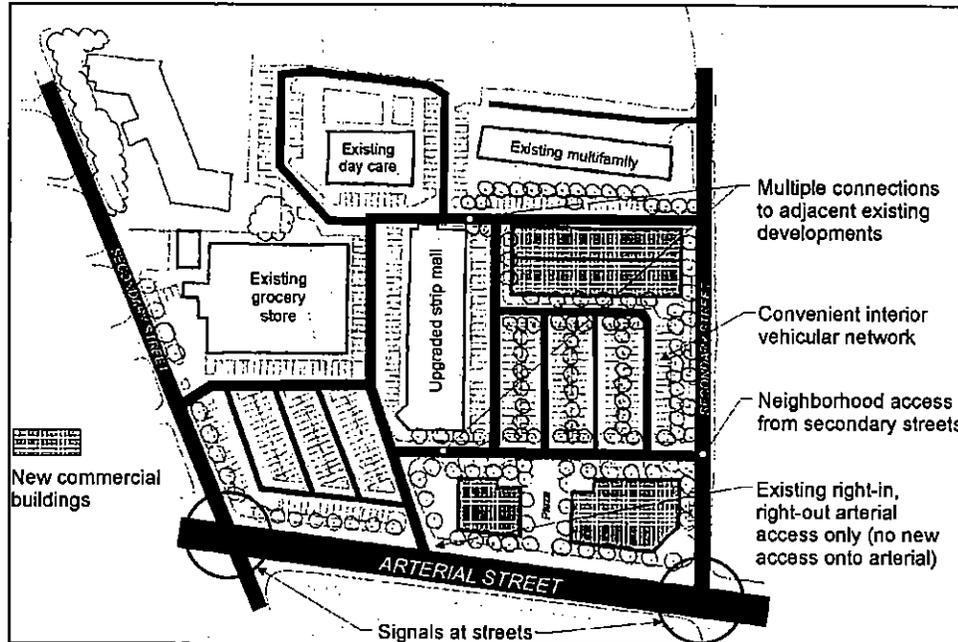


Figure 53. Vehicular circulation case study. The aerial photo to the left shows existing conditions around the development site. The site plan below shows how the site can be successfully configured to provide good vehicular access between the sites.



- (c) Internal access roads should be designed to look and function more like streets, utilizing street trees and sidewalks (see WMC 21.14.820). Only parallel parking fronting directly on the access road is permitted.

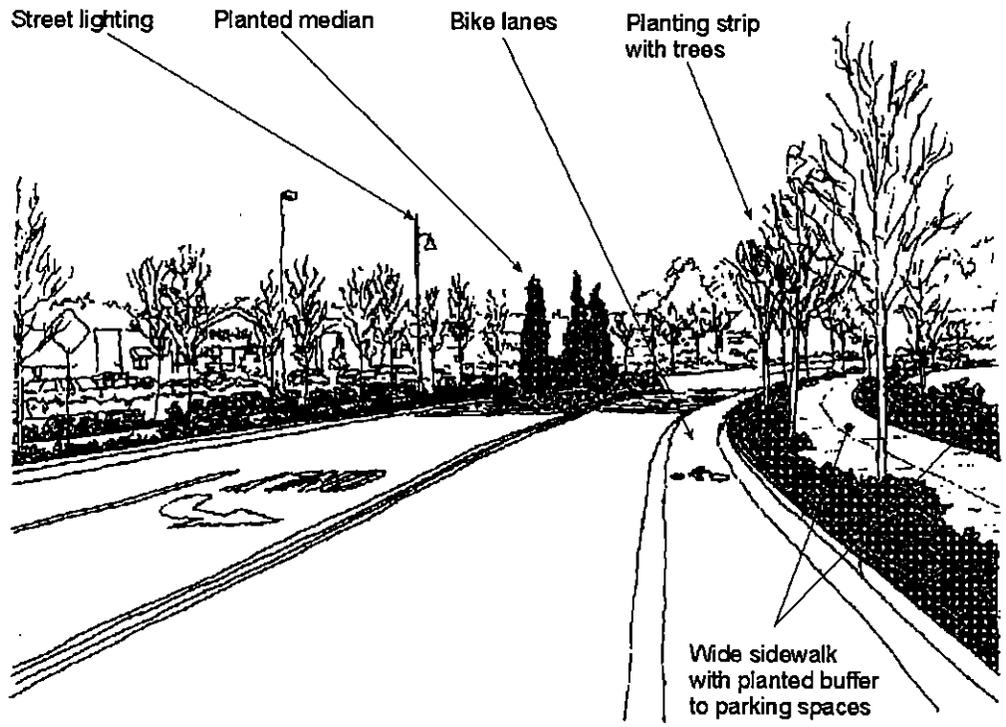


Figure 54. The roadway through Woodinville Town Center is a good example of an interior access road designed to look and function more like a street.

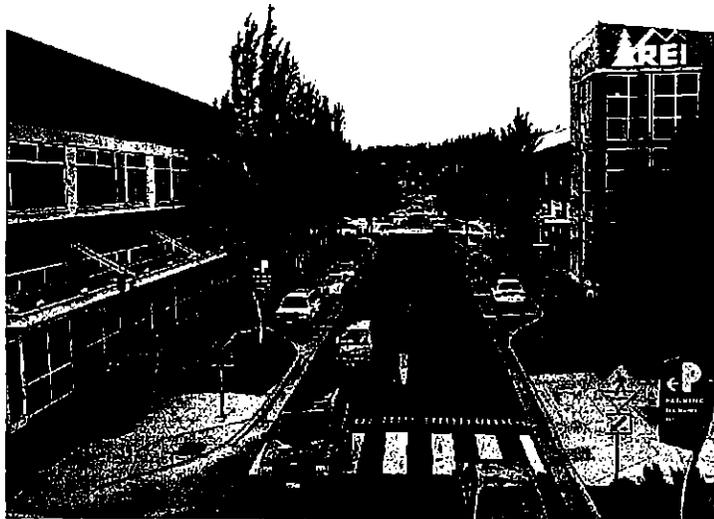


Figure 55. Redmond Town Center's internal roadways are a good model. Note the on-street parking, crosswalks, wide sidewalks, street trees, signage, and pedestrian lighting.

21.14.870 Parking Reductions.

- (1) Intent.
 - (a) To reduce impervious surfaces and replace those surfaces with landscaping and pedestrian amenities;
 - (b) To allow more efficient land utilization;
 - (c) To reduce adverse impacts of parking;
 - (d) To encourage shared driveway access to parking areas and parking between adjacent properties; and
 - (e) To encourage shared parking facilities between adjacent compatible land uses.

- (2) Design Principle. Minimize parking areas through joint use and management.
 - (a) Pursuant to WMC 21.18.040 Shared and Mixed-use Parking Requirements, the City shall require the minimum overall parking ratio for development. Parking in excess of the minimum stipulated may be allowed if, through a quantified parking demand analysis prepared by a traffic engineer with requisite qualifications as determined by the Director, it can be demonstrated that the uses on parcels with shared parking require more parking than would be consistent with the requirements of WMC 21.18.030. Applicable design standards, guidelines, and considerations:
 - (i) A parking space reduction of 10% of the required parking is encouraged, provided there is a coordinated design and shared access to consolidated parking areas linked by pedestrian walkways;
 - (ii) Multiple parcels may be treated as a single development site for parking purposes if owners of all parcels affected sign an agreement for shared parking (This may provide advantages in the design review process.);
 - (iii) In accordance with WMC 21.18.040, reduced parking is encouraged by the use of shared parking between/among primarily night-time uses, such as theaters, bowling alleys, and restaurants, and primarily day-time uses, such as banks, offices, and retail stores;
 - (iv) Off-site parking may be considered to meet parking requirements, provided the parking is located within 500' of the associated uses and a pedestrian walkway is provided between parking and uses;
 - (v) Parking ratios may be reduced if the property/business owner has a commuter trip reduction program incorporating transit and car pools approved by the Director;
 - (vi) Reduced parking ratios will be considered if development is within walking distance of residential development or transit;
 - (vii) Reduced parking will be considered if the applicant can demonstrate how additional development could occur on the site if parking

reductions or joint-use parking can be achieved pursuant to WMC 21.18.040; and

- (viii) Maximum parking shall be five parking spaces per 1,000 SF as computed in WMC 21.18.030 for all uses except restaurants. For restaurants, maximum shall be that prescribed in the table of minimum parking spaces required in WMC Chapter 21.18.

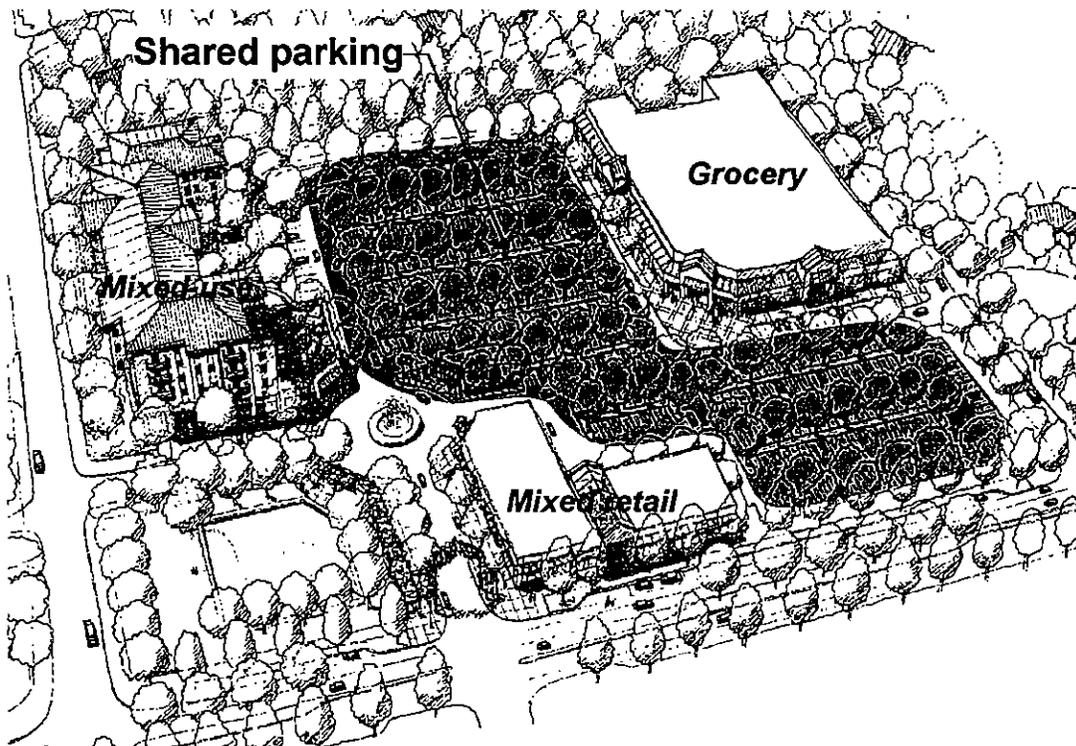


Figure 56. An example of site development that utilizes shared parking.

- (3) Design Principle. Encourage underground parking.
 - (a) The Director may allow greater development intensity (floor area) if structured parking is provided. As a general criterion, one extra square foot of useable building floor area might be allowed for every square foot of structured parking. The Director will consider relaxing other standards herein provided the project meets the intent of the design standards.

Structured parking would not count as part of the floor area ratio (FAR) calculation.

21.14.880 Vehicle Entrances.

- (1) Intent.
 - (a) To provide safe, convenient access to commercial sites without diminishing quality pedestrian walking or visual experiences; and
 - (b) To enhance the safety and function of public streets.
- (2) Design Principle. Minimize driveway impacts across pedestrian walks.
Implementing measures:
 - (a) Parking lot entrances, driveways, and other vehicle access routes onto private property from a street may be restricted to no more than one entrance lane and one exit lane per three hundred linear feet of property as measured horizontally along the street face.
 - (b) Properties with less than 300 linear feet of street frontage shall make a genuine effort to negotiate shared access with adjoining property owners. One entry and one exit lane for vehicle access will be allowed after there is demonstrable evidence, acceptable to the Director, that shared access is not feasible.
 - (c) Vehicular access to corner lots shall be located on the lowest classified roadway and as close as practical to the property line most distant from the intersection.
Exception: Corner lots may have one entrance per street provided the owner provides evidence acceptable to the Director that they are unable to arrange joint access with an abutting property.
 - (d) Parking garage entries should not dominate the streetscape. They should be designed and sited to complement, not subordinate, the pedestrian entry. This applies to both public garages and any individual private garages, whether they front on a street or private interior access road. For example, townhouse developments are encouraged to employ tandem garages in conjunction with other architectural and landscaping features to deemphasize the garage on building façades. Alleys used primarily for vehicular access, where the primary pedestrian entry is off of another street, interior access road, or pathway, are exempt from this standard.



Figure 57. A good example of a parking garage entry that does not dominate the streetscape.



Figure 58. The garages of these townhouse units are deemphasized through the use of overhanging balconies, landscaping, building materials and color. The tandem parking configuration of the garages also limits their visibility.

21.14.890 Building Design - Character.

- (1) Intent.
 - (a) To encourage building design that reflects the Northwest woodland character;
 - (b) To encourage building design that has visual character and creates comfortable human environments;
 - (c) To incorporate design treatments that reduce the scale of large buildings;
and
 - (d) To encourage building design that is authentic and responsive to site conditions.

- (2) Design Principle. Northwest woodland character refers to structures designed in the context of the Northwest's natural setting, which includes climate, topography, ecosystems, and evolved social organization.
 - (a) The general form of structures is to be simple, 3-dimensional forms. Specifically, structures shall have building forms that express wood framing, have traditional Northwest woodland exterior finishes, and may use exposed heavy wood timber structural members.

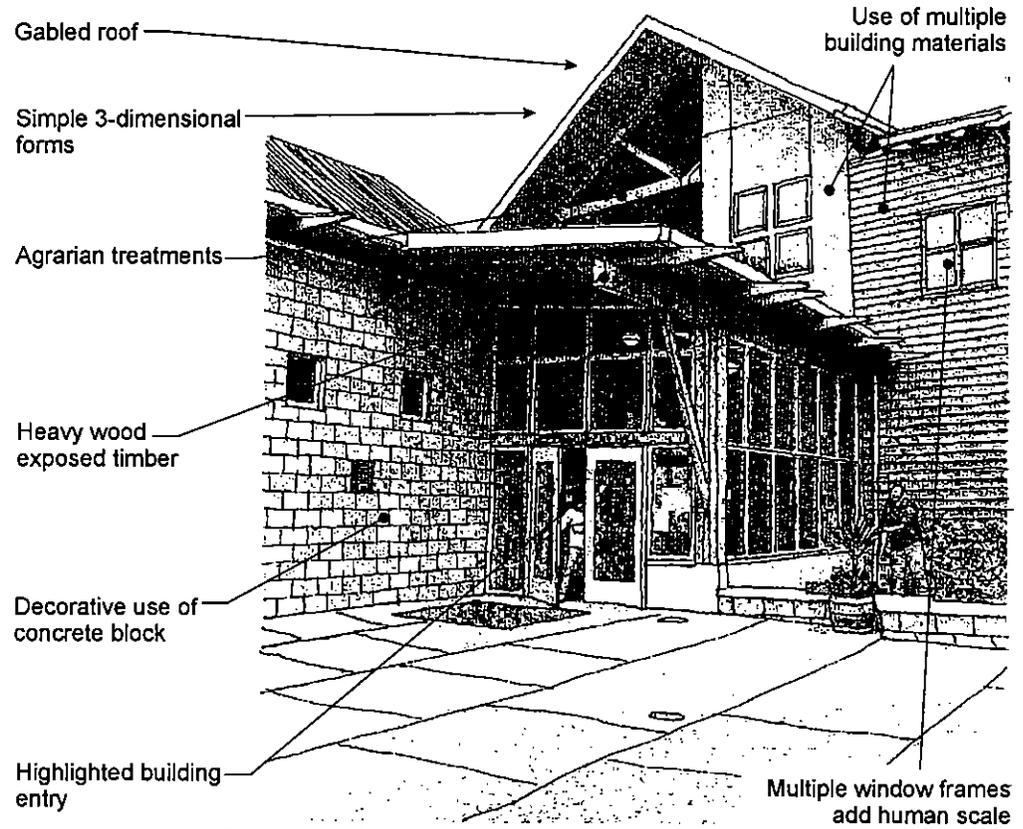


Figure 59. Woodinville City Hall is an example of traditional Northwest woodland character.

- (b) Structures with multiple component forms are to be integrated for visual unity.
- (c) Those components that support and/or stabilize structures should be visually exposed when compatible with design.



Figure 60. The simple 3-dimensional forms, exposed timber elements, and proportional arrangement of windows and doors make this building a good example of Northwest woodland character.

- (3) Design Principle. Exterior finishes are to be compatible with Northwest woodland character. Specifically:
 - (a) Material finishes shall reflect the early 1900 domestic agrarian vernacular of materials. All siding materials should be complemented with wood elements.
 - (b) Exterior finish colors should be neutral shades of natural colors per found in Northwest woodlands or colors typical of historic agrarian structures of the Northwest, and may include limited use of compatible accent colors.
 - (c) The arrangement, proportion, and design of windows and doors (fenestration) shall conform with the following implementing measures:
 - (i) The height-to-width ratio of opening and group openings are to be proportionately scaled to the wall;
 - (ii) Door and window details and trim that is suitable scaled to the wall; and
 - (iii) Developments are encouraged to reduce large expanses of glass used in windows and doors to smaller component windows reminiscent of early 1900 domestic agrarian structures when adjacent to sidewalks or other pedestrian accommodations.

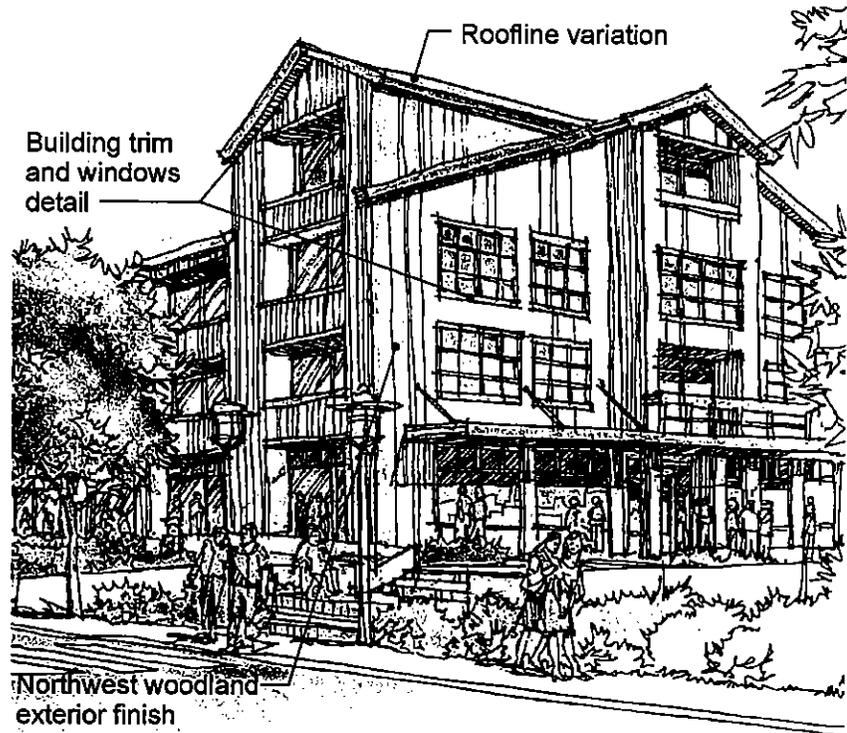


Figure 61. The arrangement, proportion, and design of windows and doors are suitable to the walls on this building.

21.14.900 Human Scale.

- (1) Intent.
 - (a) To encourage the use of building components that relate to the size of the human body; and
 - (b) To add visual interest to buildings.
- (2) Design Principle. Incorporate human scale building elements into new developments. Specifically:
 - (a) Buildings must employ elements or techniques described in (b) below to achieve "human scale." Specifically:
 - (i) Buildings less than 14' in height and less than 10,000 SF of gross floor area must incorporate at least three human scale measures;
 - (ii) Buildings between 14' and 35' in height or buildings less than 14' in height but with more than 10,000 SF in gross floor area must incorporate at least four human scale measures;
 - (iii) Buildings 35' or taller must incorporate at least five human scale measures; or
 - (iv) For large buildings with more than 40,000 SF of gross floor area, the Director may require additional human scale measures to meet the Intent above.
 - (b) Human scale measures:
 - (i) Balconies or decks in upper stories, at least one balcony or deck per upper floor on the façades facing streets, provided they are integrated into the architecture of the building. (Balconies that are merely tacked onto the outer wall of the buildings or "cave balconies" that do not project from the outer wall of the building are not "integrated" into the architecture.) Balconies are encouraged to be at least 6' deep and 6' wide;
 - (ii) Bay windows or other window treatments that extend out from the building face;
 - (iii) At least 150 SF of pedestrian-oriented space for each 100 lineal feet of building façade;
 - (iv) First floor individual windows, generally less than 32 SF per pane and separated from the windows by at least a 6" molding;
 - (v) Gable or hipped roof, provided that the hipped or gable roof covers at least one half of the building's footprint and has a slope greater or equal to 3' vertical in 12' horizontal. Use gabled forms at corners, entries, wall modulation points, etc. to adapt large structures to the character described in WMC 21.14.890;
 - (vi) A porch or covered entry;

- (vii) Spatially defining building elements, such as a trellis, overhang, canopy, or other element, that defines space that can be occupied by people;
- (viii) Upper story setbacks, provided one or more of the upper stories are set back from the face of the building at least 6’;
- (ix) Composing smaller building elements near the entry of pedestrian-oriented street fronts of large buildings (see Figure 66);
- (x) Landscaping components that meet the intent of the guidelines; and/or
- (xi) The Director may consider other methods to provide human-scale elements not specifically listed here. The proposed methods must satisfy the Intent of the design standards.



Figure 62. An example of balconies that have been integrated into the architecture of the building.

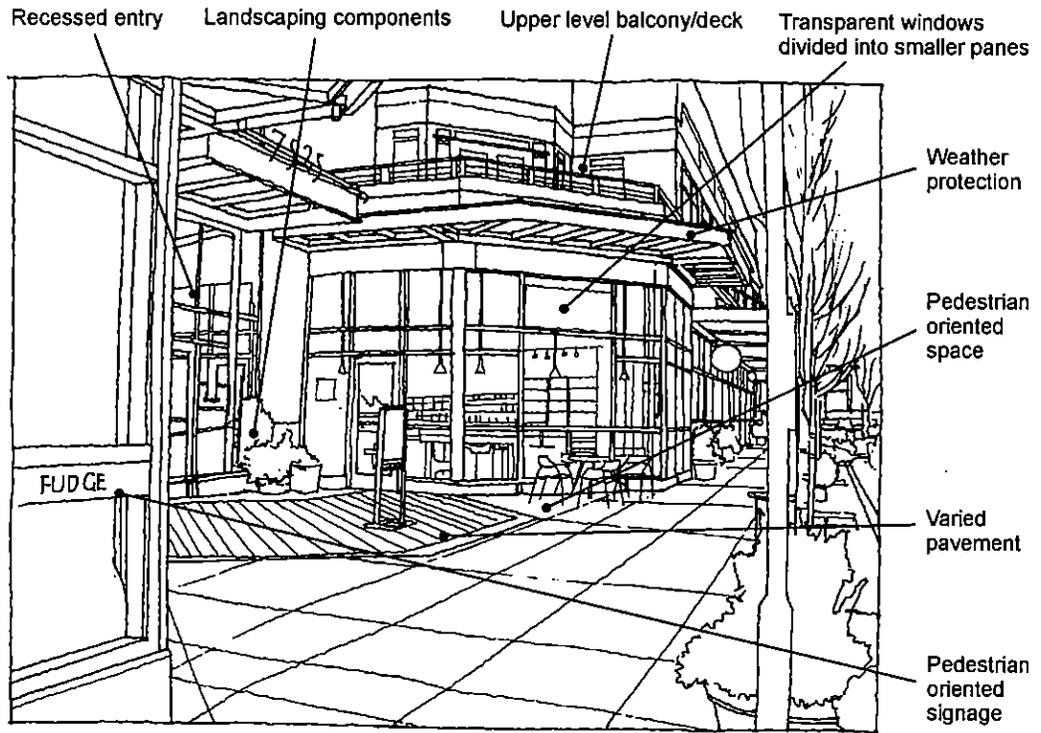


Figure 63. Illustrating a variety of human scale components on a building.

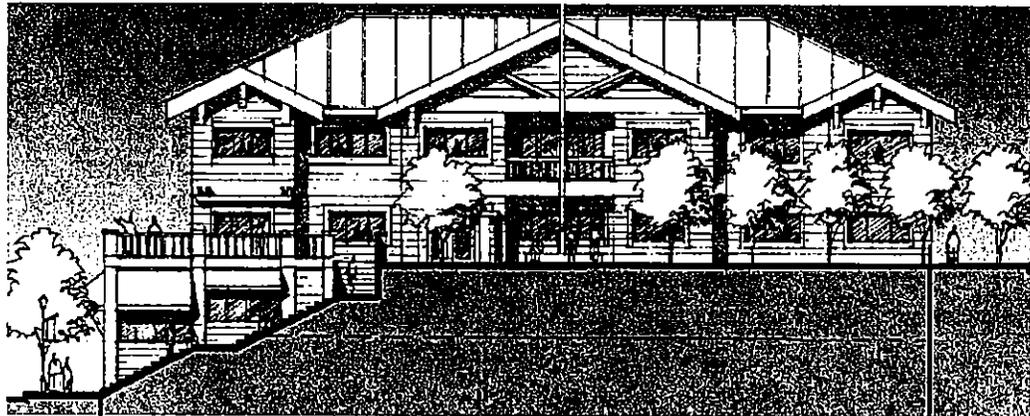
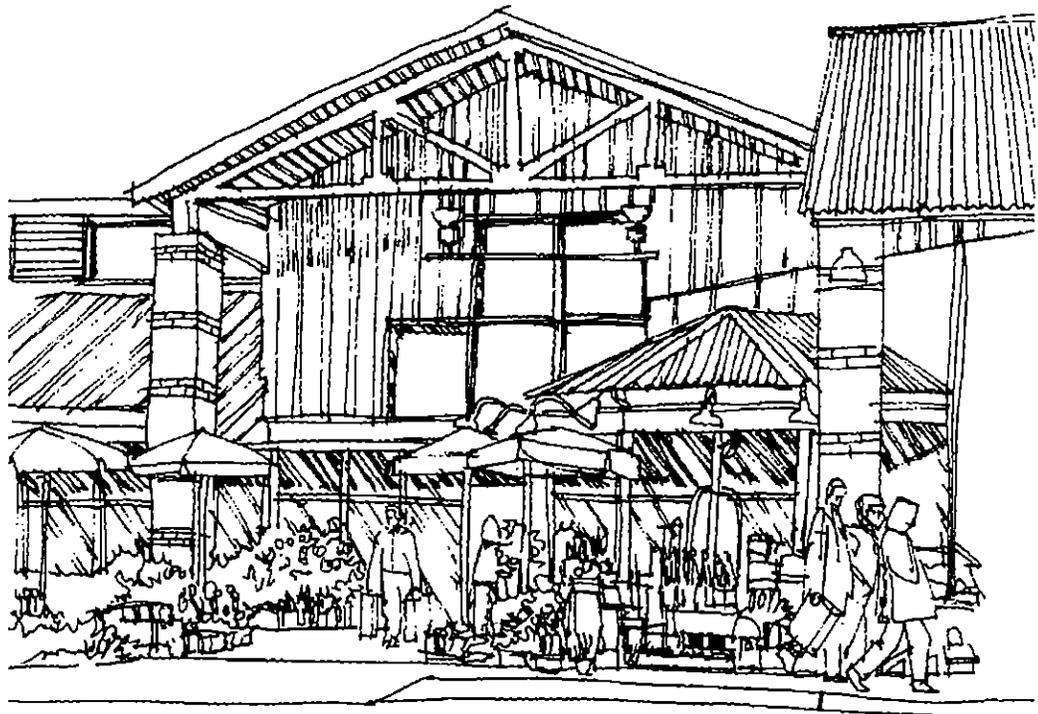
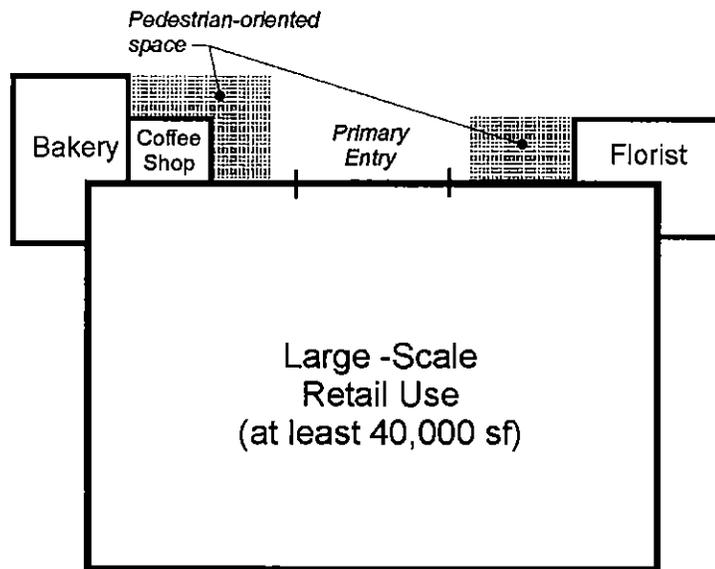


Figure 64. This building uses upper level balconies, an upper story setback, and gabled roof forms to meet human scale guidelines.



Figure 65. This mixed-use building incorporates decks, upper level setbacks, trellises, and gabled roof forms to meet human scale guidelines.



Figures 66. Examples of composing smaller building elements near the entry of large buildings.

21.14.910 Architectural Scale.

(1) Intent.

- (a) To encourage architectural scale of development that is compatible with nearby commercial areas that have the character of agrarian structures; and
- (b) To add visual interest to buildings.

(2) Design Principle. Reduce scale of large buildings.

- (a) All new buildings over three stories, or over 2,500 SF in gross building footprint, shall provide at least three modulation and/or articulation features as described below along any façade that is visible from a street or pedestrian route, and have entries at intervals of no more than 50':
 - (i) Horizontal building modulation. The depth of the modulation should be at least 2' when tied to a change in the roofline and at least 6' in other situations. Balconies may be used to qualify for this option, provided they have a floor area of at least 40 SF, are integrated with the architecture of the building, and project at least 2' from the building façade and are tied to a change in the roofline.

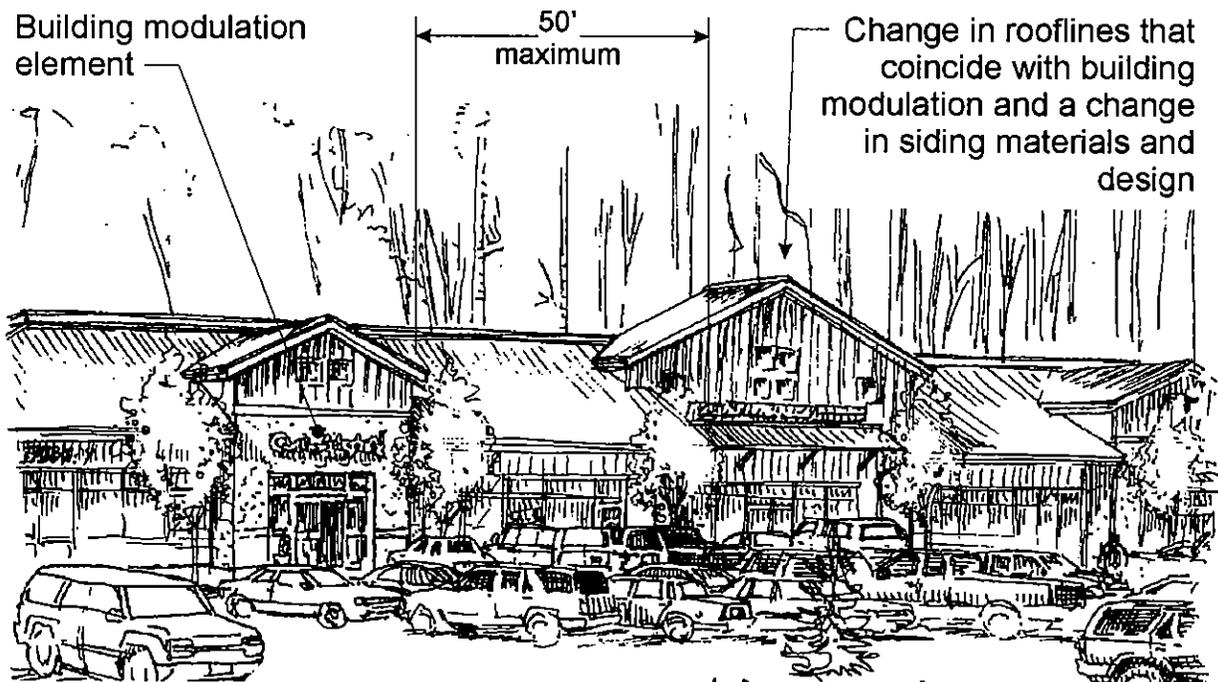


Figure 67. Building modulation example.

- (ii) Modulated roof line. Buildings may qualify for this option by modulating the roof line of all façades visible from a street, park, or pedestrian pathway per the following standards:

- 1) For flat roofs or façades with a horizontal wave, fascia, or parapet, change the roofline so that no unmodulated segment of roof exceeds 50'. Minimum vertical dimension of roof line modulation is the greater of 2' or 0.1 multiplied by the wall height (finish grade to top of wall);
 - 2) For gable, hipped, or shed roofs, a slope of at least 3' vertical to 12' horizontal; or
 - 3) Other roof forms such as arched, vaulted, dormer, or saw-toothed may satisfy this design standard if the individual segments of the roof with no change in slope or discontinuity are less than 50' in width (measured horizontally).
- (iii) Repeating distinctive window patterns at intervals less than the articulation interval.
 - (iv) Providing a porch, patio, deck, or covered entry for each articulation interval.
 - (v) Changing the roofline by alternating dormers, stepped roofs, gables, or other roof elements to reinforce the modulation or articulation interval.
 - (vi) Changing materials with a change in building plane.
 - (vii) Providing lighting fixtures, trellises, trees, or other landscape feature within each interval.

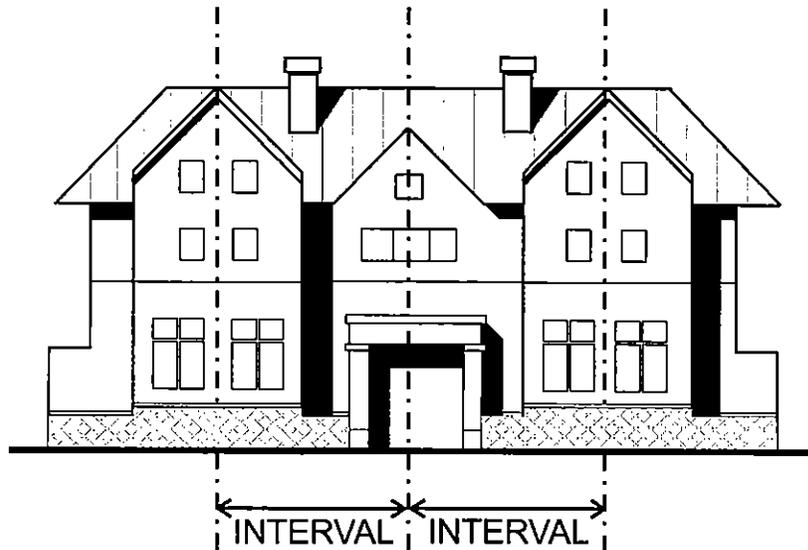


Figure 68. Building articulation.

- (viii) Other design treatments that satisfy the Intent of the design standards as determined by the Director.

Note that the Director may increase or decrease the 50' interval for modulation and articulation to better match surrounding structures or to implement an adopted sub-area plan, where applicable.

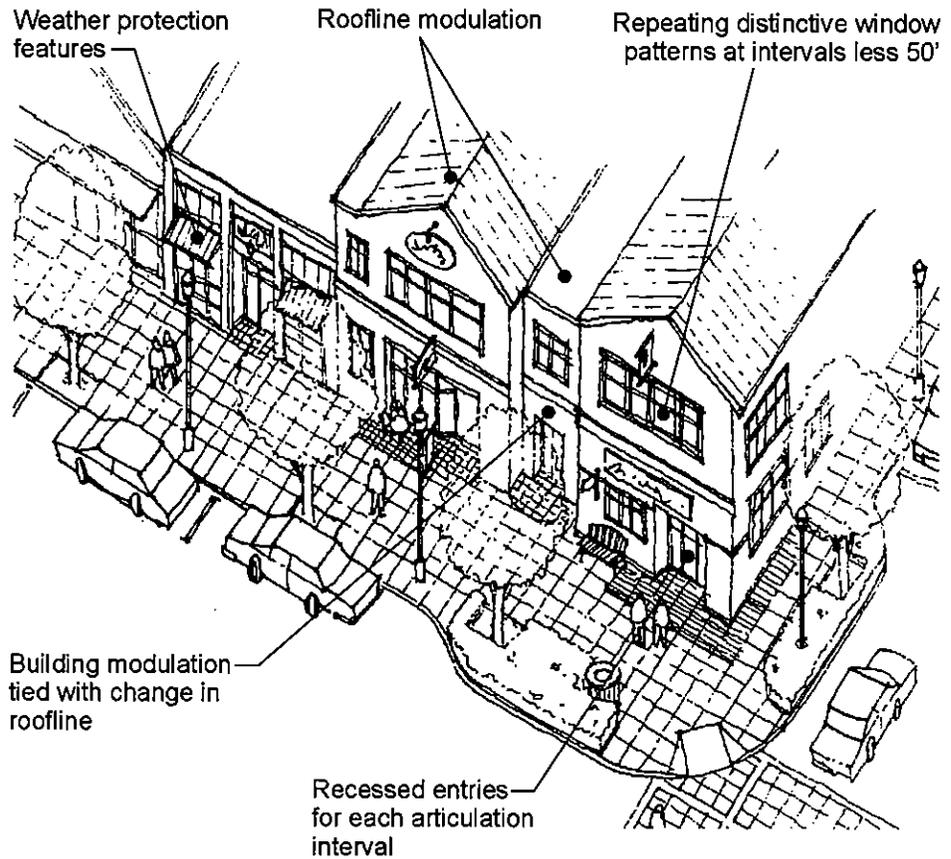


Figure 69. *These buildings illustrate a combination of horizontal building modulation, roofline modulation, and building articulation to reduce the architectural scale and provide visual interest.*

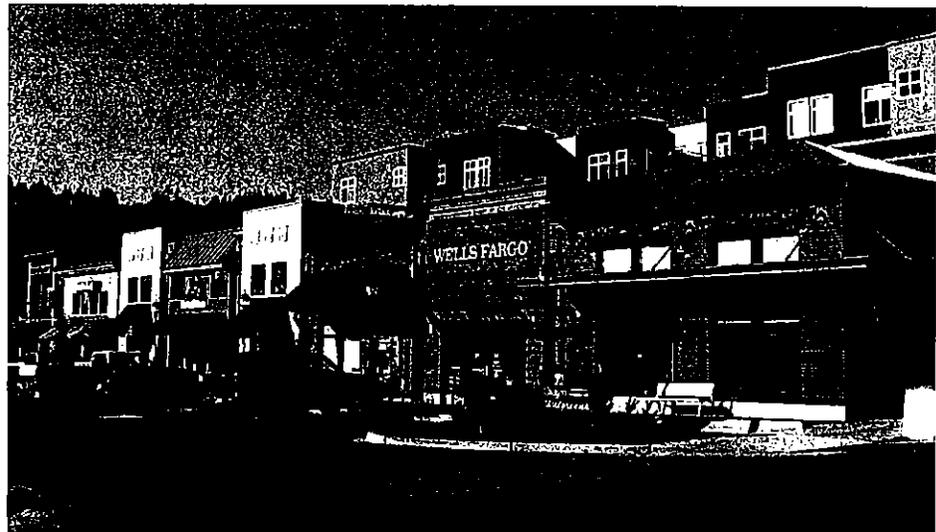
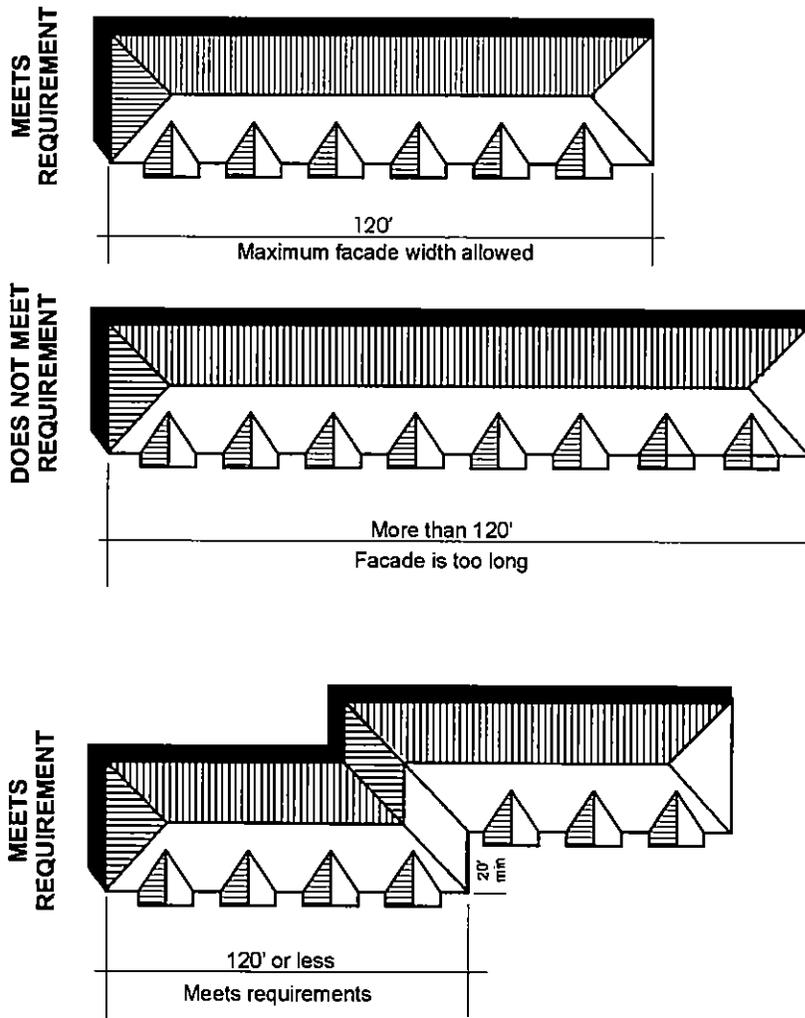


Figure 70. *This Kirkland development uses a variety of roof forms and heights, different weather protection features, changing building materials and colors, and a modest amount of horizontal building*

modulation to reduce the overall architectural scale into smaller “storefront” components.

- (b) The maximum façade width (the façade includes the apparent width of the structure facing the street and includes required modulation) of multi-story buildings visible from a street, public open space, or pedestrian-oriented space is 120 feet. Buildings exceeding 120 feet in width along the street front shall be divided by a 30-foot wide modulation of the exterior wall, so that the maximum length of a particular façade is 120 feet. Such modulation must be at least 20 feet or deeper and extend through all floors (the first floor will be exempt if it includes a pedestrian-oriented façade). Decks and roof overhangs may encroach up to 3 feet (per side) into the modulation. The Director will consider other design methods that are effective at reducing the perceived width of the building.



This buildings exceeding 120 feet in width along the street front, but is divided by a 30-foot wide *modulation* of the exterior wall, so that the maximum length of a particular *façade* is 120 feet or less. Such *modulation* must be at least 20 feet or deeper and extend through all floors (ground floors are exempt if they feature a *pedestrian-oriented façade*).

Figure 71. Illustrating maximum façade widths.

21.14.920 Building Corners.

- (1) Intent. To create visual interest and increased activity at public street corners.
- (2) Design Principle. Architecturally accentuate building corners at street intersections.
 - (a) All new buildings located within 15' of a property line, at the intersection of streets, public or private, are required to employ two or more of the following design elements or treatments to the building corner facing the intersection:
 - (i) Provide at least 100 SF of pedestrian-oriented space between the street corner and the building(s). To qualify for this option, the building(s) must have direct access to the space;
 - (ii) Provide a corner entrance to courtyard, building lobby, atrium, or pedestrian pathway;
 - (iii) Include a corner architectural element such as:
 - 1) Bay window or turret;
 - 2) Roof deck or balconies on upper stories;
 - 3) Building core setback "notch" or curved façade surfaces; or
 - 4) Sculpture or artwork, either bas-relief, figurative, or distinctive use of materials.



Figure 72. The second story component, change in building materials, horizontal modulation, and unique roof form make an architectural statement on this street corner.

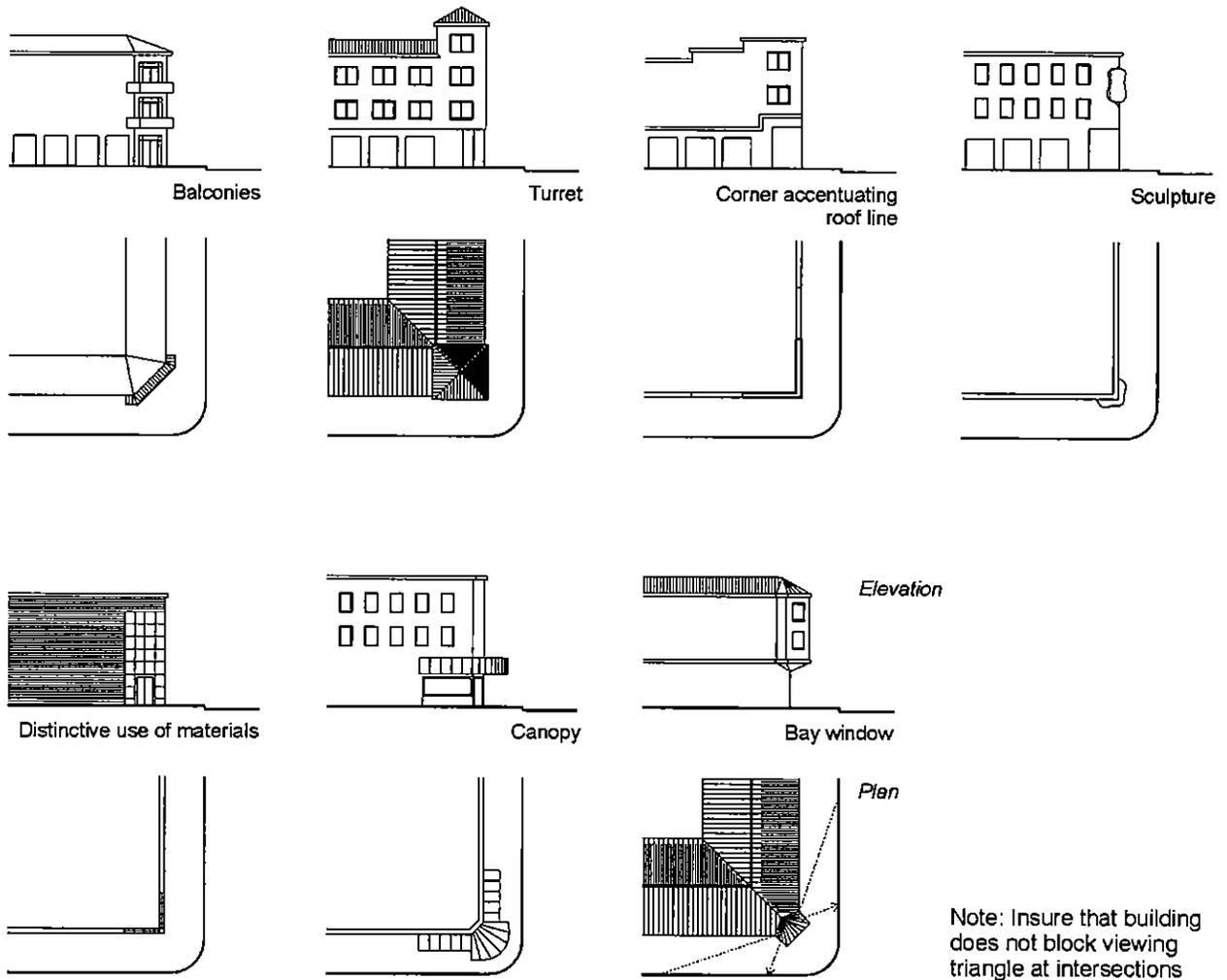


Figure 73. Corner building treatments.

- (iv) Special treatment of the pedestrian weather protection canopy at the corner of the building; and/or
- (v) Other similar treatment or element approved by the Director.

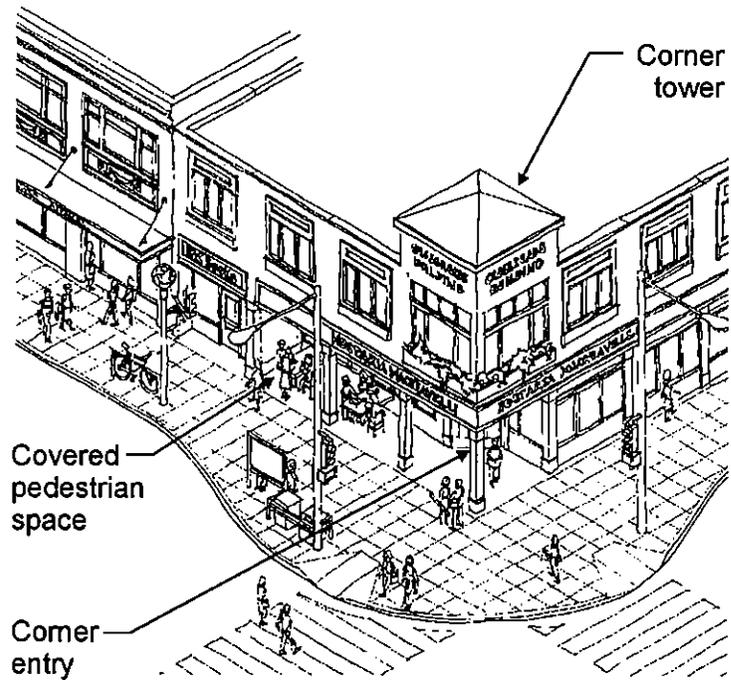


Figure 74. Corner building example.



Figure 75. To emphasize its street corner location, this building uses a cropped corner, change in building materials, decorative façade elements, and a modulated roofline.

21.14.930 Building Details.

- (1) Intent.
 - (a) To ensure that buildings have design integrity at all observable distances;
 - (b) To enhance the character and identity of Woodinville's commercial areas;
 - (c) To enhance the pedestrian environment; and
 - (d) To encourage creativity in the design of storefronts.

- (2) Design Principle. Enhance buildings with appropriate design details.

When buildings are seen from a distance, the most noticeable qualities are the overall form and color. A three-story commercial building that is 100' wide and 35' tall must be observed at least 200' away in order for the building to fit within a person's cone of vision so its overall shape can be perceived. At that distance, windows, doors, and other major features are clearly visible. However, within 60' to 80' from the building (approximately the distance across a typical downtown street), a person notices not so much the building's overall form as its individual elements. Closer, the most important aspects of a building are its design details, texture of materials, quality of its finishes, and small, decorative elements. In a pedestrian-oriented business area, it is essential that buildings and their contents be attractive up close. Therefore, these design standards include implementing measures which require all buildings to incorporate design details and small scale elements into their façades.

- (a) All new buildings and individual storefronts shall include on the façades that face a street, park, or pedestrian route at least four of the following design features:
 - (i) Decorative Rooflines, such as an ornamental molding, entablature, frieze, or other roofline device visible from the ground level. If the roofline decoration is in the form of a linear molding or board, then the molding or board must be at least 8" wide;
 - (ii) Decorative Treatment of Windows and Doors, such as decorative molding/ framing details around all ground floor windows and doors, decorative glazing, or door designs;

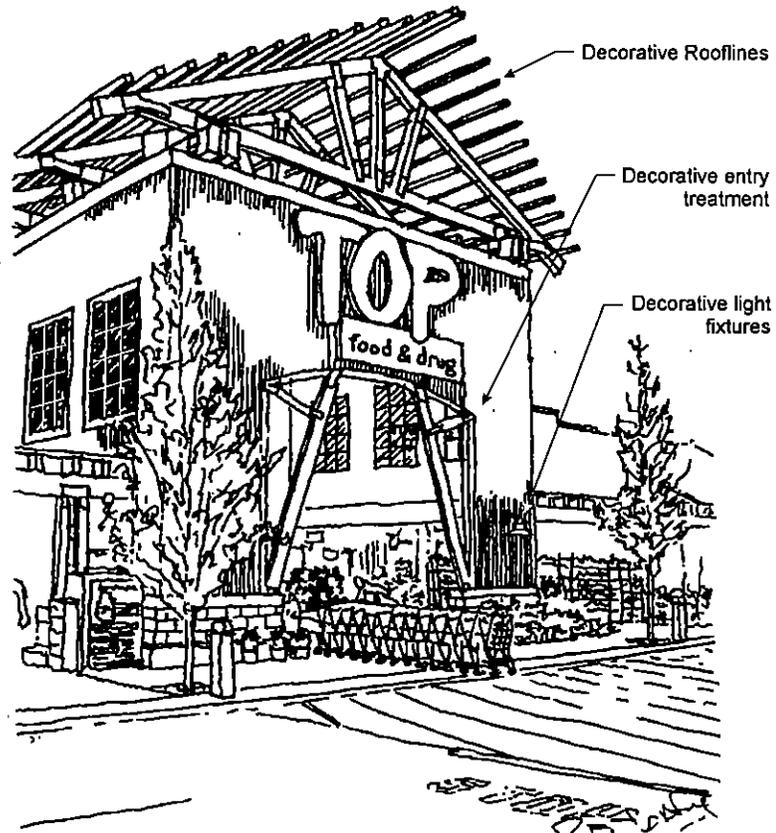


Figure 76. A variety of details add visual interest to this building.

- (iii) Decorative Light Fixtures with a diffuse visible light source, such as a globe or “acom” that is non-glaring or a decorative shade or mounting;
- (iv) Decorative Building Materials, including one of the following:
 - 1) Decorative masonry, shingle, brick or stone;
 - 2) Individualized patterns or continuous wood details, such as fancy butt shingles (a shingle with the butt end machined in some pattern, typically to form geometric designs), decorative moldings, brackets, wave trim or lattice work, ceramic tile, stone, glass block, carrera glass, or similar materials; or
 - 3) Other materials with decorative or textural qualities as approved by the Director.

The applicant must submit architectural drawings and material samples for approval;

- (v) A planting strip at least 16” wide between an adjacent pathway and the building façade;

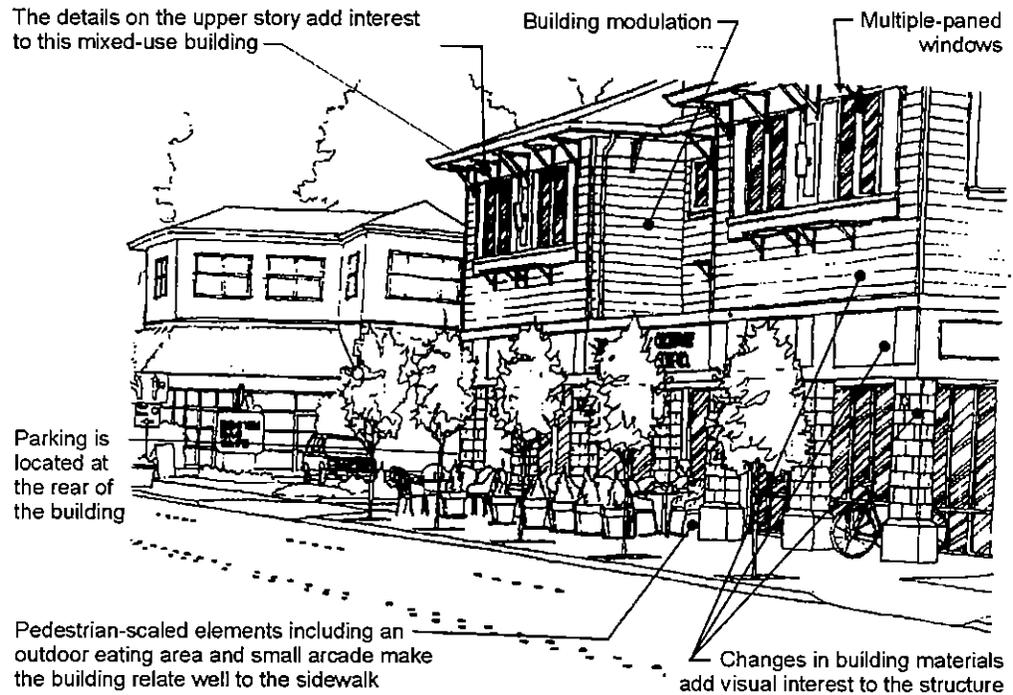


Figure 77. The use of different building materials, window treatments, and roofline brackets adds to the visual interest of this building.

- (vi) Decorative railings, grill work, or landscape guards;
- (vii) Landscaped trellises;
- (viii) Decorative Paving or Artwork, which may be freestanding or attached to the building, and may be in the form of mosaic mural, bas-relief sculpture, light sculpture, water sculpture, fountain, free standing sculpture, art in pavement, or other similar artwork. Painted murals or graphics on signs or awnings do not qualify. All artwork used to satisfy this condition is subject to approval by the Director; or
- (iv) Other similar features or treatment that satisfies the Intent of the design standards as approved by the Director.

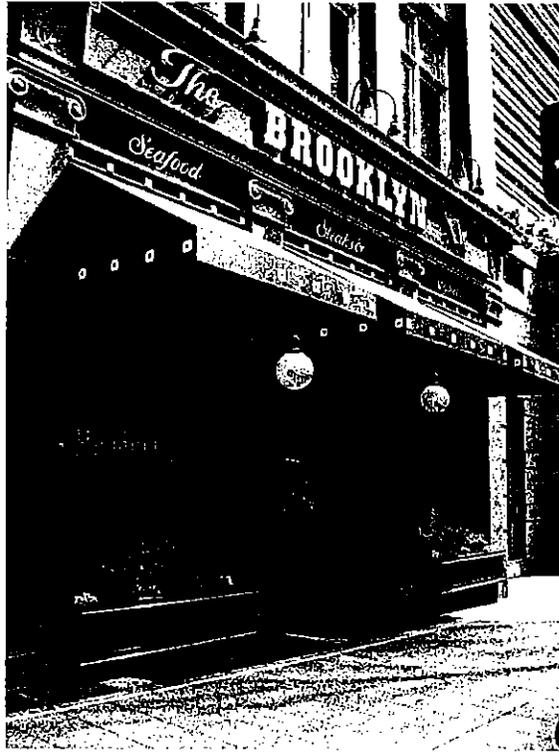


Figure 78. The building provides a number of details that enhance the pedestrian environment, including decorative lighting, planter boxes, decorative awnings, historical plaques, and decorative façade elements.

- (b) All new buildings must note the year of construction of a building by the installation of a plaque attached to the building. Stone or masonry set integral with other masonry on the front building elevation facing the principal street may be used in lieu of a plaque. The year of construction is to be noted by numbers not less than six inches high. Other information associated with the building that may have historic interest in the future may be included in addition to the year of construction.
- (c) Building facades, when located adjacent to a pedestrian pathway, must contain the following elements:
 - (i) A pedestrian-oriented façade; and
 - (ii) Weather protection at least 5' wide along at least 75% of the building's front face (facades containing a public building entrance). The weather protection may be in the form of awnings, marquees, canopies, or building overhangs.

Exceptions will be considered by the Director that meet the intent of the standards. For example, the Director may allow reduced weather protection elements on north-facing facades to allow more day light into buildings. Reduced window transparency may be allowed in exchange for other desirable pedestrian amenities or building elements (see Figure 79).

Also see WMC 21.14.840(2)(f), Internal Pedestrian Paths and Circulation for related standards and illustrations.



Figure 79. While the treatment of this façade would not meet the definition of a “pedestrian-oriented façade”, the wall’s combination of design details successfully add visual interest to the space. Weather protection features would not be required in this case since this is not the building’s primary façade (containing public building entry).

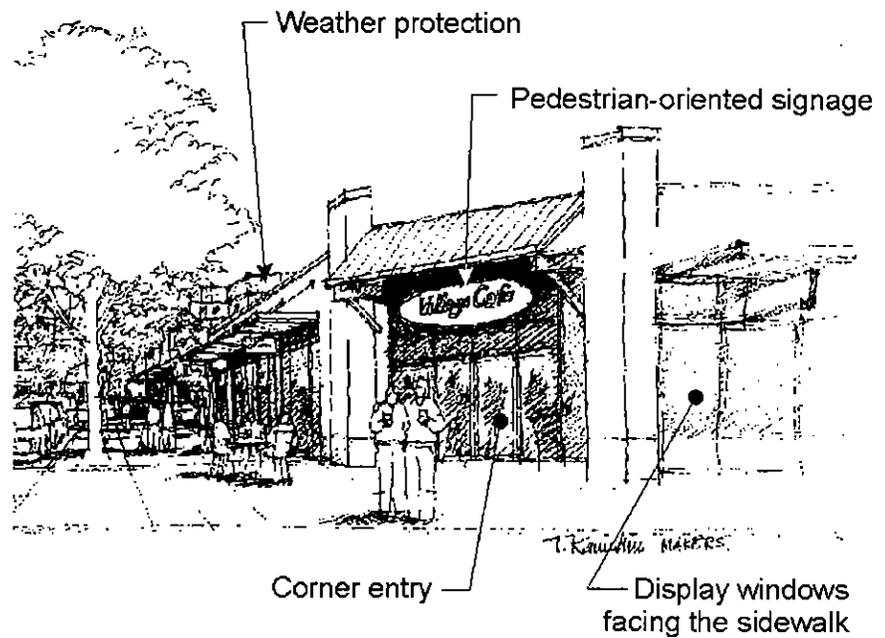


Figure 80. An example of a pedestrian-oriented façade.

21.14.940 Materials.

- (1) Intent. To encourage the use of a variety of high-quality compatible materials that will upgrade the visual image of commercial areas of Woodinville.
- (2) Design Principles.
 - (a) Property owners are encouraged to retain existing vernacular façades that reflect the heritage of the City. Façades of vintage buildings may be adapted to contemporary use with the compatible materials, provided they meet the design standards herein.
 - (b) Buildings shall employ materials that reflect the City's Northwest woodland character, such as:
 - (i) Wood (as used in agrarian structures);
 - (ii) Masonry;
 - (iii) Stone; or
 - (iv) Other materials subject to approval by the Director.

Use of metal siding, metal screening, plastic, plywood, sheet wood products, or fiberglass to cover over existing façades is discouraged. Wood should not be used to cover existing brick or cast stone masonry.

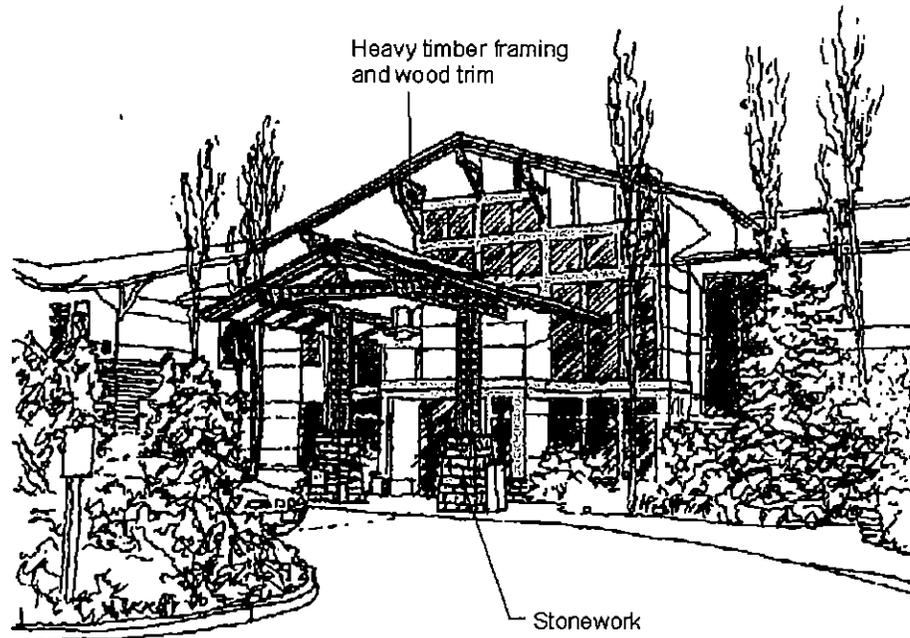


Figure 81. Use compatible building materials that reflect the City's Northwest woodland character.

(3) Materials requiring special detailing when visible from a street, pedestrian pathway, or park:

(a) Metal siding.

(i) When used as a siding material over more than 25% of a building's façade, metal siding must have a matte finish in a neutral or earth tone such as buff, gray, beige, tan, cream, white, or a dulled color, such as barn-red, blue-gray, burgundy, ocher, or other color specifically approved by the Director.

(ii) If metal siding is used on over 25% of the building façade, then the building design must include the following elements:

- 1) Visible window and door trim painted or finished in a complementary color;
- 2) Color and edge trim that cover exposed edges of the sheet metal panels;
- 3) Masonry, stone, or other approved permanent material that is durable and satisfies the Intent of the design standards; and
- 4) Other detail/color combinations for metal siding approved by the Director, provided design quality and permanence meets the intent of this section.

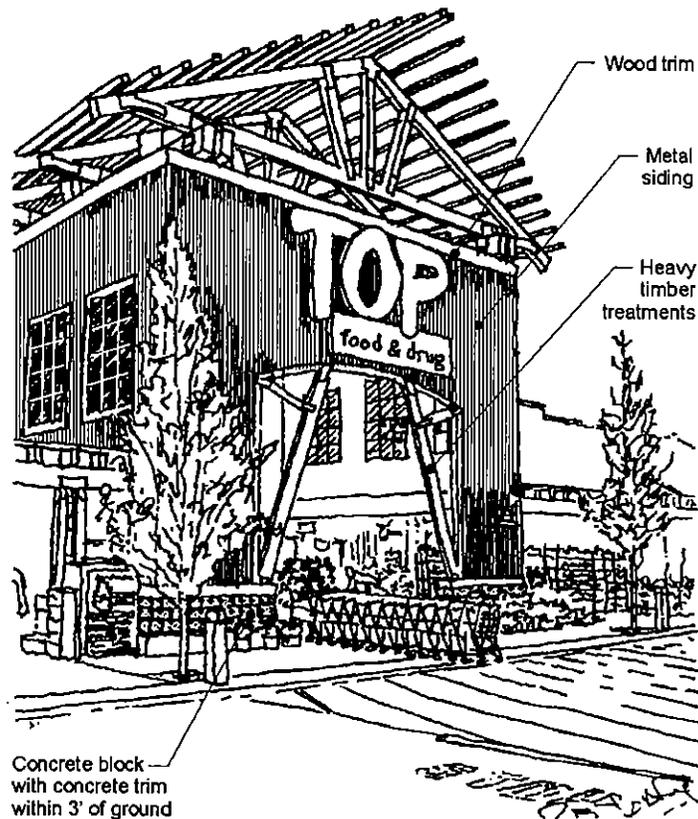


Figure 82. This Woodinville Town Center building features acceptable treatment of metal siding.

- (b) Concrete block walls. Concrete block construction must be architecturally treated in one or more of the following ways:
 - (i) Use of textured blocks with surfaces such as split face or grooved;
 - (ii) Use of other masonry types, such as brick, glass block, or tile in conjunction with concrete blocks; and/or
 - (iii) Use of decorative coursing to break up blank wall areas.Use matching colored mortar where color is an element of architectural treatment for any of the options above.
- (c) Requirements for Exterior Insulation and Finish System (EIFS) and similar troweled finishes:
 - (i) EIFS should be trimmed in wood or masonry and should be sheltered from extreme weather by roof overhangs or other methods;
 - (ii) EIFS may only be used in conjunction with other approved building materials. Generally, the use of EIFS for more than 50% of the building façade is discouraged; and
 - (iii) EIFS is prohibited within 2 vertical feet of the sidewalk or ground level.

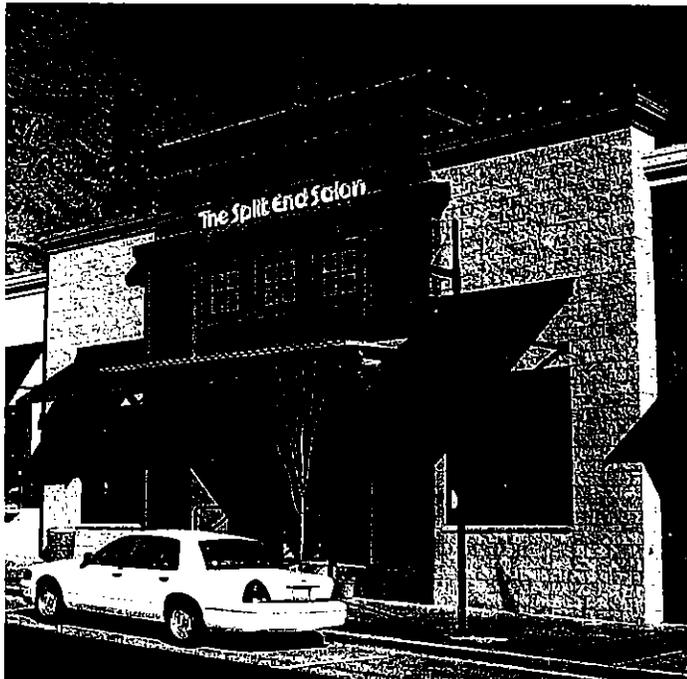


Figure 83. This storefront effectively combines EIFS and concrete block with wood trim and metal detailing.



metal roofing.

Figure 84. City Hall is a good example, combining EIFS, decorative concrete block, wood siding and trimwork, glass, and

- (d) Prohibited materials:
 - (i) Mirrored glass;
 - (ii) Corrugated fiberglass;

- (iii) Chain link fencing (except for temporary purposes such as a construction site); and
- (iv) Crushed colored rock or tumbled glass.

21.14.950 Blank Walls.

- (1) Intent.
 - (a) To reduce the visual impact of large, undifferentiated walls;
 - (b) To reduce the apparent size of large walls through the use of various architectural and landscaping treatments;
 - (c) To enhance the character and identity of Woodinville's commercial areas;
and
 - (d) To ensure that all visible sides of buildings provide visual interest.

- (2) Design Principle. All blank walls within 50' of the street, pedestrian pathway, park, or adjacent lot, and visible from that street, pedestrian pathway, park, or adjacent lot, shall be treated in one or more of the following measures:
 - (a) Install a vertical trellis in front of the wall with climbing vines or plant materials. For large blank wall areas, the trellis must be used in conjunction with other treatments described below;
 - (b) Provide a landscaped planting bed at least 8' wide or a raised planter bed at least 2' high and 3' wide in front of the wall. Plant materials that will obscure or screen at least 50% of the wall's surface within 4 years are to be planted in the planting bed;
 - (c) Provide artwork (mosaic, mural, sculpture, relief, etc.) over at least 50% of the blank wall surface; and/or
 - (d) Other method as approved by the Director. For example, landscaping or other treatments may not be necessary on a wall that employs high quality building materials (such as brick) and provides desirable visual interest. See Figure 87 for an example.

Treatment of blank walls must be proportional to the wall.

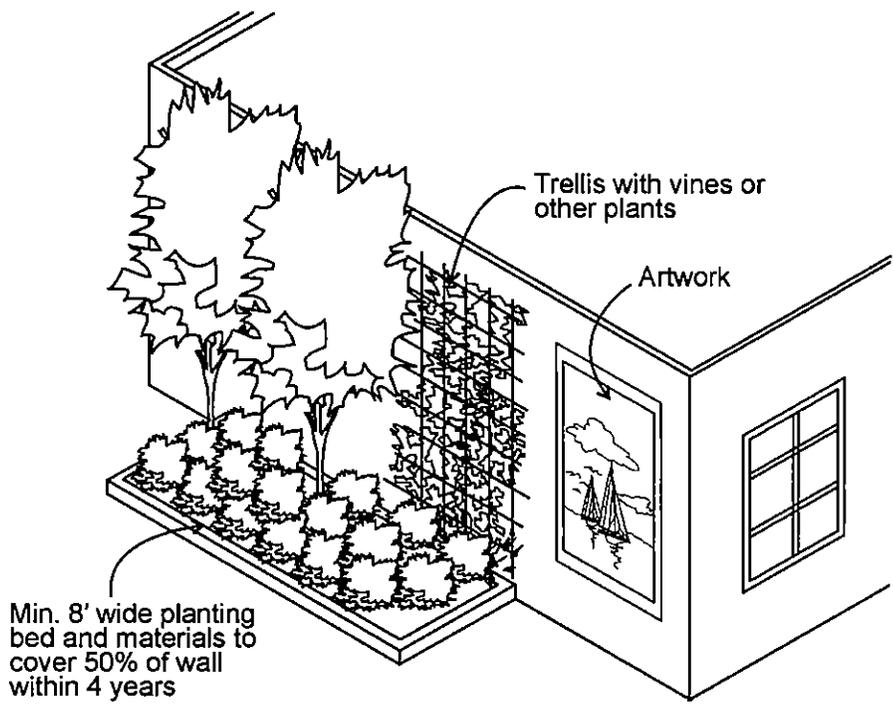


Figure 85. Blank wall treatments.



Figure 86. Terraced planting beds effectively screen a large blank wall.



Figure 87. Special blank wall treatments may not be needed on the side of a building where high quality brickwork is used.

21.14.640 Definitions.

Agrarian Structures - Buildings or other structures created to satisfy a well-stated function, usually associated with land-oriented activities, such as farming. The structures exhibit simple geometric forms, and were created with available materials and without thrills.

Examples of agrarian structures include primitive barns, early saw mill structures and historic wood covered bridges.

Art, Artwork - A device, element, or feature whose primary purpose is to express, enhance, or illustrate aesthetic quality, feeling, physical entity, idea, local condition, historical or mythical happening, or cultural or social value. Examples of artwork include sculpture, bas-relief sculpture, mural, or unique specially crafted lighting, furniture, pavement, landscaping, or architectural treatment that is intended primarily, but not necessarily exclusively, for aesthetic purpose. Signs, upon approval by the Director, may be considered artwork provided they exhibit an exceptionally high level of craftsmanship, special material, or construction, and include decorative devices or design elements that are not necessary to convey information about the business or product. Signs that are primarily names or logos are not considered art.

Access Street - A private street that is independent of parking lot circulation and connects public rights-of-way or provides primary access to and within a site.

Balcony - An outdoor space built as an above-ground platform projecting from the wall of a building and enclosed by a parapet or railing.

Bas-relief - A sculptural carving, embossing, or casting that projects very little from the background.

Bay Window - A window that protrudes from the main exterior wall. Typically, the bay contains a surface which lies parallel to the exterior wall, and two surfaces which extend perpendicularly or diagonally out from the exterior wall. To qualify as a bay, the bay must contain a window pane which extends at least 60% of the length and 35% of the height of the surface of the bay which lies parallel to the exterior wall. There need not be windows in the surface which extend out from the exterior wall.

Blank Walls - Walls subject to "blank wall" requirements meet the following criteria:

- Any wall or portion of a wall that has a surface area of 400 SF of vertical surface without a window, door, or building modulation or other architectural feature.
- Any ground level wall surface or section of a wall over 4' in height at ground level that is longer than 15' as measured horizontally without having a ground level window or door lying wholly or in part within that 15' section.

Courtyard – A landscaped space enclosed on at least three sides by a single structure.

Curb Cut - A depression in the curb for the purpose of accommodating a driveway that provides vehicular access between private property and the street.

Deck – A roofless outdoor space built as an above-ground platform projecting from the wall of a building and connected to the ground by structural supports.

Director – The Community Development Director or his or her designee.

Façade – Any portion of an exterior elevation of a building extending from the grade of the building to the top of the parapet wall or eaves, for the entire width of the building elevation.

Frontage – As used in the code, frontage refers to the length of a property line along a street.

Front Yard – The area between the street and the nearest building façade.

Large Lot Development – A proposed or existing development of 2 acres or more.

Landscaping – An area is considered to be landscaped if it is:

- Planted with vegetation in the form of hardy trees, shrubs, or grass or evergreen ground cover maintained in good condition;
- Occupied by sculptures, fountains or pools, benches, or other outdoor furnishings;
- Occupied by such recreational facilities as playground equipment, swimming pools, game courts, etc.; or
- See also the definition for Landscaping provided in WMC 21A.06.348.

Major Exterior Remodel – A proposed improvement to any existing building structure or property that changes the exterior appearance of the property and meets either of the criteria below:

- Estimated value of construction exceeds 50% of the value of the existing built facilities as determined by the City's building valuation procedure; or
- Construction includes an addition to extension of an existing building.

Minor Exterior Remodel - Any improvement that changes the visual appearance or exterior configuration of a building structure or property, and which has a value less than 50% of the existing built facilities as determined by the City's building valuation procedure. Painting and restorative maintenance are not considered minor remodels.

Modulation - In the design standards, modulation is a stepping back or projecting forward of portions of a building face within specified intervals of building width and depth, as a means of breaking up the apparent bulk of a structure's continuous exterior walls.

Northwest Woodland Character- Character of early development of the Northwest that balanced the use of local materials (such as timber and high quality aggregates) to construct buildings with the natural environment, including native trees and other vegetation.

Pedestrian-Oriented Building Façades- Ground floor *façades* which employ at least one of the following characteristics:

- Transparent window areas or window displays along at least 75% of the ground floor façade. The window area must cover the area between 2' and 8' above the sidewalk or walkway surface; or
- A combination of sculptural, mosaic, or bas-relief artwork, and transparent window areas or window displays (as described above) over at least 75% of the ground floor façade.

Pedestrian-Oriented Space - An area between a building and a street, access road, or along a pedestrian path which promotes visual and pedestrian access onto the site and which provides pedestrian-oriented amenities and landscaping to enhance the public's use of the space for passive activities such as resting, reading, picnicking, etc. To qualify as a pedestrian-oriented space, an area must have:

- Visual and pedestrian access (including handicapped access) into the site from a street, private access road, or non-vehicular courtyard;
- Paved walking surfaces of either concrete or approved unit paving;
- On-site or building-mounted lighting (fixtures no taller than 15') providing at least 4 foot candles (average) on the ground;
- Spaces must be positioned in areas with significant pedestrian traffic to provide interest and security, such as adjacent to a building entry; and
- Landscaping components that add visual interest and do not act as a visual barrier. This could include planting beds, potted plants, or both.

A pedestrian-oriented space is encouraged to have:

- Pedestrian amenities, such as a water feature, site furniture, artwork, drinking fountains, kiosks, etc;
- At least 2' of seating area (a bench or ledge at least 16" deep and appropriate seating height) or one individual seat per 60 SF of plaza area or open space;
- Adjacent buildings with transparent window and doors covering 75% of the façade between 2' and 8' above the ground level;
- Consideration of the sun angle at noon and the wind pattern in the design of the space; and
- Transitional zones along building edges to allow for outdoor seating areas and a planted buffer.

A pedestrian-oriented space shall not have:

- Asphalt or gravel pavement;
- Adjacent non-buffered parking lots or service areas;
- Adjacent chain-link fences;
- Adjacent "blank walls" without "blank wall treatment"; and
- Outdoor storage or retail sales that do not contribute to the pedestrian-oriented environment.

Pedestrian-Oriented Street –Pedestrian-Oriented Streets include:

- All Streets within the CBD.
- NE 175th St. between 131st Ave. NE and 140th Ave. NE.
- SR202 located in the Tourist District Overlay described in WMC 21.38.065.
- An undefined north/south corridor connecting NE 171st Street and Woodinville-Snohomish Road in the vicinity of 135th Avenue NE.

Pedestrian-Oriented Use (or Business) - A commercial enterprise whose customers commonly arrive by foot; or whose signage, advertising, window display, and entryways are oriented toward pedestrian traffic. Pedestrian-oriented businesses may include restaurants, retail shops, personal service businesses, travel services, banks (except drive-through windows), and similar establishments.

Scale, Human - The perceived size of a building relative to a human being. A building is considered to have “good” human scale if there is an expression of human activity or use that indicates the building's size. For example, traditionally sized doors, windows, and balconies are elements that respond to the size of the human body, so these elements in a building indicate a building's overall size.

Scale, Architectural - The perceived relative height and bulk of a building relative to that of neighboring buildings. A building's apparent height and bulk may be reduced by modulating façades.

Streetscape - The streetscape is the visual character of a street as determined by various elements such as structures, greenery, open space, views, etc.

TRC (Technical Review Committee) - An administrative review panel composed of department heads or designated representatives that conduct development review for the City.

Vernacular Façade - A unique expression of a building façade that is representative of a popular architectural expression that evolved in a specific geographic area or place during a particular period of time.