

**ORDINANCE NO. 489**

**AN ORDINANCE OF THE CITY OF WOODINVILLE, WASHINGTON CONCERNING THE 2009 ANNUAL DOCKET FOR AMENDMENTS TO THE WOODINVILLE MUNICIPAL CODE AND THE CITY ZONING MAP; MAKING FINDINGS OF FACT AND THE FOLLOWING AMENDMENTS:**

- 1. ADDING A NEW SECTION 21.06.297 TO THE WOODINVILLE MUNICIPAL CODE TO ESTABLISH THE DEFINITION OF "GROSS SQUARE FOOTAGE";**
- 2. AMENDING SECTION 21.08.030 OF THE WOODINVILLE MUNICIPAL CODE TO PROHIBIT ANY RESIDENTIAL USES ON THE GROUND FLOOR EXCEPT FOR LOBBIES AND FOYERS TO FRONT ONTO A PUBLIC STREET AND TO PROHIBIT RESIDENTIAL DWELLING UNITS WITHIN 300 FEET OF STATE ROUTE 522.**
- 3. AMENDING SECTION 21.08.050 OF THE WOODINVILLE MUNICIPAL CODE TO REMOVE SCHOOL DISTRICT SUPPORT FACILITY AS A PERMITTED USE IN THE CBD ZONE AND TO ADD A DEVELOPMENT CONDITION TO REQUIRE AUTOMOTIVE REPAIR AND AUTOMOTIVE SERVICES TO BE PROVIDED ONLY IN AN ENCLOSED, MIXED USE BUILDING IN THE CBD ZONE.**
- 4. AMENDING SECTION 21.08.055 OF THE WOODINVILLE MUNICIPAL CODE TO REMOVE PUBLIC AGENCY OR UTILITY YARD, PUBLIC AGENCY ARCHIVES, COURT, POLICE FACILITY, FIRE FACILITY AND INTERIM RECYCLING FACILITY AS PERMITTED USES IN THE PEDESTRIAN CORE DESIGN DISTRICT OF THE CBD ZONE AND REQUIRE ALL ACTIVITY ASSOCIATED WITH A PUBLIC AGENCY OR UTILITY OFFICE IN THE CBD ZONE TO TAKE PLACE WITHIN AN ENCLOSED BUILDING.**
- 5. AMENDING SECTION 21.08.060 OF THE WOODINVILLE MUNICIPAL CODE TO REMOVE SELF-SERVICE STORAGE AS A PERMITTED USE IN THE CBD ZONE AND REMOVE INDIVIDUAL TRANSPORTATION AND TAXI BASE, TRUCKING AND COURIER SERVICE, PASSENGER TRANSPORTATION SERVICE AND OUTDOOR ADVERTISING SERVICE AS PERMITTED USES IN THE PEDESTRIAN CORE AND CIVIC/GATEWAY DESIGN DISTRICTS OF THE CBD ZONE.**
- 6. AMENDING SECTION 21.08.060 OF THE WOODINVILLE MUNICIPAL CODE TO ADD A DEVELOPMENT CONDITION TO REQUIRE ALL ACTIVITY ASSOCIATED WITH CONSTRUCTION AND TRADE, INDIVIDUAL TRANSPORTATION AND TAXI BASE, MISCELLANEOUS EQUIPMENT RENTAL, AUTOMOTIVE RENTAL AND LEASING, AND RESEARCH, DEVELOPMENT AND TESTING TO TAKE PLACE WITHIN AN ENCLOSED BUILDING IN THE CBD ZONE.**
- 7. AMENDING SECTION 21.08.070 OF THE WOODINVILLE MUNICIPAL CODE TO REMOVE GASOLINE SERVICE STATION AS A PERMITTED USE IN THE PEDESTRIAN CORE AND CIVIC/GATEWAY DESIGN DISTRICTS OF THE CBD ZONE.**
- 8. AMENDING SECTION 21.08.070 OF THE WOODINVILLE MUNICIPAL CODE TO ADD DEVELOPMENT CONDITIONS TO LIMIT BUILDING, HARDWARE AND GARDEN MATERIALS STORES TO A MAXIMUM OF 24,000 SQUARE FEET OF GROSS FLOOR AREA IN THE PEDESTRIAN CORE DESIGN DISTRICT OF THE CBD ZONE, LIMIT FOOD STORES TO 10,000 SQUARE FEET OF GROSS FLOOR**

**AREA IN THE PEDESTRIAN CORE AND CIVIC/GATEWAY DESIGN DISTRICTS OF THE CBD ZONE, AND PROHIBIT OUTDOOR STORAGE OR DISPLAY AND DIRECT VEHICLE ACCESS TO A PUBLIC RIGHT OF WAY FOR MOTOR VEHICLE AND BOAT DEALERS IN THE CBD ZONE AND REQUIRE ALL ACTIVITY ASSOCIATED WITH MOTOR VEHICLE AND BOAT DEALERS IN THE CBD ZONE TO TAKE PLACE WITHIN AN ENCLOSED BUILDING.**

- 9. AMENDING SECTION 21.08.100 OF THE WOODINVILLE MUNICIPAL CODE TO REMOVE JAIL, SECURE COMMUNITY TRANSITION FACILITY, WORK RELEASE, PUBLIC AGENCY ANIMAL CONTROL FACILITY, PUBLIC AGENCY TRAINING FACILITY, OIL AND GAS EXTRACTION, WASTE WATER TREATMENT FACILITY, MUNICIPAL WATER PRODUCTION, AIRPORT/HELIPORT, LANDING FIELD, AND TRANSIT BUS BASE AS PERMITTED USES IN THE CBD ZONE AND REMOVE TRANSIT PARK AND RIDE LOTS, SCHOOL BUS BASE, RACETRACK, FAIRGROUNDS, AND ZOO/WILDLIFE EXHIBIT AS PERMITTED USES IN THE PEDESTRIAN CORE AND CIVIC/GATEWAY DESIGN DISTRICTS OF THE CBD ZONE.**
- 10. AMENDING SECTION 21.08.100 OF THE WOODINVILLE MUNICIPAL CODE TO ADD A DEVELOPMENT CONDITION TO ALLOW NON-HYDROELECTRIC GENERATION FACILITY IN THE CBD ZONE ONLY AS AN ACCESSORY USE TO A PERMITTED USE OR IF OPERATED BY A PUBLIC AGENCY AND REQUIRE THE FUEL SOURCE TO BE A RENEWABLE FUEL RESOURCE.**
- 11. AMENDING SECTION 21.12.040 OF THE WOODINVILLE MUNICIPAL CODE TO ESTABLISH IN THE CBD AND GB ZONES A BASE BUILDING HEIGHT OF 39 FEET, A STEP-BACK REQUIREMENT OF 10 FEET AFTER THE SECOND FLOOR AND A MAXIMUM BUILDING HEIGHT OF 51 FEET AND FOUR FLOORS THROUGH THE PROVISION OF CITY APPROVED INCENTIVES.**
- 12. AMENDING SECTION 21.12.040 OF THE WOODINVILLE MUNICIPAL CODE TO ESTABLISH 57 FEET AND FIVE FLOORS AS THE MAXIMUM BUILDING HEIGHT IN THE CBD ZONE AND 60 FEET AND FIVE FLOORS AS THE MAXIMUM BUILDING HEIGHT IN THE GB ZONE THROUGH THE PROVISION OF CITY APPROVED INCENTIVES.**
- 13. AMENDING SECTION 21.12.040 OF THE WOODINVILLE MUNICIPAL CODE TO LIMIT THE AGGREGATE GROSS FLOOR AREA OF ANY RETAIL BUSINESS IN THE CBD ZONE TO 80,000 SQUARE FEET IN THE LITTLE BEAR CREEK DESIGN DISTRICT, 25,000 SQUARE FEET IN THE CIVIC/GATEWAY DESIGN DISTRICT, 30,000 SQUARE FEET IN THE PEDESTRIAN CORE DESIGN DISTRICT, 150,000 SQUARE FEET IN THE EAST FRAME DISTRICT, 75,000 SQUARE FEET IN THE TRANSITION AREA DESIGN DISTRICT AND 35,000 SQUARE FEET IN THE OLD TOWN DISTRICT.**
- 14. AMENDING SECTION 21.12.040 OF THE WOODINVILLE MUNICIPAL CODE TO ESTABLISH A MAXIMUM FLOOR AREA TO LOT RATIO OF 2 TO 1 AS AN ALTERNATIVE MEASUREMENT OF RESIDENTIAL DENSITY IN THE CBD ZONE SUBJECT TO CERTAIN PROVISIONS.**
- 15. AMENDING SECTIONS 21.14.300 THROUGH 21.14.960 OF THE WOODINVILLE MUNICIPAL CODE TO ADD THE GB ZONE TO THE LIST OF ZONING DISTRICTS**

**SUBJECT TO THE DESIGN STANDARDS, A MAP AND DESCRIPTION OF THE DOWNTOWN DESIGN DISTRICTS, STREETScape STANDARDS, BUILDING HEIGHT INCENTIVES, PEDESTRIAN-ORIENTED STREET DESIGNATION FOR SPECIFIED STREETS IN THE CBD ZONE, A PROHIBITION OF CORPORATE & FRANCHISE ARCHITECTURE, DRIVE-THRU ACCESS, AND METAL SIDING, CLARIFICATION TO THE DEFINITION OF BLANK WALLS, AND ADDITIONAL DESIGN STANDARDS REGARDING SITE PLANNING, SIDEWALKS, PEDESTRIAN-ORIENTED SPACE, WEATHER PROTECTION, LANDSCAPING, INTERNAL ACCESS ROADS AND PEDESTRIAN CONNECTIONS, MIXED USE BUILDINGS, SCREENING OF PARKING LOTS, PARKING GARAGES, MECHANICAL EQUIPMENT, UTILITY APPARATUS AND REFUSE RECEPTACLES, PEDESTRIAN-ORIENTED STREETS AND BUILDINGS, PEDESTRIAN OPEN SPACE AT KEY STREET CORNERS, BUILDING DESIGN APPROVAL IS SUBJECT TO A FINDING BY THE PLANNING COMMISSION DESIGN REVIEW SUB-COMMITTEE THAT THE DESIGN COMPLIES WITH THE NORTHWEST WOODLAND CHARACTER DESIGN PRINCIPLES, ADDING A DEFINITION FOR EXCEPTIONAL DESIGN, FRANCHISE AND CORPORATE ARCHITECTURE AND RAIN GARDEN AND AMENDING THE DEFINITIONS FOR DIRECTOR, BLANK WALL, PEDESTRIAN-ORIENTED SPACE, AND PEDESTRIAN-ORIENTED STREET.**

**16. AMENDING SUBSECTION 21.38.050(5) OF THE WOODINVILLE MUNICIPAL CODE TO REMOVE THE 2 ACRE MINIMUM IN THE PEDESTRIAN-ORIENTED MIXED USE DEVELOPMENT SPECIAL DISTRICT OVERLAY, AND**

**17. AMENDING THE CITY OF WOODINVILLE ZONING MAP TO EXTEND THE PEDESTRIAN-ORIENTED MIXED USE OVERLAY DESIGNATION TO ALL PARCELS ZONED CENTRAL BUSINESS DISTRICT LOCATED WEST OF 131<sup>ST</sup> AVENUE NE.**

**PROVIDING FOR SEVERABILITY; PROVIDING FOR SUMMARY PUBLICATION BY TITLE ONLY; AND PROVIDING FOR AN EFFECTIVE DATE.**

**WHEREAS**, pursuant to the requirements of the Washington State Growth Management Act, the City of Woodinville is required to develop and adopt development regulations implementing its Comprehensive Plan;

**WHEREAS**, RCW 36.70A.130(4) requires that the City of Woodinville, a “fully planning” city within King County shall update its Comprehensive Plan and development regulations, as necessary, to reflect local needs, new data, and current laws;

**WHEREAS**, the Woodinville City Council has determined that certain amendments are necessary to keep the Comprehensive Plan, Development Code, Subdivision Code and Zoning Code updated and to accommodate the needs of its citizens;

**WHEREAS**, the Woodinville City Council has reviewed the amendments contained in this ordinance and finds that these amendments meet the required criteria in Ordinance No. 172 and WMC 21.46.030;

**WHEREAS**, a public hearing was held by the City of Woodinville Planning Commission on November 4, 2009;

**WHEREAS**, the requirements of the State Environmental Policy Act (SEPA) RCW 43.21C have been met;

**NOW, THEREFORE, THE CITY COUNCIL OF THE CITY OF WOODINVILLE,  
WASHINGTON, DO ORDAIN AS FOLLOWS:**

**Section 1. Findings.** The City Council hereby adopts the following findings in support of this ordinance, together with the recitals expressed above.

1. The 2009 Annual Docket Applications are organized into two broad categories: (1) Comprehensive Plan Amendments and (2) Development Code Amendments.
2. Pursuant to the City of Woodinville Municipal Code (WMC) Chapter 17, the Planning Commission is required to hold a public hearing on the amendments and make a recommendation to the City Council.
3. The Zoning Code and Zoning Map amendments are consistent with the required decision criteria found in WMC 21.46.030 and WMC 21.44.070. Analysis of the proposed amendments and decision criteria is contained in Attachment A, which is herein incorporated by reference.
4. The City SEPA Official reviewed the 2009 Annual Docket amendments for environmental impacts under SEPA (RCW 43.21C), and issued Determination of Non-Significances (DNS) on October 19, 2009. The appeal period ended without any comments or appeals being filed.
5. The Planning Commission reviewed the 2009 Annual Docket proposed Downtown Zoning Code and map amendments during its March 18, April 1, May 20, June 3 and 17, July 1, August 5 and 19, September 9, October 7 and 28 and November 4, 2009 public meetings.
6. To encourage public involvement, the City published a notice and held three public open house meetings on June 10, August 5, and November 4, 2009 to receive public comment on the 2009 Annual Docket proposed Downtown Zoning Code and Map amendments.
7. The Planning Commission held a public hearing for the 2009 Annual Docket proposed Downtown Zoning Code and Map amendments on November 4, 2009.
8. The Planning Commission received written comments and public testimony; deliberated and produced a public record and recommendations on the 2009 Annual Docket proposed Downtown Zoning Code and Map amendments during the November 4, and November 18, 2009 Planning Commission meetings.
9. The City Council considered the Planning Commission's public record and recommendations concerning the 2009 Annual Docket proposed Downtown Zoning Code and Map amendments at a public hearing on January 19, February 9, March 2, April 6, April 20, May 4, May 11, May 18, June 1, June 8, July 6, September 14, September 21, September 28, October 19, and November 2, 2010.
10. The City Council closed the public hearing and passed first reading of Ordinance No. 489 on November 2, 2010.
11. The City Council held second reading of Ordinance No. 489 on November 9, 2010.

**Section 2. Amendment to the City of Woodinville Zoning Map Adopted.** The City of Woodinville Zoning Map is hereby amended to read as set forth in Attachment B, which is attached hereto and incorporated herein by this reference as if set forth in full.

**Section 3. Amendment to Chapter 21.06 WMC Establishing Definition for “Gross Square Footage”.** A new section 21.06.297 is added to the Woodinville Municipal Code to read as follows:

**21.06.297 Gross Square Footage.**

Gross square footage: the sum of the gross horizontal areas of the floors of a building or buildings, measured from the exterior faces of exterior walls and from the centerline of division walls, and including basement space, garage space, elevator shafts and stairwells at each floor, mechanical equipment rooms and attic spaces with a headroom of more than seven feet, interior balconies, mezzanines and enclosed porches.

**Section 4. Amendment to Section 21.08.030 Residential Land Use of the Woodinville Municipal Code regarding prohibition of ground floor residential uses abutting a public street in the CBD zone and dwelling units within 300 feet of State Route 522** is hereby amended to read as set forth in Attachment C, which is attached hereto and incorporated herein by this reference as if set forth in full. New text is shown by underline; deleted text is shown by ~~strikethrough~~.

**Section 5. Amendment to Section 21.08.050 General Services Land Use of the Woodinville Municipal Code regarding automotive repair, automotive service, and school district support facility land uses in the CBD zone** is hereby amended to read as set forth in Attachment D, which is attached hereto and incorporated herein by this reference as if set forth in full. New text is shown by underline; deleted text is shown by ~~strikethrough~~.

**Section 6. Amendment to Section 21.08.055 Institutional Land Use of the Woodinville Municipal Code regarding public agency or utility office, public agency or utility yard, public agency archives, court, police facility, fire facility and interim recycling facility in the CBD zone** is hereby amended to read as set forth in Attachment E, which is attached hereto and incorporated herein by this reference as if set forth in full. New text is shown by underline; deleted text is shown by ~~strikethrough~~.

**Section 7. Amendment to Section 21.08.060 of the Woodinville Municipal Code regarding construction and trade, individual transportation and taxi base, trucking and courier service, self-service storage, passenger transportation service, outdoor advertising service, miscellaneous equipment rental, automotive rental and leasing, and research, development and testing land uses** is hereby amended to read as set forth in Attachment F, which is attached hereto and incorporated herein by this reference as if set forth in full. New text is shown by underline; deleted text is shown by ~~strikethrough~~.

**Section 8. Amendment to Section 21.08.070 of the Woodinville Municipal Code regarding building, hardware and garden material, food store, motor vehicle and boat dealer, and gasoline service station land uses** is hereby amended to read as set forth in Attachment G, which is attached hereto and incorporated herein by this reference as if set forth in full. New text is shown by underline; deleted text is shown by ~~strikethrough~~.

**Section 9. Amendment to Section 21.08.100 of the Woodinville Municipal Code regarding jail, secure community transition facility, work release facility, public agency animal control, public agency training facility, non-hydroelectric generation facility, oil and gas extraction, waste water treatment facility, municipal water production, airport/heliport, landing field, transit bus base, transit park and ride lot, school bus base, racetrack, fairground, and zoo/wildlife exhibit land uses** is hereby amended to read as set forth in Attachment H, which is attached hereto and incorporated herein by this reference as if set forth in full. New text is shown by underline; deleted text is shown by ~~strikethrough~~.

**Section 10. Amendment to Section 21.12.040 of the Woodinville Municipal Code regarding limits to building height and the maximum number of floors, building height incentives, building step-back requirement above the second floor, parking structure incentive, and limit to the maximum gross floor area of retail establishments in the CBD and GB zones and regarding the establishment of a Floor Area Ratio of 2.0 to determine residential density in the CBD zone** is hereby amended to read as set forth in Attachment I, which is attached hereto and incorporated herein by this reference as if set forth in full. New text is shown by underline; deleted text is shown by ~~strikethrough~~.

**Section 11. Amendment to Sections 21.14.300 through 21.14.960 of the Woodinville Municipal Code regarding the establishment of the GB zone as a Zoning District subject to the commercial design standards, a map and description of downtown design districts, streetscape standards, building height incentives, pedestrian-oriented street designation for specified streets in the CBD zone, large format retail store design standards, building design approval is subject to a finding by the Planning Commission Design Review Sub-committee that the design complies with the Northwest woodland character design principles, a prohibition of corporate & franchise architecture, drive-through access, and metal siding, definitions for exceptional design, franchise and corporate architecture and rain garden and additional design standards regarding site planning for front and interior yards, sidewalks, pedestrian-oriented space, weather protection, landscaping, internal access roads and pedestrian connections, mixed use buildings, screening of parking lots, parking garages, mechanical equipment, utility apparatus and refuse receptacles, pedestrian-oriented streets and buildings, pedestrian open space at key street corners, on-site pedestrian connections and open space, alternative internal access road design, and building exterior finishes and clarification to the definitions of blank walls, pedestrian-oriented space, and pedestrian-oriented streets** is hereby amended to read as set forth in Attachment J, which is attached hereto and incorporated herein by this reference as if set forth in full. New text is shown by underline; deleted text is shown by ~~strikethrough~~.

**Section 12. Amendment to Subsection 21.38.050(5) of the Woodinville Municipal Code to remove the 2 acre minimum in the Pedestrian-Oriented Mixed Use Development Special District Overlay** is hereby amended to read as set forth below. New text is shown by underline; deleted text is shown by ~~strikethrough~~.

**21.38.050 Special district overlay - pedestrian-oriented mixed use development.**

- (5) Criteria for use of development agreements. For the purposes of WMC 21.38.050, development that contemplates approval of higher development intensity through the voluntary use of a development agreement between the City and developer is reserved for developments that are determined by the Development Services Director (Director) to meet the following criteria:

- (a) The development parcel(s) is a minimum of two (2) acres.
- (b)(a) The development, whether single-story or multi-story, combines two or more distinct land use categories that are consistent with the City's Comprehensive Plan.

**Section 13. Authorization for changing the Zoning Map Adopted.** The Planning Director is hereby authorized and directed to make the necessary changes to the City's official Zoning Map as set forth in this Ordinance.

**Section 14. Severability.** Should any section, paragraph, sentence, clause, or phrase of this ordinance be held invalid or unconstitutional by a court of competent jurisdiction, such invalidity or unconstitutionality shall not affect the validity or constitutionality of any other section, sentence, clause, or phrase of this ordinance. Provided, however, that if any section, sentence, clause, or phrase of this ordinance, or any change in a land use designation is held to be invalid by a court of competent jurisdiction, or by the Growth Management Hearings Board, then the section, sentence, clause, phrase, or land use designation in effect prior to the effective date of this ordinance, shall be in full force and effect for that invalidated section, sentence, clause, phrase, or land use designation, as if this ordinance had never been adopted.

**Section 15. Copy to Commerce Department.** Pursuant to RCW 36.70A.106(3), the City Clerk is directed to send a copy of the amendments to the state Department of Commerce for its files within ten (10) days after adoption of this ordinance.

**Section 16. Effective Date.** The adoption of this ordinance, which is a power specifically delegated to the City legislative body, is not subject to referendum. This ordinance, or a summary thereof, shall be published in the official newspaper of the City, and shall take effect and be in full force five (5) days after the date of publication.

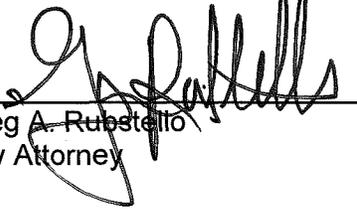
**ADOPTED BY THE CITY COUNCIL AND SIGNED IN AUTHENTICATION OF ITS PASSAGE THIS 9<sup>th</sup> DAY OF NOVEMBER, 2010.**

  
Charles E. Price, Mayor

ATTEST/AUTHENTICATED:

  
Jennifer Kuhn  
City Clerk/CMC

APPROVED AS TO FORM:  
OFFICE OF THE CITY ATTORNEY



Greg A. Rubstello  
City Attorney

PASSED BY THE CITY COUNCIL: 11-09-2010  
PUBLISHED: 11-15-2010  
EFFECTIVE DATE: 11-22-2010  
ORDINANCE NO. 489

**WMC 21.46.030 Required Findings for Zoning Code Amendments**

Pursuant to the City of Woodinville Municipal Code (WMC) Chapter 17, amendments to the Zoning Code must be recommended by the Planning Commission to the City Council for adoption. Amendments to the text of the Zoning Code may occur if the amendments comply with the criteria contained in WMC 21.46.030 and as provided below. The proposed Zoning Code Amendments ZCA009010, ZCA090011 and ZCA09013 are consistent and comply with the said criteria pursuant to the following comments and findings:

1. The amendments are consistent with the purposes of the Comprehensive Plan.

*The proposed amendment provides consistency with GMA and adds language to the zoning code to further implement the Comprehensive Plan and the Downtown Little Bear Creek Corridor Master Plan. The amendments encourage the development of pedestrian-oriented, mixed use development in the Central Business District and employment opportunities in the Little Bear Creek Corridor while protecting and enhancing the Little Bear Creek.*

2. The amendments are consistent with the purposes of this title (Zoning Code).

*The amendments are consistent with the general purposes of the Zoning Code. The amendments will provide for additional opportunities for economic and housing growth in the downtown that serve to implement the Comprehensive Plan.*

3. The benefit or avoided cost to the public health, safety and welfare is sufficient to warrant the action.

*The proposed amendments are expected to have positive impacts on public health, safety, and welfare by providing additional housing, employment and recreational opportunities in downtown in a safe and efficient manner.*

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**WMC 21.44.070 Required Findings for Zoning Map Amendment**

Zoning Map Amendment ZMA09003 to amend the Zoning Map to extend the Pedestrian-oriented Mixed Use Overlay to all Central Business District (CBD) zoned land west of 131st Avenue NE is consistent with the applicable criteria contained in WMC 21.44.070 pursuant to the following comments and findings:

Consistent with the Comprehensive Plan and applicable functional plans.

*Comment & Finding:* The Comprehensive Plan Future Land Use Map shows the proposed expansion area with the Pedestrian-oriented Mixed Use Overlay applied. The amendment to the Zoning Map would make these two maps consistent.

1. There is a demonstrated need for additional zoning as the type proposed.

Ordinance No. 489 Attachment A – Zoning Code & Map Amendment Criteria

*Comment & Finding:* The City's additional housing allocation pursuant to the Growth Management Act for the 2031 planning horizon creates the need for more housing opportunities in the downtown.

2. The zone reclassification is consistent and compatible with uses and zoning of the surrounding properties.

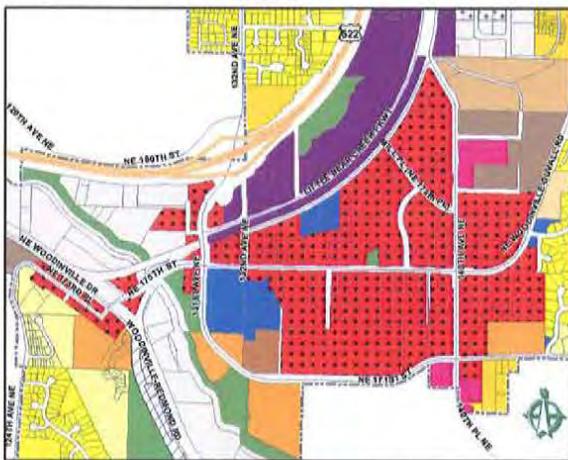
*Comment & Finding:* This proposed amendment will allow property owners of CBD zoned parcels west of 131<sup>st</sup> Avenue the same opportunities for mixed-use developments as the property owners of CBD zoned parcels east of 131<sup>st</sup> Avenue.

3. The property is practically and physically suited for the uses allowed in the proposed zone reclassification.

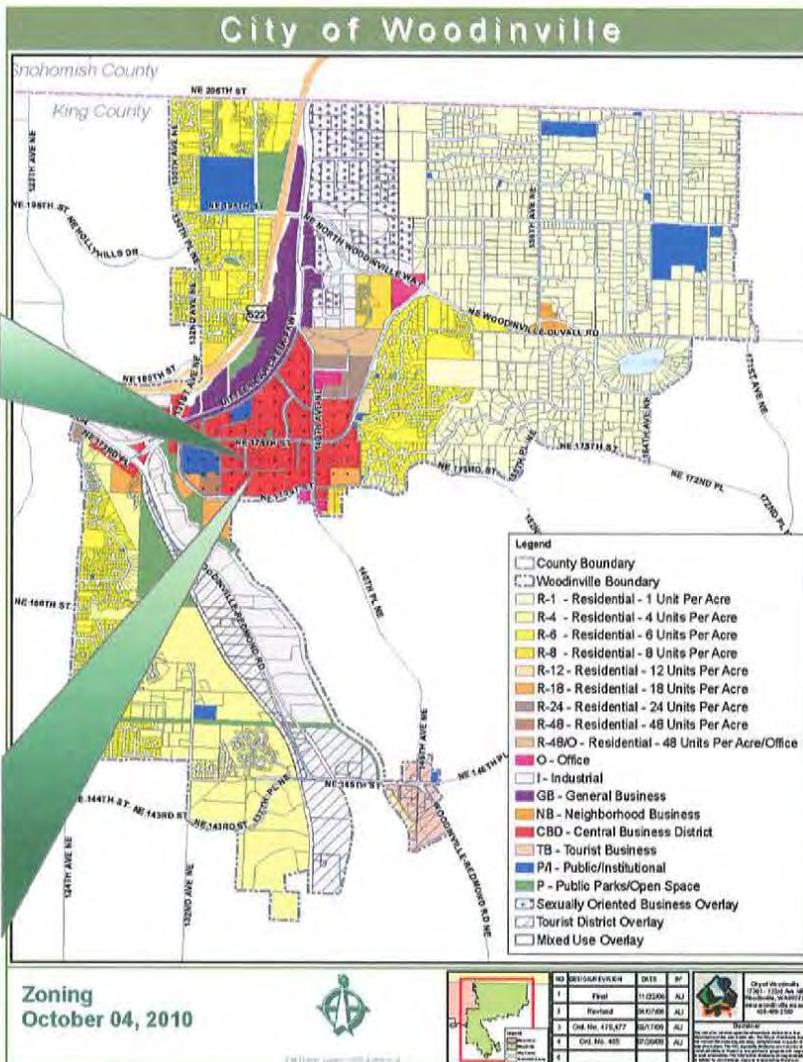
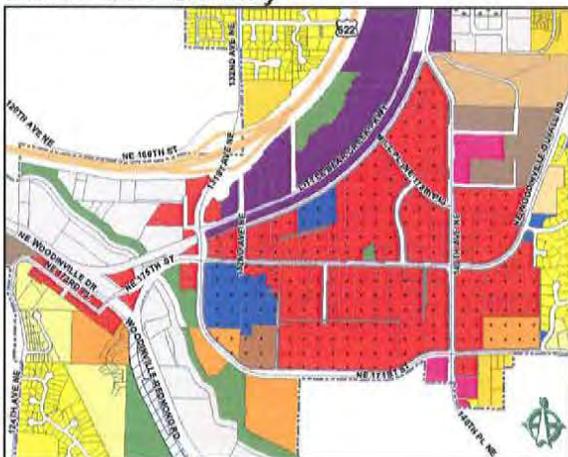
*Comment & Finding:* The proposed building height incentives and the removal of the 2 acre minimum in the Pedestrian-Oriented Mixed Use Overlay makes it feasible for commercial/residential mixed-use development on the smaller CBD zoned parcels located west of 131<sup>st</sup> Avenue.

ZMA09003 Pedestrian Oriented Mixed Use Overlay Zoning Map Amendment

Proposed Pedestrian-Oriented Mixed Use Overlay (Ordinance 489)



Current Pedestrian-Oriented Mixed Use Overlay



WMC 21.08.030 A.  RESIDENTIAL LAND USE  <b>KEY</b> P – PERMITTED USE C – CONDITIONAL USE S – SPECIAL USE		Z O N E S										
		Residential				Commercial/Industrial/Public						
		L o w	M o d e r a t e	M e d i u m	H i g h	N e i g h b o r h o o d	T o u r i s t	G e n e r a l	C e n t r a l	O f f i c e	I n d u s t r i a l	P u b l i c
NAICS#	SPECIFIC LAND USE	R1-4	R5-8	R9-18	R19+	NB	TB	GB	CBD	O	I	P/I
	<b>Dwelling Units, Types:</b>											
*	Single Detached	P, C19	P, C19	P								
*	Duplex	P10	P10	P10	P10							
*	Townhome	C10 12	C7, 10 12	P	P		P20		<u>P1, 21</u>	P18		
*	Apartment		P11	P	P		P20		<u>P1, 21</u>	P18		
*	Mobile Home Park		P	P					<u>P 21</u>			
623311 623312	Senior Citizen Assisted (see 21.06.188 for definition)		P11	P	P				<u>P1, 21</u>			
	<b>Group Residences:</b>											
*	Community Residential Facility	C15	C15	P15	P15				<u>P15, 1, 21</u>			P15
721310	Dormitory	C2	C2	P2	P2				<u>P2, 1, 21</u>		P2	P13
	<b>Accessory Uses:</b>											
*	Residential Accessory Uses	P3	P3	P3	P3				P3			P16
*	Home Occupation (8)	P	P	P	P				P			
*	Home Industry (9)	C	C	C	C							
	<b>Temporary Lodging:</b>											
721110	Hotel/Motel						P5	P	P			
721191 *	Bed and Breakfast Inns	P6	P6	P6			P5		P6			
721310	Organization Hotel/Lodging											
624221 *	Temporary Shelter								P4			P17
* 721199	Youth Hostel						P5		P14			
GENERAL CROSS REFERENCES: Land Use Table Instructions, see WMC 21.08.020 and 21.02.070 Development Standards, see WMC 21.12.through 21.30 General Provisions, see WMC 21.32 through 21.38						Application and Review Procedures, see WMC 21.40 through 21.44 Tourist District Regulations, see WMC 21.38.065 R-48/O Regulations, see WMC 21.28.030 (* ) Definition of the specific Land Use, see WMC 21.06						

**21.08.030 B DEVELOPMENT CONDITIONS**

- (1) (Reserved-) Residential dwelling units are not permitted on the ground floor or below grade abutting a public street. Foyers or lobbies providing access to dwelling units may front onto a public street.
- (2) Only as an accessory to a school, college/university, church, or fire station.
- (3) (a) Accessory dwelling units:
  - (i) Only one accessory dwelling per lot;
  - (ii) The primary residence or the accessory dwelling unit shall be owner occupied;
  - (iii) If the accessory dwelling unit is a separate structure, the accessory dwelling unit shall not be larger than fifty percent of the living area of the primary residence;
  - (iv) One additional off-street parking space is provided; and
  - (v) The accessory dwelling unit shall be converted to another permitted use or shall be removed if one of the dwelling units ceases to be owner occupied.
- (b) Accessory Aircraft: One single or twin engine, general aviation aircraft shall be permitted only on lots which abut, or have a legal access which is not a public right-of-way, to a waterbody or landing field, provided:
  - (i) No aircraft sales, service, repair, charter or rental;
  - (ii) No storage of aviation fuel except that contained in the tank or tanks of the aircraft; and
  - (iii) Storage hangars shall not exceed twenty feet in height above average finished grade or have a gross area exceeding 3,000 square feet.
- (4) Only as an accessory use to an institution, school, public agency, church, synagogue, temple, or non-profit community organization.
- (5) See WMC 21.38.065 Special district overlay – Tourist District.
- (6) Only as an accessory to the permanent residence of the operator, provided:
  - (a) Serving meals to paying guests shall be limited to breakfast;
  - (b) The number of guest rooms shall not exceed three; and
  - (c) The fee owner of the residence serving as a bed & breakfast must reside on the premises.
- (7) A conditional use permit is not required if the townhomes are approved through subdivision review or if the project is in the R-8 zone.
- (8) Home Occupations are subject to the requirements and standards contained in Section 21.30.040.
- (9) Home Industries are subject to the requirements and standards contained in Section 21.30.050.
- (10) Townhomes and duplexes must be compatible in design, height, color, style, and materials with existing neighborhood.
- (11) Permitted only in the R-8 zone.
- (12) Permitted only in the R-4 and R-6 zones, on parcels where protection of critical areas prohibit traditional single-family development.
- (13) Only as an accessory to a public school.
- (14) Also permitted in the Tourist District. See WMC 21.38.065.
- (15) The number of occupants shall not exceed the occupant load of the structure, calculated as provided in the WMC 15.09 Construction Codes, or as may be hereafter amended.
- (16) Only as an accessory to a permitted use.
- (17) Only as an accessory to an institution, school, or public agency.
- (18) Limited to current location. No new townhomes or apartments are permitted in the office zone except on the site currently containing townhomes or apartments on January 1, 2002.
- (19) A Conditional Use Permit is required for a single-family structure exceeding 8,500 gross square feet in the R-1 through R-6 zones.
- (20) Residential development is not permitted on the ground floor and is only permitted as part of a development that integrates residential with tourist-oriented business development and is conditioned through a development agreement with the City that ensures a City approved economic analysis will be provided and the proposed mixed-use development meets the vision and goals of the Tourist District Master Plan. No more than 25% of the entire area development may include residential uses. No direct residential dwelling unit entrances or exits may be permitted on to NE 148th Avenue NE, NE 145th Street, or Woodinville-Redmond Road.
- (21) Residential dwelling units are not permitted within 300 feet of State Route 522.

Ordinance No. 489 - Attachment D

<p><b>WMC 21.08.050A.</b></p> <p><b>GENERAL SERVICES</b></p> <p><b>LAND USE</b></p> <p><b>KEY</b></p> <p>P – PERMITTED USE</p> <p>C – CONDITIONAL USE</p> <p>S – SPECIAL USE</p>		Z O N E											
		Residential				Commercial/Industrial/Public							
		L o w	M o d e r a t e	M e d i u m	H i g h	N e i g h b o r h o o d	T o u r i s t B u s i n e s s	G e n e r a l B u s i n e s s	C e n t r a l B u s i n e s s	O f f i c e	I n d u s t r i a l	P u b l i c	I n s t i t u t i o n
NAICS#	SPECIFIC LAND USE	R1-4	R5-8	R9-18	R19+	NB	TB	GB	CBD	O	I	P/I	
	<b>Personal Services:</b>												
8121	General Personal Service					P20	P	P	P	P3 23		P18	
81232	Dry-cleaning & Laundry Services					P33					P		
812332	Industrial Launderers										P		
81221	Funeral Home/Crematory	C4	C4	C4	C4			P	P				
81222	Cemetery, Columbarium	P26, C5	P26, C5	P26 C5	P26 C5			P26 C5	P26 C5				
*	Day care I	P6	P6	P6	P6	P		P	P	P7 23	P7	P18	
*	Day care II	P8	P8	P8	P8	P		P	P		P7	P18	
*54190	Veterinary Services					P10		P10	P10		P		
81111- 81112	Automotive repair (1)					P11		P	P 22		P	P	
81119	Automotive service					P11	P11	P	P 22		P		
8112	Miscellaneous repair							P	P		P		
6241- 6243	Social Services	P12, C13	P12 C13	P12 C13	P12 C13	P13			P	P23		P	
*	Stable	P14, C											
*812910	Pet Care Services (2)	C9						P27, 36	P27, 35		P27, 36		
	<b>Health Services:</b>												
6211- 6214	Office/Outpatient Clinic	P12, 30 C13, 30	P12 30, C13 30	P12 30, C13 30	P12 30 C13 30	P			P30	P30		P18 30	
6231- 6232	Nursing and Personal Care Facilities					C30			P30			P18, 30	
62211	Hospital								P30			P18 30	
6215 339116	Medical / Dental Lab								P30		P30	P18 30	
62199	Miscellaneous Health									P3 23		P18 30	
	<b>Education Services:</b>												
61111	Elementary or Middle/Junior High School	P16, 30 C30	P16 30 C15, 30	P16 30 C30	P16 30 C30				C30	C30 31		P30	

**Ordinance No. 489 - Attachment D**

NAICS#	SPECIFIC LAND USE	R1-4	R5-8	R9-18	R19+	NB	TB	GB	CBD	O	I	P/I
61111	Secondary or High School	P16 30 C30	P16 30 C15 30	P16 30 C30	P16 30 C30				P30			P30
61151*	Vocational School							P30	P30	P17 20 23	P30	P30
*	Specialized Instruction School	P19, 30	P19 30	P19 30	P19 30	P			P30		C32	P21 30
*	Preschool	C28, 30	C28 30	C28 30	C28 30	P			P30			P21 30
*	School District Support Facility	C25 30	C25 30	C25 30	C25 30			P30	<b>P30</b>		P30	P30
611620	Gymnastic Schools								P29 30		P29 30	
611620	Sports & recreational Instruction					P24						
611699	Misc. Schools & Instruction					34						
<p align="center"><b>GENERAL CROSS REFERENCES:</b></p> <p>Land Use Table Instructions, see WMC 21.08.020 and 21.02.070  Development Standards see WMC 21.12. through 21.30  General Provisions see WMC 21.32. through 21.38</p> <p align="right">R-48/O Regulations, see WMC 21.38.030  (*) Definition of the specific Land Use, see WMC 21.06  Tourist District Regulations, see WMC 21.38.065  Application and Review Procedures, see WMC 21.40 through 21.44</p>												

**21.08.050 B DEVELOPMENT CONDITIONS**

- (1) Except NAICS Industry No. 326212-Tire Retreading, see manufacturing permitted use table.
- (2) Excluding dog pounds.
- (3) Permitted only on sites with a High Density Residential (R-48)/Office zone designation and limited to NAICS Industry Group and Industry Nos.:
  - (a) 81211-Beauty Shops,
  - (b) 81211-Barber Shops, and
  - (c) 81232-Garment Pressing and Agents for Laundries and Dry cleaners.
- (4) Only as an accessory to a cemetery.
- (5) Structures shall maintain a minimum distance of 100 feet from property lines adjoining residential zones.
- (6) Only as an accessory to residential use, provided:
  - (a) Outdoor play areas shall be completely enclosed by a solid wall or fence, with no openings except for gates, and have a minimum height of six feet; and
  - (b) Outdoor play equipment shall maintain a minimum distance of twenty feet from property lines adjoining residential zones;
  - (c) Only two non-resident staff is present on-site at any one time.
- (7) Permitted as an accessory use, see commercial/industrial accessory, WMC 21.08.060A.
- (8) Only as a re-use of a public school facility subject to the provisions of WMC 21.32, an accessory use to a school or church, provided:
  - (a) Outdoor play areas shall be completely enclosed by a solid wall or fence, with no openings except for gates and have a minimum height of six feet;
  - (b) Outdoor play equipment shall maintain a minimum distance of twenty feet from property lines adjoining residential zones;
  - (c) Direct access to a developed arterial street shall be required in any residential zone; and
  - (d) Hours of operation may be restricted to assure compatibility with surrounding development.
- (9) Only as an accessory use to a residential use, provided:
  - (a) No more than 20% of the area of the residential use is dedicated to pet care services.
  - (b) The portion of the building in which animals are kept shall be soundproof.
  - (c) No exotic animal is permitted at any time.
- (10)
  - (a) No burning of refuse or dead animals is allowed;
  - (b) The portion of the building or structure in which animals are kept or treated shall be

## Ordinance No. 489 - Attachment D

soundproofed. All run areas, excluding confinement areas for livestock, shall be surrounded by an eight-foot solid wall and surface with concrete or other impervious material; and

- (c) The provisions of WMC 21.30 relative to animal keeping are met.
- (11) Only as an accessory to a gasoline service station, see retail and wholesale permitted use table.
- (12) Only as a re-use of a public school facility subject to the provisions of WMC 21.32.
- (13) Only as a re-use of surplus non-residential facility subject to WMC 21.32.
- (14) Covered riding arenas shall not exceed 20,000 square feet; stabling areas, whether attached or detached, shall not be counted in this calculation and subject to the provisions of 21.30.030.
- (15) Limited to projects which do not require or result in an expansion of the sewer local service area (LSA), unless a finding is made that no cost effective alternative technologies are feasible, in which case a tightline to a sewer sized only to meet the needs of the school may be used.
- (16) Only as a re-use of a public school facility subject to the provisions of WMC 21.32. An expansion of such school facility shall be subject to approval of a conditional use permit and the expansion shall not require or result in an extension of the sewer local service area (LSA), unless a finding is made that no cost effective alternative technologies are feasible, in which case a tightline to a sewer sized only to meet the needs of the school may be used.
- (17) All instruction must be within an enclosed structure.
- (18) Only as an accessory to a hospital or other permitted institutional use.
- (19) Only as an accessory to residential use, provided:
  - (a) Students are limited to twelve in any twenty-four hour period;
  - (b) All instruction must be within an enclosed structure; and
  - (c) Structures used for the school shall maintain a distance of twenty-five feet from property lines adjoining residential zones.
- (20) Nail salons and similar uses designated as NAICS No. 812113 are permitted only if the business is connected to a public sewer.
- (21) Limited to publicly owned facilities.
- (22) ~~Reserved.~~ Services and other business and commercial activities shall only be provided in an enclosed, residential and commercial mixed-use building.
- (23) Not permitted on sites contiguous to property designated Low Density Residential or less by the City of Woodinville adopted Comprehensive Plan. This limitation also applies to sites in unincorporated King County with equivalent designations.
- (24) Limited to martial arts instruction, yoga instruction and fitness instruction and training.
- (25) Only when adjacent to an existing or proposed school.
- (26) Limited to columbarium's accessory to a church provided that existing required landscaping and parking are not reduced.
- (27)
  - (a) The portion of the building in which animals are kept shall be soundproof.
  - (b) All run areas and confinement areas shall be within the building.
  - (c) No exotic animal is permitted at this time.
- (28) Operation limited to the hours between 8:30 a.m. and 3:30 p.m., Monday through Friday. A maximum of twelve (12) children at any one time may be present, with no more than twenty-four (24) children permitted in a twenty-four (24) hour period.
- (29) Gymnastics schools are allowed, subject to the following conditions:
  - (a) A gymnastic school shall be a member in good standing of the United States Gymnastics Federation.
  - (b) A gymnastic school shall demonstrate conformance to guidelines of the United States Gymnastics Federation for equipment used for gymnastics instruction.
  - (c) A safe student "pick-up/drop-off" area that does not interfere with local traffic shall be provided.
  - (d) Retail sales at a gymnastic school shall be limited to gymnastic-related items, and the retail sales area shall not exceed 500 square feet.
- (30) If use abuts an agriculturally zoned property, the following conditions apply:
  - (a) Buildings and parking areas must be set back 50 feet from the property line abutting a agriculturally zoned parcel;
  - (b) 50 feet of Type II landscaping is required in the setback; and

Ordinance No. 489 - Attachment D

- (c) Non-emergency access through or to the agriculturally zoned parcel is prohibited.
- (31) Elementary/Junior High Schools are allowed in Office Zones that are adjacent to the Urban Growth Area Boundary.
- (32) Limited to dance instruction and subject to the following conditions:
  - (a) Pedestrian walkways shall be clearly marked.
  - (b) The business owner shall provide to the City a signed statement by the building owner declaring that High Hazard Occupancies (Type H Occupancies as defined in WMC15.09 Construction Code) shall not be located in any spaces adjacent to the dance instruction facility; or the facility shall be located in a single occupancy building.
  - (c) Retail sales shall be limited to dance-related items, and the total retail sales area shall not exceed 500 square feet.
  - (d) On site food preparation is prohibited.
  - (e) A safe pedestrian "pick-up/drop-off" area that does not interfere with local traffic shall be provided.
- (33) Service limited to:
  - (a) Drop-off and pick-up only,
  - (b) Gross floor area of 1800 square feet, and
  - (c) The cleaning technology used at the off-site laundry cleaning process facility to clean clothing delivered for pick-up is restricted to certified non-toxic products and chemicals. Proof of compliance with this requirement shall be provided to the Director of Development Services or his designee upon request on a form approved by the Director.
- (34) These facilities may not provide shower and bathing facilities, hot tubs, spas, swimming pools, or other uses that use a large volume of water.
- (35) Only grooming and training services are permitted.
- (36) No burning of refuse or dead animals is allowed.

<p><b>WMC 21.08.055A.</b>  <b>INSTITUTIONAL</b>  <b>LAND USE</b></p> <p><b>KEY</b>                      P – PERMITTED USE                      C –CONDITIONAL USE                      S – SPECIAL USE</p>		<b>Z O N E</b>											
		<b>Residential</b>				<b>Commercial/Industrial/Public</b>							
		L o w	M o d e r a t e	M e d i u m	H i g h	N e i g h b o r h o o d	T o u r i s t	G e n e r a l	C e n t r a l	O f f i c e	I n d u s t r i a l	P u b l i c	P u b l i c
NAICS#	SPECIFIC LAND USE	R1-4	R5-8	R9-18	R19+	NB	TB	GB	CBD	O	I	P/I	
*	Public agency or utility office	P1, 9 C2, 9	P1, 9 C2, 9	P1, 9 C2, 9	P1, 9 C2, 9			P9	P9, 15	P9		P9	
*	Public agency or utility yard	P3, 9	P3, 9					P9	P9, 13		P9	P9	
*	Public agency archives							P9	P9, 13	P14	P9	P9	
92211	Court								P9, 13			P9	
92212	Police Facility					P5		P9	P9, 13		P9	P9	
92216	Fire Facility	C4, 9	C4, 9	C4, 9	C4, 9		P9 C4	P9	P9, 13		P9	P9	
*	Utility Facility	P9	P9	P9	P9		P9	P9	P9		P9	P9	
*	Minor Communication Facility (6)	C9	C9	C9	C9		C9	P9	P9	P9 14	P9	C9 12	
*	Private Stormwater Management Facility	P7 9	P7 9	P7 9	P7 9		P8 9	P8 9	P8, 9	P8 9, 14	P8 9	P9	
*	Interim Recycling Facility	P9 10, 11	P9 10, 11	P9 10, 11	P9 10, 11	P10		P9	P9, 13		P9	P9 12	
<p>GENERAL CROSS REFERENCES:                      Land Use Table Instructions, see WMC 21.08.020 and 21.02.070                      Development Standards see WMC 21.12. through 21.30                      General Provisions see WMC 21.32. through 21.38</p>						<p>R-48/O Regulations, see WMC 21.38.030                      (*) Definition of the specific Land Use, see WMC 21.06                      Tourist District Regulations, see WMC 21.38.065                      Application and Review Procedures, see WMC 21.40 through 21.44</p>							

**21.08.055 B DEVELOPMENT CONDITIONS**

- (1) Only as a re-use of a public school facility subject to the provisions of WMC 21.32.
- (2) Only as a re-use of a surplus non-residential facility subject to WMC 21.32.
- (3) Limited to material storage for road maintenance facilities.
- (4)
  - (a) All buildings and structures shall maintain a minimum distance of twenty feet from property lines adjoining residential zones;
  - (b) Any buildings from which fire-fighting equipment emerges onto a street shall maintain a distance of thirty-five feet from such street; and
  - (c) No outdoor storage.
- (5) Limited to Police Substation Facilities.
- (6) Minor communication facilities shall be regulated relative to setback and height pursuant to

Ordinance No. 489 - Attachment E

WMC Chapter 21.12.

- (7) Such facilities shall be located on the same lot that they are designed to serve except in subdivisions that set aside a separate tract for such facilities.
- (8) Such facilities which are not located on the lot they are designed to serve shall be located on a lot with the same or more intensive zoning designation.
- (9) If use abuts an agriculturally zoned property, the following conditions apply:
  - (a) Buildings and parking areas must be set back 50 feet from the property line abutting a agriculturally zoned parcel;
  - (b) 50 feet of Type II landscaping is required in the setback; and
  - (c) Non-emergency access through or to the agriculturally zoned parcel is prohibited.
- (10) Limited to drop box facilities accessory to a public or community use such as a school, fire station, or community center.
- (11) All processing and storage of material shall be within enclosed buildings and excluding yard waste processing.
- (12) Limited to publicly owned facilities.
- (13) ~~(Reserved)~~. Not permitted in the Pedestrian Core Design District, see WMC 21.14.310.
- (14) Not permitted on sites contiguous to property designated Low Density Residential or less by the City of Woodinville adopted Comprehensive Plan. This limitation also applies to sites in unincorporated King County with equivalent designations.
- (15) No outdoor storage or display. All activity associated with permitted use shall take place within an enclosed building

Ordinance No. 489 – Attachment F

<p><b>WMC 21.08.060 A</b></p> <p><b>BUSINESS SERVICES LAND USE</b></p> <p><b>KEY</b>                  P – PERMITTED USE                  C – CONDITIONAL USE                  S – SPECIAL USE</p>	<b>Z O N E</b>											
	<b>Residential</b>				<b>Commercial/Industrial/Public</b>							
	L o w	M o d e r a t e	M e d i u m	H i g h	N e i g h b o r h o o d	T o u r i s t B u s i n e s s	G e n e r a l B u s i n e s s	C e n t r a l B u s i n e s s	O f f i c e	I n d u s t r i a l	P u b l i c	I n s t i t u t i o n

NAICS#	SPECIFIC LAND USE	R1-4	R5-8	R9-18	R19+	NB	TB	GB	CBD	O	I	P/I
233-235	Construction and Trade							P	<u>P9</u> <u>17</u>	P10 7	P	
*	Individual Transportation & Taxi Base							P	<u>P17, 20</u>			
4841-2 492	Trucking and Courier Service							P	<u>P12, 20</u>	P13 7	P	
493	Warehousing, (I) and Wholesale Trade										P	
53113 *	Self-Service Storage			C14	C14			P	<b>P</b>	P7 11	P	
49313, 49312	Farm Product Warehousing, Refrigeration and Storage										P	
*	Log Storage										P	
4882, 48849, 488991	Transportation Service							P			P	
48851	Freight and Cargo Service							P		P10 7	P	
5615	Passenger Transportation Service							P	<u>P20</u>	P7		
51322	Communication Offices							P	P	P7	P	
5133	Telegraph and other Communications							P	P	P7	P	
*	General Business Service					P8	P	P	P	P	P16	
*	Professional Office					P	P26 27	P	P	P	P16	P3
54185	Outdoor Advertising Service							P	<u>P20</u>	P17 7	P	
323114 561439	Photocopying and duplicating Service					P15 28	P					
53212 5322-4	Miscellaneous Equipment Rental							P	<u>P17</u>		P	P4
53211	Automotive Rental and Leasing							P	<u>P17</u>			
81293	Automotive Parking	P19	P19	P19	P19			P	P		P	P5
711211 7113 - 4	Professional Sport Teams/Promoters							P	P7			
5417 * 8113	Research, Development and Testing Heavy Equipment and Truck Repair							P2	<u>P2, 17</u>		P2	P6
*	Commercial/Industrial Accessory Uses		P22				P22	P	P	P7	P	
561431	Mailbox Rental Services					P15 28						
*	Helistop					C23	C23	C24	C24	C23 7	C2 4	C24

GENERAL CROSS REFERENCES:  
 Land Use Table Instructions, see WMC 21.08.020 and 21.02.070  
 Development Standards, see WMC 21.12.through 21.30  
 General Provisions, see WMC 21.32 through 21.38

Application and Review Procedures, see WMC 21.40 through 21.44  
 Tourist District Regulations, see WMC 21.38.065  
 R-48/O Regulations, see WMC 21.28.030  
 (\*) Definition of the specific Land Use, see WMC 21.06

**21.08.060 B DEVELOPMENT CONDITIONS**

- (1) Except self-service storage.
- (2) Except NAICS Industry No. 54172-Commercial Economic, Sociological, and Educational Research, see general business service/office.
- (3) Only as a government, public agency, community service, or nonprofit use, or as an accessory to a permitted use.
- (4) Only as an accessory to a permitted use.
- (5) Only as an accessory to a permitted use and as a facility fully accessible to the public.
- (6) Only as a medical research and development facility associated with a hospital or other medical service provider.
- (7) Not permitted on sites contiguous to property designated Low Density Residential or less by the City of Woodinville adopted Comprehensive Plan. This limitation also applies to sites in unincorporated King County with equivalent designations.
- (8) Except for NAICS Major Group No. 541, 561 and 323.
- (9) No outdoor storage of materials.
- (10) Limited to office uses. No storage of non-office equipment, tools, machinery, supplies or commercial vehicles exceeding one-ton capacity.
- (11) Limited to current location. No new self-storage land uses are permitted in the office zone as of January 1, 2003.
- (12) Limited to self-service household moving truck or trailer rental accessory to a gasoline service station and NAICS Industry No. 49211-Courier Services, except by air.
- (13) Limited to NAICS Industry No. 49211-Courier Services, except by air.
- (14) Accessory to an apartment development of at least twelve units provided:
  - (a) The gross floor area in self-service storage shall not exceed fifty percent of the total gross floor area of the apartment dwellings on the site;
  - (b) All outdoor lights shall be deflected, shaded and focused away from all adjoining property;
  - (c) The use of the facility shall be limited to dead storage of household goods,
  - (d) No servicing or repair of motor vehicles, boats, trailers, lawn mowers or similar equipment;
  - (e) No outdoor storage or storage of flammable liquids, highly combustible or explosive materials or hazardous chemicals;
  - (f) No residential occupancy of the storage units;
  - (g) No business activity other than the rental of storage units to the apartment dwellings on the site; and
  - (h) A resident Manager shall be required on the site and shall be responsible for maintaining the operation of the facility in conformance with the conditions of approval.
- (15) Service limited to the use of dry ink toner copying only, and toxic chemical usage for any of the processing equipment, either as part of the process, or for cleaning and maintenance of equipment is prohibited.
- (16) Only as an accessory use to another permitted use, not to exceed forty-nine percent of gross floor area.
- (17) No outdoor storage or display. All activity associated with permitted use shall take place within an enclosed building.
- (18) (Reserved).
- (19) Limited to commuter parking facilities for users of transit, carpools or ride-share programs, provided:
  - (a) They are located on existing parking lots for churches, schools, or other permitted nonresidential uses which have excess capacity available during commuting hours; and
  - (b) The site is adjacent to a designated arterial that has been improved to a standard acceptable to the Public Works Department.
- (20) (Reserved): Not permitted in the Pedestrian Core Design District or Civic/Gateway Design District, see WMC 21.14.310.

Ordinance No. 489 – Attachment F

- (21) (Reserved).
- (22) Storage limited to accessory storage of commodities sold at retail on the premises or materials used in the fabrication of commodities sold on the premises.
- (23) Limited to emergency medical evacuation sites in conjunction with police, fire or health service facility.
- (24) Allowed as accessory to an allowed use; or limited to emergency evacuation sites in conjunction with police, fire or health service facility.
- (25) (Reserved).
- (26) Permitted Professional Office uses shall be limited to the following NAICS Major Group and Industry Numbers:
  - (a) 5242 - Insurance Agents, Brokers and Service,
  - (b) 53121 - Real Estate Agents and Managers
  - (c) 54111 - Legal Services
  - (d) 541330 - Engineering Services
  - (e) 541611 - Administrative Management and General Management Consulting Services, and
  - (f) 54182 - Public Relations Services
- (27) A maximum of 20% of the gross square footage of the ground floor of any building may be used for professional office uses, and up to 40% of gross square footage of floors above the ground floor for the entire development may be used for professional office uses.
- (28) Services such as photographic processing, photo printing or other types of photo processing that employ wet chemical processes are prohibited.

Ordinance No. 489 – Attachment G

WMC 21.08.070A.  RETAIL LAND USE  <b>KEY</b> P – PERMITTED USE C – CONDITIONAL USE S – SPECIAL USE		Z O N E										
		Residential				Commercial/Industrial/Public						
		L o w	M o d e r a t e	M e d i u m	H i g h	N e i g h b o r h o o d	T o u r i s t  B u s i n e s s	G e n e r a l  B u s i n e s s	C e n t r a l  B u s i n e s s	O f f i c e	I n d u s t r i a l	P u b l i c
NAICS#	SPECIFIC LAND USE	R1-4	R5-8	R9-18	R19+	NB	TB	GB	CBD	O	I	P/I
*	Building, Hardware and Garden Materials					P2	P	P	P4, 28			
*	Forest Products Sales										P	
*	Department and Variety Stores						P5	P	P			
445	Food Stores					P	P	P	P29			
*	Agricultural Crop Sales	P3, 7										
*	Motor Vehicle and Boat Dealers							P	P8, 30, 31			
4413	Auto Supply Stores							P9				
4471	Gasoline Service Stations					P	P	P	P12, 27			
448	Apparel, Jewelry and Accessory Stores					P	P		P			
*	Furniture and Home Furnishings Stores						P21	P	P			
722	Eating and Drinking Places					P10 P16	P10 P16	P	P12	P17	P6	P1
*	Tasting Room							P	P	P12	P26 C25	
*	Drug Stores					P23	P	P	P	P18 19		P13
44531	Liquor Stores					P24		P	P			
45331	Antiques/Collectable Shops					P	P4		P			
	Collectable Shops					P			P			
*	Secondhand/Used Merchandise Shop					P			P			
*	Sporting Goods & related Stores					P	P	P	P			
*	Book, Stationary, Video and Art Supply Stores					P	P11		P11			
*	Monuments, Tombstones, and Gravestones							P			P	
*	Hobby, Toy, Game Shops					P	P		P			
*	Photographic and Electronic Shops					P	P		P			
*	Fabric Shops					P	P		P			
45431	Fuel Dealers							P			P	
*	Florist Shops					P	P		P			P13
*	Personal Medical Supply Stores					C			P			
*	Pet Shops					P	P		P			

Ordinance No. 489 – Attachment G

NAICS#	SPECIFIC LAND USE	R1-4	R5-8	R9-18	R19+	NB	TB	GB	CBD	O	I	P/I
*	Bulk Retail							P	P12			
*	Auction Houses							P			P	
4412	Truck & Motorhome Dealers (14)							P			P	
*	Auto Parts Yard										P20	
*	Sexually Oriented Businesses (15)							P11			P11	
*	Gift Shops					P	P		P			P13

GENERAL CROSS REFERENCES:  
 Land Use Table Instructions, see WMC 21.08.020 and 21.02.070  
 Development Standards, see WMC 21.12.through 21.30  
 General Provisions, see WMC 21.32 through 21.38

Application and Review Procedures, see WMC 21.40 through 21.44  
 Tourist District Regulations, see WMC 21.38.065  
 R-48/O Regulations, see WMC 21.28.030  
 (\*) Definition of the specific Land Use, see WMC 21.06

**21.08.070 B DEVELOPMENT CONDITIONS**

- (1) Only as an accessory to a permitted use.
- (2) Only Hardware and Garden Materials stores shall be permitted.
- (3) (a) Limited to products produced on-site; and  
 (b) Covered sales areas shall not exceed a total area of 500 square feet.
- (4) Excludes used building material stores and pawnshops.
- (5) Limited to NAICS Industry No. 45299, Variety Stores, and further limited to a maximum of 2,000 square feet of gross floor area.
- (6) Permitted in conjunction with an on-site food processing facility; otherwise permitted only in multi-tenant building and limited to a maximum of 2,000 square feet of gross floor area.
- (7) (a) The floor area devoted to retail sales shall not exceed 2,500 square feet;  
 (b) Sales shall be limited to agricultural produce and plants;  
 (c) Storage areas for produce may be included in a farm store structure or in any accessory building;  
 (d) Hours of operation shall be limited to 7:00 a.m. to 9:00 p.m. during the months of May through September and 7:00 a.m. to 7:00 p.m. during the months of October through April; Outside lighting is permitted, provided no off-site glare is allowed;  
 (e) Noncontiguous lands within the City of Woodinville may be assembled by an individual farmer or group of farmers for the purposes of establishing a source of local products to be sold in a farm store on one of the properties.
- (8) Excluding retail sale of trucks exceeding one-ton capacity.
- (9) Only the sale of new or reconditioned automobile supplies is permitted.
- (10) Excluding NAICS Industry No. 72241-Drinking Places.
- (11) Sexually oriented businesses shall be prohibited within:
  - (a) 660 feet of the perimeter of the building or point of access in which: any other sexually oriented business is located; or
  - (b) 330 feet from any office zone or residential zone, except the single-family residential zoned areas to the west and east of the North Industrial Neighborhood Sexually Oriented Business Overlay District; or
  - (c) 330 feet of any school, licensed daycare, public park, community center, public library, sports club with children’s activities or church which conducts religious or educational classes for minors.
- (12) Subject to the City’s adopted Design Principles.
- (13) Only as an accessory to a hospital or other medical facility.
- (14) Includes wholesale and retail sale of trucks exceeding one-ton capacity.

Ordinance No. 489 – Attachment G

- (15) See WMC 17.19 for regulations governing a sexually oriented business. See Ordinance No. 101 for regulations governing the location of sexually oriented businesses.
- (16) No drive-through window restaurants are permitted except drive-through kiosks with a footprint of less than 200 square feet that serve beverages and pre-prepared, pre-packaged food items to be consumed off-site.
- (17) Permitted only on sites with a High Density Residential R-48/Office zone designation.
- (18) Except NAICS 453991 – Tobacco Stores and Stands, which are not permitted.
- (19) Drug Stores are limited to 25% of total office building square footage.
- (20) The perimeter of all areas used for the storage of inoperable vehicles or vehicle parts must be screened with a six (6) foot sight obscuring fence and a ten foot width of Type I landscaping.
- (21) Limited to culinary-related uses under the following NAICS categories:  
443111 Household Appliance Stores and  
44229 Other Home Furnishings Store.  
These uses are only permitted as part of a development that integrates residential with tourist-oriented business development on the property and is conditioned through a development agreement with the City that ensures the proposed mixed-use development meets the vision and goals of the Tourist District Master Plan.
- (23) Gross floor area of drug stores shall not exceed 3,500 square feet.
- (24) Beverage sales limited to beer and wine.
- (25) Tasting rooms are only permitted on those properties that have sufficient parking, vehicular access to the site, and pedestrian access to the business entrance as determined by the Director. Tasting rooms are required to undergo review for traffic impacts pursuant to WMC 3.39 and the Infrastructure Standards as adopted under WMC 12.09. A parking study will be required to determine the number of spaces needed to meet the needs of a tasting room. All facilities shall provide or obtain: ADA compliant facilities; current state liquor license as a tasting room; direct pedestrian access from the business entrance to a public street or other public trail.
- (26) Permitted as an accessory to an on-site wine, beer or spirits production facility.
- (27) Not permitted in the Pedestrian Core Design District or Civic/Gateway Design District, see WMC 21.14.310.
- (28) Limited to a maximum of 24,000 square feet of gross floor area in the Pedestrian Core District, see WMC 21.14.310.
- (29) Limited to a maximum of 10,000 square feet of gross floor area in the Pedestrian Core Design District or Civic/Gateway Design District, see WMC 21.14.310.
- (30) No outdoor storage or display. All activity associated with permitted use shall take place within an enclosed building.
- (31) No direct vehicle access to a public right of way.

Ordinance No. 489 – Attachment H

WMC 21.08.100A.  REGIONAL LAND USE  <b>KEY</b>  P – PERMITTED USE C – CONDITIONAL USE S – SPECIAL USE		Z O N E										
		Residential				Commercial/Industrial/Public						
		L o w	M o d e r a t e	M e d i u m	H i g h	N e i g h b o r h o o d	T o u r i s t  B u s i n e s s	G e n e r a l  B u s i n e s s	C e n t r a l  B u s i n e s s	O f f i c e	I n d u s t r i a l	P u b l i c
NAICS#	SPECIFIC LAND USE	R1-4	R5-8	R9-18	R19+	NB	TB	GB	CBD	O	I	P/I
*	Jail							S11	<del>S11</del>			S11
*	Secure Community Transition Facility							S16	<del>S16</del>			
*	Work Release Facility							S11	<del>S11</del>			
*	Public Agency Animal Control Facility							S11	<del>S11</del>		P11	S11
*	Public Agency Training Facility							S3, 11	<del>S3, 11</del>		C4 11	S11
*	Hydroelectric Generation Facility	C11 13 S11									S11	
*	Non-hydroelectric Generation Facility	C11 12 S11						C11 12 S11	<del>C11-12 S11</del> <b>8.18</b>	C11 12 S111 5	P11 12 S11	
*	Major Communication Facility										S6C 11	
*	Personal Wireless Facilities (14)	14	14	14	14	14	14	14	14	14 15	14	14
*	Earth Station	P6a	P6a	P6a	P6a		P6b 11	P6b 11	P6b 11	P6b 11 15	P6b 11	P6b 11
21111	Oil and Gas Extraction	S11	S11	S11	S11			S11	<del>S11</del>	S111 5	C11	
*	Energy Resource Recovery Facility										S11	
*	Soil Recycling/Incineration Facility										C11	
*	Landfill										S11	S8,11
*	Transfer Station										S17	
*	Wastewater Treatment Facility							S11	<del>S11</del>		C11	S11
*	Municipal Water Production	S11	S11	S11	S11			S11	<del>S11</del>		S11	S11
*	Airport/Heliport	S11	S11	S11	S11			S11	<del>S11</del>		S11	S8,11
*	Landing Field	S11	S11	S11	S11			S11	<del>S11</del>		S11	S8,11
*	Transit Bus Base							S11	<del>S11</del>		P11	S11
*	Transit Park and Ride Lot	S11	S11	S11	S11			P11	P11, <b>5</b>		P11	S11
*	School Bus Base							S11	S11, <b>5</b>		P11	S8,11

NAICS#	SPECIFIC LAND USE	R1-4	R5-8	R9-18	R19+	NB	TB	GB	CBD	O	I	P/I
711212	Racetrack	S7, 11	S11	S7, 11	S7,11			S11	S7, 11, 5			
*	Fairground							S11	S11, 5			S8, 11
71213 71219	Zoo/Wildlife Exhibit (2)						S	S11	S11, 5			S8, 11
71131	Stadium/Arena							S11	S11		P11	S8, 11
6113 6112	Junior College College / University	P9, 11 C10 11 S11	P9, 11 C10 11 S11	P9, 11 C10 11 S11	P9, 11 C10 11 S11				P11		P11	P11
GENERAL CROSS REFERENCES: Land Use Table Instructions, see WMC 21.08.020 and 21.02.070 Development Standards see WMC 21.12. through 21.30 General Provisions see WMC 21.32. through 21.38						Application and Review Procedures, see WMC 21.40 through 21.44 Tourist District Regulations, see WMC 21.38.065 R-48/O Regulations, see WMC 21.38.030 (* ) Definition of the specific Land Use, see WMC 21.06						

**21.08.100 B DEVELOPMENT CONDITIONS**

- (1) Except technical institutions. See vocational schools on General Services land use table, WMC 21.08.050.
- (2) Except arboretum. See WMC 21.08.040, Recreation/Cultural land use table.
- (3) Except weapons armories and outdoor shooting ranges.
- (4) Except outdoor shooting range.
- (5) ~~(Reserved)~~ Not permitted in the Pedestrian Core District or Civic/Gateway District, see WMC 21.14.310.
- (6)
  - (a) Limited to one receive-only satellite parabolic antenna not exceeding one meter in diameter in a residential zone and not exceeding two meters in diameter in all other zones.
  - (b) Limited to no more than three satellite parabolic antennas not exceeding one meter in diameter in a residential zone and not exceeding two meters in diameter in all other zones.
  - (c) Limited to tower consolidations.
- (7) Except racing of motorized vehicles.
- (8) Only as an accessory to a permitted use or if operated by a public agency.
- (9) Only as a re-use of a public school facility subject to the provisions of WMC 21.32.
- (10) Only as a re-use of surplus non-residential facility subject to the provisions of WMC 21.32.
- (11) If use abuts an agriculturally zoned property, the following conditions apply:
  - (a) Buildings and parking areas must be set back 50 feet from the property line abutting a agriculturally zoned parcel;
  - (b) 50 feet of Type II landscaping is required in the setback; and
  - (c) Non-emergency access through or to the agriculturally zoned parcel is prohibited.
- (12) Excluding impoundment of water using a dam.
- (13) Limited to facilities that comply with the following provisions:
  - (a) Any new diversion structure shall not:
    - (i) Exceed a height of eight feet as measured from the streambed; or
    - (ii) Impound more than three surface acres of water at the normal maximum surface level.
  - (b) There shall be no active storage.
  - (c) The maximum water surface area at any existing dam or diversion shall not be increased.
  - (d) An exceedance flow of no greater than 50 percent in mainstream reach shall be maintained.
  - (e) Any transmission line shall be limited to a:
    - (1) Right-of-way of five miles or less; and
    - (2) Capacity of 230 KV or less.
  - (f) Any new, permanent access road shall be limited to five miles or less.
  - (g) The facility shall be located above an anadromous fish barrier.
- (14) Personal wireless service facilities shall be regulated pursuant to WMC Chapter 21.26.

Ordinance No. 489 – Attachment H

- (15) Not permitted on sites contiguous to property designated Low Density Residential or less by the City of Woodinville adopted Comprehensive Plan. This limitation also applies to sites in unincorporated King County with equivalent designations.
- (16) Secure Community Transition Facility (SCTF) shall in no case be sited adjacent to, immediately across a street or parking lot from, or within the line of sight of risk potential facilities defined in the law as schools, school bus stops, preschool facilities, day care facilities, public parks, publicly dedicated trails, sports fields, recreational and community centers, churches, synagogues, temples, mosques or public libraries.
- (17) Permitted only (1) within the North Industrial Neighborhood as illustrated by Figure 1-2 of the Woodinville Comprehensive Plan, (2) upon approval of a Special Use Permit, and (3) upon the Hearing Examiner's determination that appropriate measures have been or - prior to operation of the Transfer Station - will be implemented sufficient to mitigate the anticipated impacts of the Transfer Station. Such mitigation measures may include, but are not necessarily limited to, the following:
  - (a) odor control
  - (b) vector control
  - (c) waste residency durational limitations
  - (d) containment and/or covering of waste transport vehicles
  - (e) operating hour limitations
  - (f) facility size limitations
  - (g) maximum weight limitations for waste transport vehicles
  - (h) noise control
  - (i) truck tip limitations
- (18) Fuel source limited to a renewable resource (i.e. solar or wind).

**21.12.040 A. Densities and Dimensions – Public and Commercial/Industrial Zones**

Z O N E S	PUBLIC		COMMERCIAL/INDUSTRIAL				
	PUBLIC/ INSTITUTIONAL	NEIGHBORHOOD BUSINESS	TOURIST BUSINESS	GENERAL BUSINESS	CENTRAL BUSINESS	OFFICE	INDUSTRIAL
STANDARDS	P/I	NB	TB	GB	CBD	O	I
Base Density: Dwelling Unit/Acre			12 du/ac		36 du/ac	36 du/ac	
Maximum Density: Dwelling Unit/Acre					48 du/ac (1) (3) <del>(26)</del>	48 du/ac (3)	
Minimum Lot Area <b>Residential</b> <b>Maximum Floor/Lot Ratio</b> <b>Square Feet</b>					<del>2/1 (26)</del>		
Minimum Depth/ Width <b>Building Step-back</b>				<b>10 ft. (22)</b>	<b>10 ft. (23)</b>		
Minimum Street Setback (17)	10 ft	10 ft (5) 20 ft. (11)	10 ft (2) (5) (14)	10 ft (5) 25 ft (15)	10 ft (10) (5)	10 ft	25 ft 10 ft (9) (14) (15)
Minimum Interior Setback (13)	20 ft (7) (16)	10 ft.	20 ft (7) (14)	25 ft (7) (15)	20 ft (7)	20 ft (7)	20 ft (7) (14) (15) 50 ft (8) (14)
Base Height (10)	45 ft (4)	35 ft.	35 ft (14) (20)	<del>35-39 ft</del> (18)	<del>35-39 ft</del> (6) (12)	45 ft (4)	45 ft (14)
<b>Maximum Height with Incentives</b>				<b>51 ft (24)</b>	<b>51 ft (24)</b>		
<b>Maximum Height with Structured Parking</b>				<b>60 ft (25)</b> (19)	<b>57 ft (25)</b>		
Maximum Building Coverage: Percentage							
Commercial/Industrial Maximum Floor/Lot Ratio: Square Feet	4/1	1/1	1/1	2/1 (19)	2.5/1	4/1	3/1
Maximum Impervious Surface: Percentage	85%	75%	85% (14)	85%	90%	75%	90% (14)
Maximum Building Sq. Footage		10,000		<u>21</u>	<u>21</u>		

**21.12.040 B. Development Conditions.**

- (1) A transit-oriented housing development, as defined in WMC 21.06.662, and meeting the criteria contained in WMC 21.38.090(2) may use alternative development standards in WMC 21.38.090(3) as a method of calculating allowable dwelling units.
- (2) Ten (10) foot setback may not be required on those sites abutting a designated pedestrian-oriented street pursuant to City of Woodinville Design Guidelines Standards, or as may hereafter be amended.
- (3) Unless subject to WMC 21.12.040B(1), these densities may only be achieved through the application of residential density incentives or transfer of density credits, see WMC 21.34 and 21.36.
- (4) Height is limited to thirty-five (35) feet when development abuts a low or moderate residentially zoned property.
- (5) Gas station pump islands shall be placed no closer than twenty-five (25) feet to street front lines.
- (6) Mixed use developments that include a minimum of 25% of the total area as office space may increase height limits to a maximum of forty-five (45) feet.
- (7) Twenty (20) foot setback only required along property lines adjoining residential zones, otherwise no specific interior setback requirement.

- (8) Fifty (50) foot setback only required along property lines adjoining residential zones for industrial uses established by conditional use permits, otherwise no specific interior setback requirement.
- (9) Ten (10) foot setback permitted only on those sites not abutting a designated arterial street.
- (10) Height limits may be increased when portions of the structure or building which exceed the base height limit provide one (1) additional foot of street and interior setback beyond the required setback for each foot above the base height limit, provided the maximum height may not exceed forty-five (45) feet.
- (11) Twenty (20) foot setback required only along property lines adjoining the Woodinville-Duvall Road right-of-way.
- (12) ~~(Reserved) Developments that provide structured parking for all required on-site parking may exceed the height limit by one (1) story for every level of parking provided, to a maximum of forty-five (45) feet.~~
- (13) See WMC 21.16.060, Landscaping - interior lot lines.
- (14) If located in the Tourist District, see WMC 21.38.065.
- (15) Twenty-five (25)-foot setback only required along property lines adjoining the SR 202, and Woodinville-Snohomish Road rights-of-way. See WMC 21.16.080(2) for *landscaping* requirements.
- (16) Fifty (50)-foot setback required along property lines abutting agriculturally zoned parcels.
- (17) Does not apply to signage. For applicable sign setbacks, see WMC 21.20.
- (18) Height limit may be increased a maximum of 45 feet when a multi-story building is designed and used entirely for either office or mixed office and retail uses.
- (19) Maximum floor/lot area ratio percentage may be increased to 4/1 when a multi-story building is designed used entirely for office or mixed office and retail uses.
- (20) Height may be increased to 49 feet when authorized by a development agreement.
- (21) In the Design Districts pursuant to WMC 21.14.310 and in the CBD zoned area west of the Sammamish River hereby designated as the Old Town District, a retail establishment in a single building may not exceed the gross square footage (GSF) in the aggregate as follows:
  - (a) Little Bear Creek Corridor Design District retail GSF limit: 80,000 square feet
  - (b) Civic/Gateway Design District retail GSF limit: 25,000 square feet
  - (c) Pedestrian Core Design District retail GSF limit: 30,000 square feet
  - (d) East Frame Design District retail GSF limit: 150,000 square feet
  - (e) Transition Area Design District retail GSF limit: 75,000 square feet
  - (f) Old Town District retail GSF limit: 35,000 square feet

"Gross square footage" ("GSF") is measured according to subsection 21.06.297 of this title. "Retail establishment" means a business engaged in the selling of goods or merchandise from a fixed location for direct purchase by the consumer, including services incidental to the sale of such goods. The GSF of abutting retail establishments shall be aggregated in cases where the establishments: (1) are engaged in the selling of similar or related goods, wares, or merchandise and operate under common ownership or management; or (2) share checkout stands, a warehouse, or a distribution facility; or (3) otherwise operate as associated, integrated or co-operative business enterprises.
- (22) Building elevation fronting a street shall step back a minimum of 10 feet after the first 30 feet of building height. "Street" does not include SR 522.
- (23) Building elevation fronting a street shall step back a minimum of 10 feet after the first 28 feet of building height or other building modulations as approved through design review approval pursuant to Chapter 21.14, WMC.
- (24) A maximum height of 51 feet with no more than four floors may be obtained through the provision of City approved public open space and at least two or more City approved

incentives intended to mitigate the impacts of taller buildings and/or provide a public benefit pursuant to WMC 21.14.910(2)(c).

(25) Developments that provide structured parking for all required on-site parking may exceed the height limit by one (1) story for every level of parking provided, to a maximum of fifty seven (57) feet, with no more than five floors, in the CBD zone and 60 feet, with no more than five floors, in the GB zone. Developments that provide said parking and five floors shall also include City approved public open space and at least two or more City approved incentives, intended to mitigate the impacts of taller buildings and/or provide a public benefit pursuant to WMC 21.14.910(2)(c).

(26) Residential density for residential developments and residential/commercial mixed use developments located in the CBD zone may be determined by the use of a Floor Area Ratio of 2.0 that provide for mitigation or public benefits that exceed those required under standard regulations. Said mitigation and public benefits shall include individual unit clothes washer and dryer hook-ups, gas fire places, and storage spaces and exceptional design in architectural features of structure and/or site design which features shall include at least two items from each Category as listed below and as may be further defined:

<u>Mitigation and Public Benefits for Residential FAR</u>	
<u>Category I</u>	<u>Category II</u>
<u>Water Features</u> <u>Pedestrian and Bicycle Facilities</u> <u>Kiosks limited to one per 300 feet of street frontage</u> <u>Street Furniture</u> <u>Enhanced Weather Canopies</u> <u>Public Art</u>	<u>Courtyards</u> <u>Public Open Space</u> <u>Transit Facilities</u> <u>Exceptional Design</u> <u>Affordable Housing</u> <u>LEED Certified Structures (minimum Silver) or equivalent</u>

**21.14.300 Commercial Design Standards - Purpose.**

- (1) The overall purpose of these Commercial Design Standards is to help implement the City's Comprehensive Plan vision:

*"In the year 2015, Woodinville is a safe, friendly, family-oriented community that supports a successful balance of neighborhoods, parks and recreation, tourism, and business. We have preserved our Northwest woodland character, our open space, and our clean environment. We have enhanced our ability to move freely throughout the community by all modes of travel. Woodinville is a pleasant place in which to live, work, play, and visit, with a compact, inviting downtown that is attractive and functional."*

More specifically, the purposes of these Commercial Design Standards are to guide development in a manner that is not only functional, but also aesthetically pleasing, promote social and economic vitality, and foster an enhanced sense of safety, comfort, interest and identification between people and their environment. Additionally, the purpose of these Commercial Design Standards is to encourage development that meets the goals and policies of the City of Woodinville Comprehensive Plan for community design. These goals are:

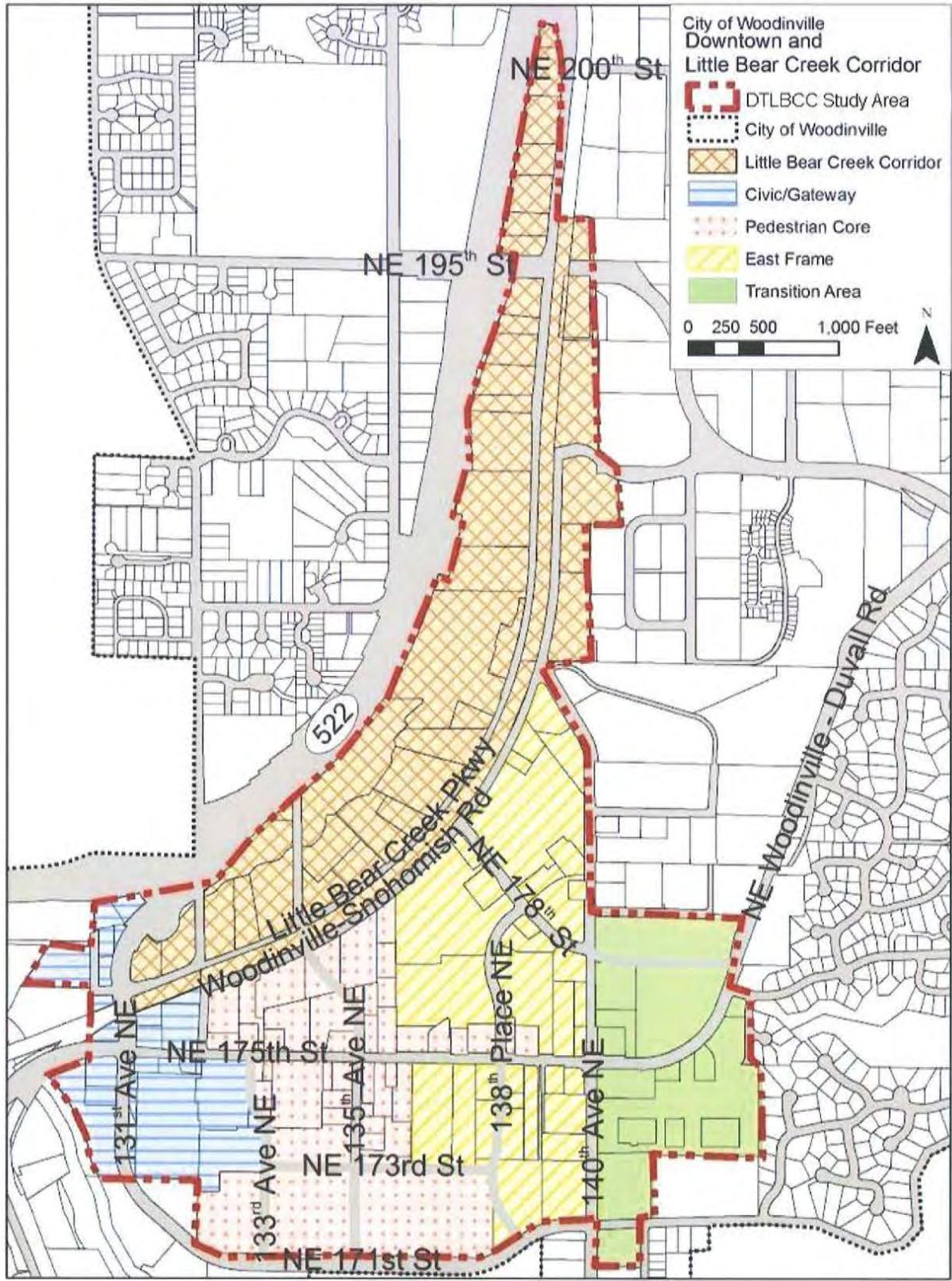
- (a) Goal CD-1: To promote an image of a visually cohesive community to residents and visitors.
- (b) Goal CD-2: To maintain the Northwest woodland character and heritage of Woodinville.
- (c) Goal CD-3: To promote quality design that preserves and enhances the character of Woodinville.
- (d) Goal CD-4: To create pedestrian friendly environments in Woodinville.
- (e) Goal CD-5: To encourage the arts as a vital contributor to community design.

**21.14.301 Commercial Design Standards - Administrative Procedures.**

- (1) The ~~Director of Planning~~ (*Director*) will report design review activity regularly to the Planning Commission, who will serve as the monitor for these COMMERCIAL DESIGN STANDARDS. The City is committed to incorporating design review procedures that:
- (a) Apply to all commercially designated property within the City;
  - (b) Allow for flexibility to accommodate creative design that meets the intent of adopted standards;
  - (c) Do not prolong approval processes; and
  - (d) Encourage design review that parallels development design for economy of design resources.
- (2) Applicants will have opportunity to informally discuss and formally review proposed designs throughout the design process, including pre-application, project permit review, and final construction design review.

**21.14.310 Commercial Design Standards - Applicability.**

- (1) All new construction within the CBD, O, TB, GB and NB zones shall be subject to all chapters of the Design Standards as determined by the *Director*. The Downtown and Little Bear Creek Corridor Study Area has some additional specific Design Standards that are incorporated into the Commercial Design Standards.
- (2) Figure 1 identifies the Downtown and Little Bear Creek Corridor (DTLBCC) Study Area. Additionally, this area is divided into design districts with special use provisions and guidelines to create the following characteristics in each district:
  - (a) **Civic/Gateway Design District:** Public and high visibility (e.g.: hotel) uses. Emphasis on attractive streets, landscaping and pedestrian connections. Development standards/guidelines emphasize design character as seen from streets and pedestrian connections.
  - (b) **Pedestrian Core Design District:** Highly integrated mix of smaller, pedestrian oriented commercial services (specialty shops, restaurants, personal services, community oriented retail, etc.) and residential. Residential dwelling units are required subject to applicable Development Conditions under WMC 21.08.030. Offices above the ground floor are encouraged. The goal is to develop at least 1,000 dwelling units in this area to support retail and provide activity. Development standards/guidelines emphasize pedestrian oriented streets, efficient, but non-intrusive auto access, plazas, small open spaces and amenities, and human scale, high quality architecture. Also important is to provide enough development capacity to ensure feasible high quality development, while modulating building bulk to retain sunlight and views.
  - (c) **East Frame Design District:** Mix of uses including accommodation of larger format retail centers. Development standards/guidelines emphasize integrated site development with good interior pedestrian circulation, ample, “garden like” landscaping, compatibility with adjacent uses (minimization of service area impacts), and an attractive eastern entry into the downtown.
  - (d) **Little Bear Creek Design District.** General commercial and office uses. Up to 5 stories allowed if development includes structured parking and “greensward” corridors on the side yard that provide pedestrian connections to the Creek and water quality treatment. The emphasis is on enhancing the environment and providing access to Little Bear Creek.
  - (e) **Transition Area Design District:** Mix of uses including accommodation of medium format retail centers. Development standards/guidelines emphasize many of the same characteristics of the East Frame, but focus on transitioning to the residential areas to the east.



Note: See adopted Official City Street Map for future street alignment options north of the NE 175<sup>th</sup> Street/135<sup>th</sup> Avenue NE intersection

**Figure 1. Downtown and Little Bear Creek Corridor Design Districts**

- ~~(2)~~(3) Alteration of any structure on commercially designated property within the City that affects the exterior appearance of a building elevation visible from a public right-of-way or public space shall be subject to design review under the Design Standards. While Woodinville would benefit greatly if all the design standards were met when existing properties are altered, such a strict application of the design standards might disadvantage property owners or discourage them from improving their buildings. The solution is to establish two thresholds to gauge the extent of remodeling and set requirements based on what is practical and reasonable for that level of improvement.
- (a) If 50% or more of a building elevation of a structure subject to design review is altered within a period of three years, the structure shall be subject to the applicable requirements that do not involve repositioning the building or reconfiguring site development as determined by the *Director*.
  - (b) If less than 50% of a building elevation of a structure subject to design review is altered within a period of three years, the requirement is only that the proposed improvements meet the standards and/or guidelines and do not lead to further nonconformance with the standards and guidelines. For example, if a property owner decides to replace a building *façade's* siding, then the siding shall meet the applicable exterior building material and color standards and/or guidelines, but elements such as building *modulation* would not be required.
- ~~(3)~~(4) The Design Standards Checklist will be used for addressing design issues in all review processes.

**21.14.315 Commercial Design Standards - Interpretation.**

- (1) Where there is a conflict between these Design Standards and other City plans, policies, and regulations, the most specific standard, guideline, or regulation shall apply, as determined by the *Director*. For example, Chapter 21 of WMC provides for a minimum street setback of 10' in commercial districts, whereas the design standards allow buildings to be placed on the front property line as long they meet certain design requirements. While the Design Standards herein are less restrictive in this case, they are more specific in that they allow for zero setbacks if certain conditions are met. (Therefore, the *Director* will determine that they apply.)
- (2) Each Section of the Design Standards contains a list of "Intent" statements followed by "Design Principles" and subsequent implementing measures. Specifically:
  - (a) Intent statements are overarching objectives. For example, the Intent statement for the "Building Corners" section is to "create visual interest and increased activity at street corners." Project applicants must be able to demonstrate how their project meets the Intent, to the *Director's* satisfaction.
  - (b) Design Principle statements describe broad actions that are necessary to achieve the Intent.
  - (c) A collection of Standards implements the Design Principles. Specifically:

- (i) Standards that use words such as “shall,” “must,” “is/are required,” or “is/are prohibited” signify required actions.
  - (ii) Some standards take a “tool box” approach, in that a development may be required to include at least two design elements from a large list of options.
  - (iii) Standards using words such as “should” or “is/are recommended” signify recommended actions that are meant to be applied with some flexibility. Development projects must comply with such measures unless the development proposal meets the Intent in some other manner, as determined by the *Director*.
- (d) Furthermore, the document contains some specific standards that are easily quantifiable, while others provide a level of discretion in how they are complied with. In the latter case, the applicant must demonstrate to the *Director*, in writing, how the project meets the Intent of the standard.
- (3) Words within the standards and guidelines that are *italicized* are defined in WMC 21.14.960.

**21.14.320 Commercial Design Standards - Design review procedures**

- (1) Design review shall be reviewed as part of the applicable permit application or process. A design decision shall be issued in the same manner that a SEPA threshold determination is issued.
- (2) No project approval shall be granted, no building permit issued and no construction shall begin until the *Director* has completed design review and determined that the application is consistent with the criteria in this section, has issued a design decision, and all appeal periods have expired.
- (3) A Design Review Application shall be submitted with application for the project permit, pursuant to WMC Title 17. The *Director* may require other information to be submitted that is determined to be appropriate and necessary for a proper review of the requested action.
- (4) With submittal of the building permit, the *Director* shall determine that the final design is consistent with the issued design decision.

**21.14.330 (Reserved)**

**21.14.340 Commercial Design Standards – Dispute Resolution and Appeals.** Request for dispute resolution to the Planning Commission:

- (1) The applicant or the *Director* may request consultation with the Planning Commission during design review to resolve interpretation disputes of the Commercial Design Standards.
  - (a) The *Director* shall schedule a requested consultation with the Planning Commission within a reasonable time period after the request. The reasonableness of time shall give consideration to any time required to review an environmental checklist and make a threshold determination and to develop and review an environmental impact statement, if required under SEPA, as well as time consumed by Planning Commission optional review.

The Planning Commission shall render a decision on the design review issue(s) subject of the requested consultation. Thereafter, the *Director* shall consider the decision of the Planning Commission and shall issue a final decision.

- (2) Appeal of Final Decisions to City Council.
  - (a) Design review decisions may be appealed to the City Council by the applicant after they are heard by the Planning Commission. Appeals to the City Council shall be considered on the basis of whether or not the proposed design(s) are consistent with the Design Standards and otherwise comply with the provision of law.
  - (b) Permitted land uses in the underlying zone cannot be appealed under design review processes.
  - (c) Appeals shall be made in accordance with the provisions of Chapter 2.30 WMC and Title 17 WMC.

**21.14.350 Commercial Design Standards - Amendment of approved design.**

Major change(s) to plans approved by the *Director* or City Council may only be amended by the same procedures provided herein for original design approval. Design review for amendments shall be limited to the proposed change, except the proposed amendment shall be considered in context with approved design review.

A major change is a change that affects a design standard reviewed in the original approval(s).

**21.14.360 Commercial Design Standards - Expiration.**

- (1) Design approval shall expire within two years of the date of approval, except as provided for phased site plan approvals below. A single two-year extension may be granted for good cause as determined by the *Director*.
- (2) The *Director* may grant design approval for large projects planned to be developed in phases over a period of years exceeding the normal time limits of WMC 21.14.360(1) above. Such approval shall include time limits for particular phases of the development as agreed upon by the applicant and the *Director*. If the time limits of a phase cannot be met, a single two-year extension may be granted for good cause by the *Director*.

**21.14.370 Commercial Design Standards - Notice.**

Notice of the final staff decision for design review or the alternate review procedure shall be issued in the same manner as SEPA threshold determinations pursuant Chapter 17 WMC.

**21.14.371 Commercial Design Standards - Site Planning/Relationship to Street Front.**

- (1) Intent. People experience the City from streets. Streets are some of the vital spaces that bind the community together and allow for various modes of movement within the City. The intent for street fronts is:
  - (a) To create an active, safe pedestrian environment;

- (b) To enhance commercial areas and to establish visual identity for each area;
- (c) To reflect a small village tradition in structures;
- (d) To unify *streetscapes*;
- (e) To improve circulation, including options for pedestrians, bicycles and vehicles;
- (f) To enhance the visual character of streets within commercial areas;
- (g) To encourage garden-type *landscaping* elements as a unifying feature; and
- (h) To enhance the visibility of commercial uses from the street.



**Figure 1 2.** An example of development that meets *frontage* requirements for *Pedestrian-Oriented Streets*.

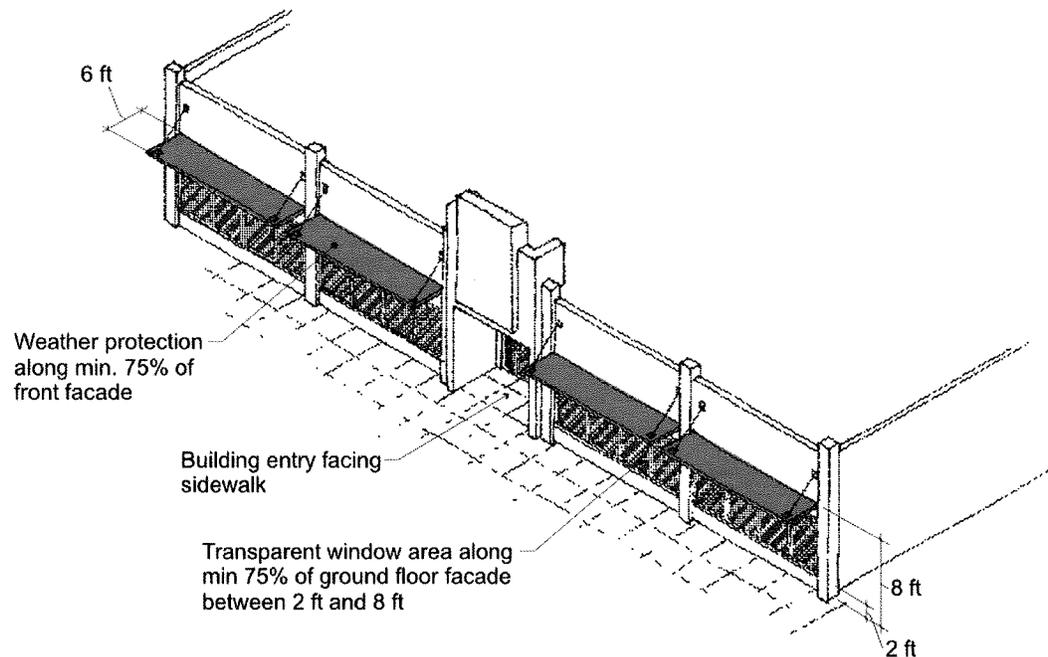
- (2) *Pedestrian-Oriented Street* Design Principle. Relate development to designated *pedestrian-oriented street frontages*. All development for properties fronting on a designated *Pedestrian-Oriented Street*, as defined in WMC 21.14.960, shall include the following features: site planning measures to define the street edge; encourage pedestrian access amenities; and support the commercial area’s design purpose stated in WMC 21.14.300.

Streets within the Downtown and Little Bear Creek Corridor study area shall comply with the provisions of WMC 21.14.371(4). The following streets are designated as *pedestrian-oriented streets*:

- NE 175<sup>th</sup> St
- 135<sup>th</sup> Ave NE
- NE 173<sup>rd</sup> St
- 133<sup>rd</sup> Ave NE
- 138<sup>th</sup> Ave. NE
- 140th Ave NE

Developments on pedestrian-oriented streets must adhere to the following standards, unless the *Director* determines that they prevent viable site development:

- (a) ~~Buildings are encouraged to be located adjacent to the sidewalk. Such buildings must contain a pedestrian-oriented façade. This includes either:~~ Buildings shall orient to the street in one of the following ways:
  - (i) The building shall abut the sidewalk (including any setback required to achieve a wider sidewalk) and shall include a *pedestrian-oriented façade*, or
  - (ii) The building shall be set back from the sidewalk edge a minimum of 5 feet with either *pedestrian-oriented space* as described in WMC 21.14.850 or *garden area landscaping* as described in Section (c) below between the sidewalk edge and the building front.
- (b) *Pedestrian-oriented façades shall include:*
  - (i) Transparent window areas or window displays along at least 75% of the ground floor *façade*. The window area must cover the area between 2' and 8' above the sidewalk or walkway surface; and



**Figure 2 3. An example of a *Pedestrian-Oriented Façade*.**

- (ii) ~~A combination of sculptural, mosaic, or bas-relief artwork and transparent window areas or window displays (as described above) over at least 75% of the ground floor façade.~~
- (ii) Weather protection at least 6' wide along at least 75% of the building's front face. Wider weather protection features are encouraged to provide for outdoor seating areas such as in Figure 4. The weather protection may be in the form of awnings, marquees, canopies, or building overhangs (see Figure 4). Gaps in the covering

allow for visual variety in the *façade* through the use of architectural features and/or *landscaping* components.

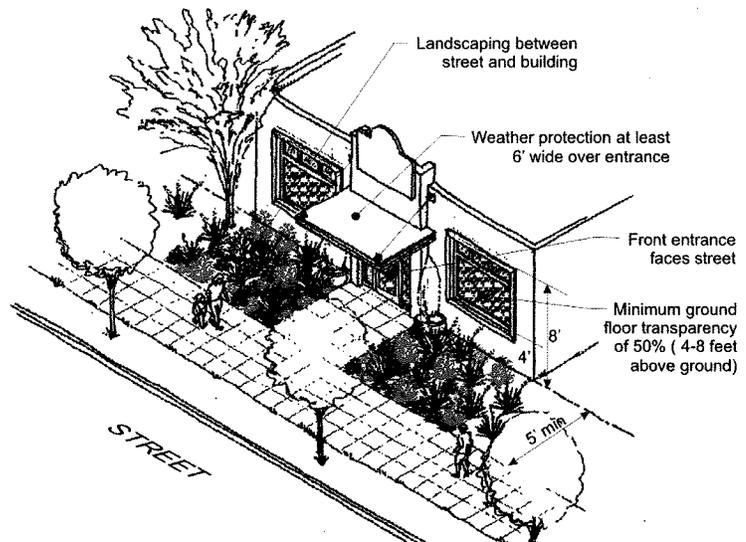


**Figure 3 4. Examples of weather protection features. Weather protection features that are 8 feet or wider, shown at right, can protect outdoor seating areas.**

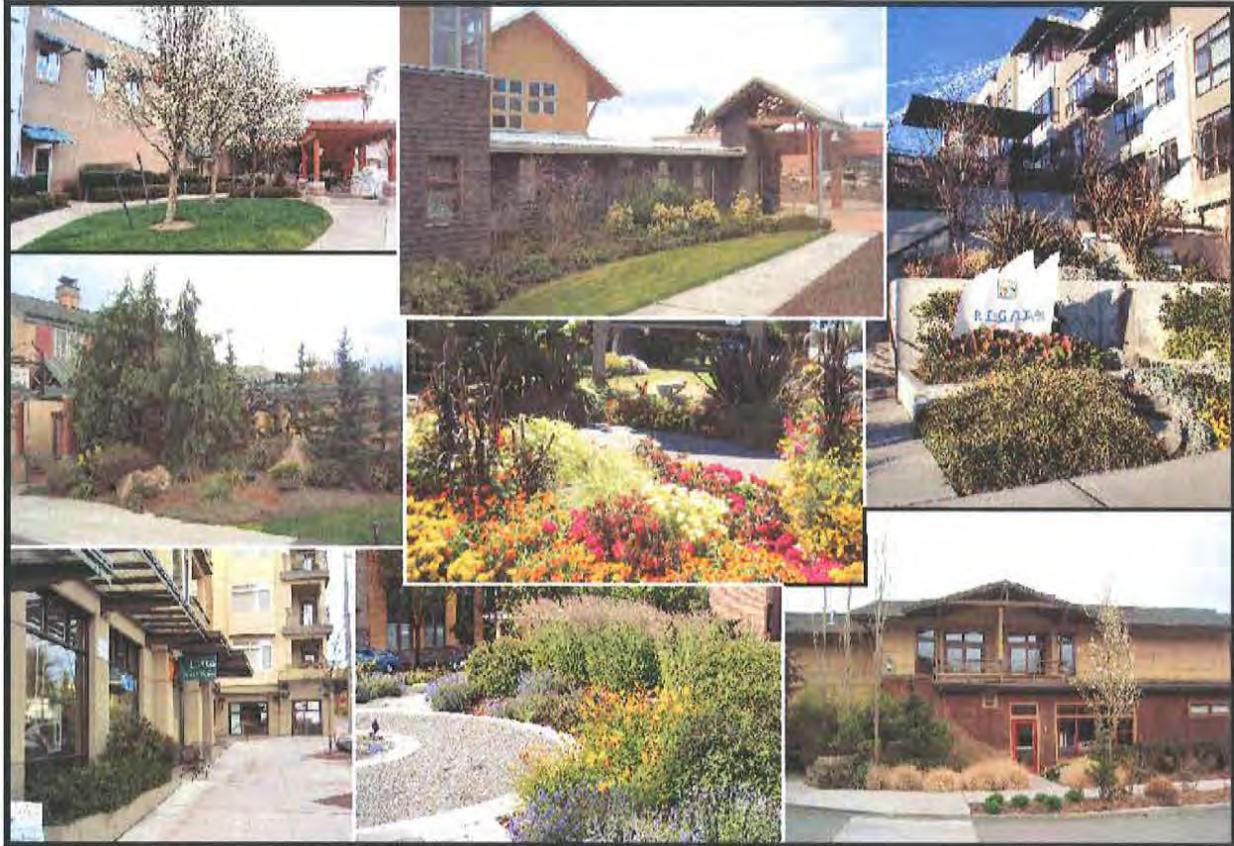
***Figure 5. Examples of Pedestrian-Oriented Façades.***

- (b) — Where buildings are not located directly adjacent to the sidewalk, the space between the sidewalk and building must be either:
  - (i) — *Pedestrian-oriented space*, as described in WMC 21.14.850 Pedestrian Activities and Plazas. Specifically, at least 500-SF must be located along the sidewalk for every 100 linear feet of façade as measured along the property line adjacent to the street; or
  - (ii) — Garden area incorporating *landscaping* that adds seasonal color and interest and does not act as a visual barrier. The sketch in Figure 4 provides one example of how a development could comply. The photos in Figure 5 show a variety of good examples. Such areas should incorporate a variety of plant types that feature a range of colors and textures that provide visual interest from the sidewalk. Grass is acceptable only if combined with other plantings that provide seasonal interest and meet the Intent. English Ivy and other non-native, invasive plants are prohibited in this space. Plant types should be appropriate to the Pacific Northwest climate. Native and drought tolerant plants are preferred. The garden area must be designed and maintained to provide clear visibility between storefront windows and the street.
- (c) — When located adjacent to the sidewalk, buildings shall provide pedestrian weather protection at least 5’ wide along at least 75% of the building’s front face. Wider weather protection features are encouraged to provide for outdoor seating areas such as in Figure 6. The weather protection may be in the form of awnings, marquees, canopies, or building overhangs (see Figures 2 and 3). Gaps in the covering allow for visual variety in the façade through the use of architectural features and/or *landscaping* components

- (c) Garden Area Landscaping Standards: The garden landscaping shall incorporate landscaping that adds seasonal color and interest and does not act as a visual barrier. Such areas should incorporate a variety of plant types that feature a range of colors and textures that provide visual interest from the sidewalk. Grass is acceptable only if combined with other plantings that provide seasonal interest and meet the intent of this section. English Ivy and other non-native, invasive plants are prohibited in this space. Plant types should be appropriate to the Pacific Northwest climate. Native and drought tolerant plants are preferred. The garden area shall be designed and maintained to provide clear visibility between storefront windows and the street.
- (d) The front facade of buildings separated from the sidewalk edge by at least 5' of pedestrian-oriented space or garden area landscaping shall adhere to the standards for pedestrian-oriented facade (according to (b) above) or adhere to the following standards:
- (i) The building must include transparency along at least 50 percent of the ground floor facade between 4 and 8 feet above the sidewalk. For buildings with ground floor residential units, the Director may reduce the transparency requirement provided the design treatment meets the intent of the standards.
- (ii) Weather protection at least 6 feet deep is required over the entry. Such elements can project into front setback areas.

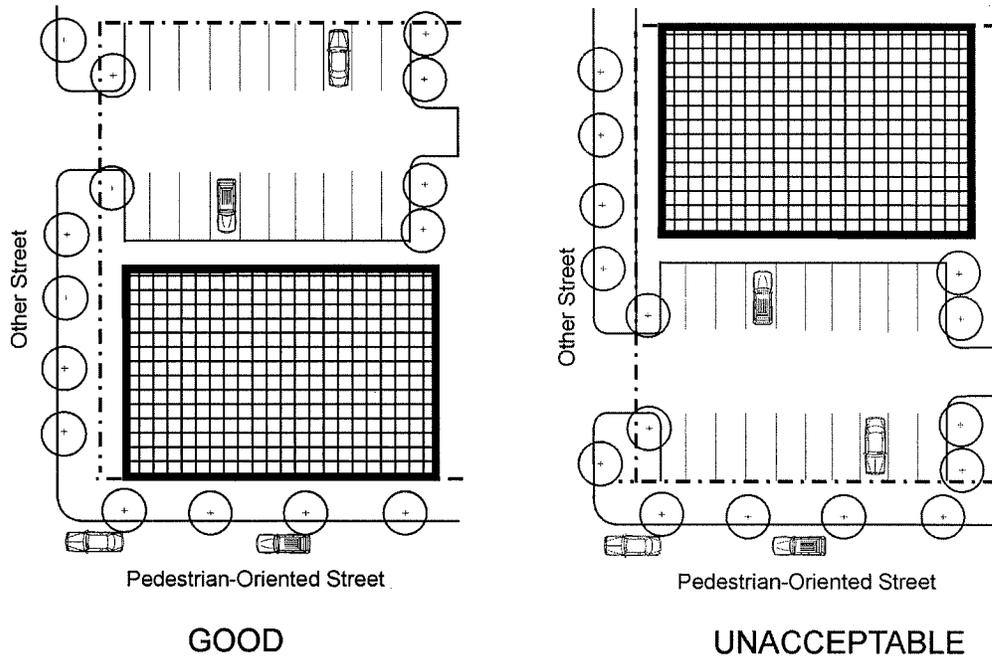


**Figure 5. An example of incorporating a small garden area between the sidewalk and the building.**



**Figure 5 6. A variety of “garden” type *landscaping* configurations and designs that would be appropriate for areas between the sidewalk and a building on a *pedestrian-oriented street*.**

- (d)(e) Building entries must have direct access to the public sidewalk. Such entries should face the street to the extent possible. Where entries are located on the side of the building, they must be visible from the street and connected by a pedestrian pathway. See Figures 3 and 4 for examples.
- (e)(f) ~~Preferably, parking should be~~ Parking shall be located behind structures, away from *pedestrian-oriented streets*. Where at least some street front parking and vehicular access is unavoidable, as determined by On sites that front on two or more *pedestrian-oriented streets* and where the *Director* determines that there are no reasonable alternatives, parking and vehicle access areas may occupy no more than 50% or 65’ of the street *frontage*, whichever is less. The *Director* will determine on which street *frontage* the parking may be allowed, may be occupied by parking and vehicle access. Parking lots may not be located at a corner that faces on a *pedestrian-oriented street*.

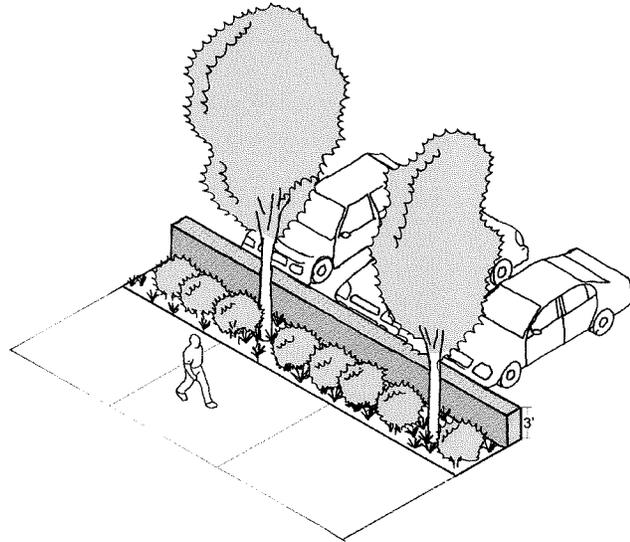


**Figure 7. Parking location and configuration options.**

On sites that front on two or more *pedestrian-oriented streets* and where the Director determines that there are no reasonable alternatives, parking and vehicle access areas may occupy a frontage greater than 65' on one or more of the *pedestrian-oriented streets*. The Director shall determine which street(s) are most appropriate for parking and vehicular access frontage. Design elements must be included to screen parking areas and maintain visual continuity along the *pedestrian-oriented street* frontage.

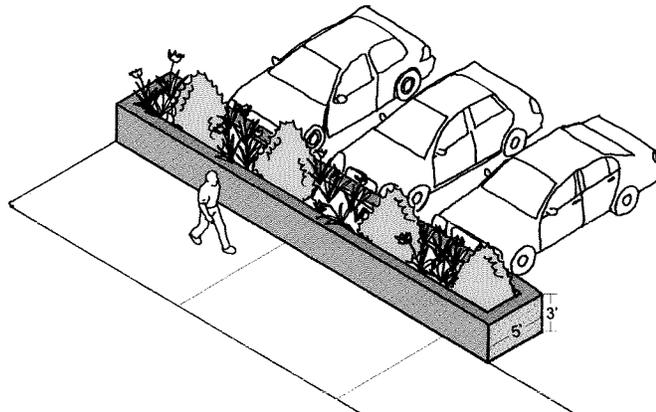
Figure 8 shows two such examples, including a landscaped trellis and architectural columns with hanging plants. Both include vertical elements that, together with the trees, help to define the edge of the street. Also note that visibility is maintained between the parking lot and the street. This is particularly important at eye level for public safety.

- (g) If allowed, parking lots adjacent to *pedestrian-oriented streets* shall be screened from the sidewalk by one of the following methods:
  - (i) Provide a 5-foot wide planting bed that incorporates a continuous 3 foot tall wall. The planting bed shall be in front (street side) of the wall and feature Type III landscaping. Alternative landscaping schemes will be considered by the Director provided they meet the intent of the guidelines. The wall shall be constructed of brick, stone, decorative concrete or concrete block, or other permanent material that provides visual interest and helps to define the street edge, as determined by the Director. See Figure 8 for an example.



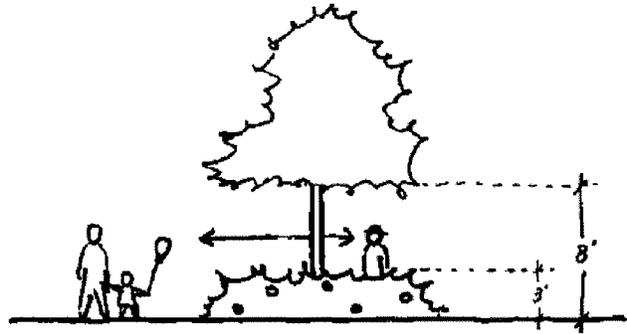
**Figure 8. Parking lot planting buffer with low wall.**

- (ii) Provide an elevated planter that is a minimum of 5 feet wide and between 2 and 3 feet in height. Ledges that are approximately 12 inches in width are encouraged, as they can double as a seating area. The planter must be constructed of masonry, concrete or other permanent material that effectively contrasts with the color of the sidewalk and combines groundcover and annuals, perennials, ornamental grasses, low shrubs, and/or small trees that provide seasonal interest and winter greenery, as determined by the Director. See Figure 9 as an example.



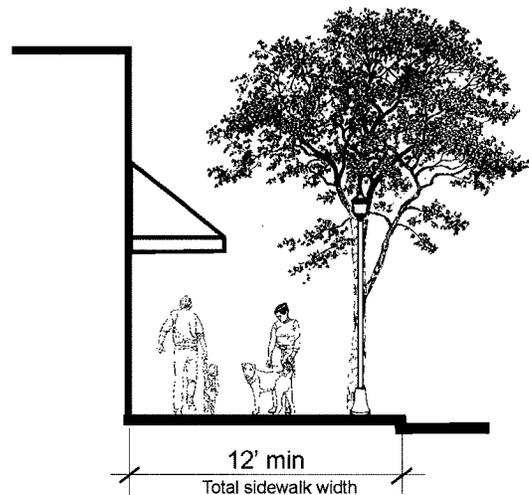
**Figure 9. Elevated parking lot planting buffer.**

Both options (i) and (ii) feature plantings to maintain eye level visibility between the street/sidewalk and parking area for safety. This means that shrubs and other low plantings should be maintained below 3 feet in height, while trees (once they achieve taller heights) should generally be trimmed to up to the 8-foot level. See Figure 10. The planting beds in both options shall be irrigated unless the Director determines it is not necessary for the plant materials selected.



**Figure 10. Parking lot planting buffers shall emphasize the 3:8 rule for visibility and safety.**

- (h) Parking structures located adjacent to pedestrian-oriented streets and other streets noted in WMC 21.14.371(4), shall be designed with ground level commercial space fronting on the street consistent with standards herein. Such commercial space shall be at least 30 feet deep. Vehicular entrances and other ground floor openings of the parking garage are allowed only if the Director determines no other configuration is feasible. Openings and entries for structured parking shall not count as transparent window area for the purpose of determining transparency requirements set forth herein.
- (f)(i) If insufficient right-of-way exists to allow for 12' of public sidewalk, set the building back sufficiently to provide at least 12' of walking surface according to WMC 21.14.820 (2)(a) Sidewalk Size and Materials. (For Downtown and Little Bear Creek Corridor Study Area, see Section 21.14.371(4) for sidewalk dimensions and requirements.)



**Figure 9-11. Where insufficient right-of-way exists, set buildings back sufficiently to meet minimum sidewalk width standards.**

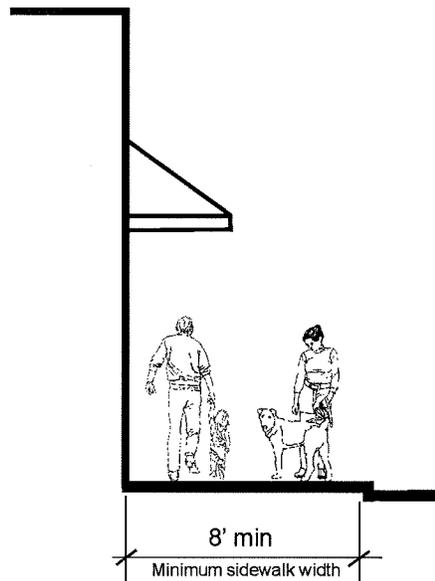
- (g)(j) No large item display areas are permitted (e.g. auto sales) in the front yard area. Sidewalks shall not be enclosed as building space for retailing. Small, temporary displays for items such as groceries, hardware, nursery stock, books, etc., may be allowed provided the display does not unduly impede pedestrian sidewalk traffic. Large items, such as potting soil and compost bags, are not appropriate allowed.

~~(h)~~(k) The *Director* may permit departures from the specific standards if he/she determines that public benefit can be achieved in terms of the intent described above. The applicant must demonstrate that there is a compelling reason to depart from specific standards and that the departure will result in increased pedestrian activity and visual interest along the street.

- (3) *Non-Pedestrian-Oriented Street Design Principle*. Relate development to street fronts for streets that are not designated as *pedestrian-oriented streets*. (These standards do not apply to streets in the Downtown and Little Bear Creek Corridor Study Area. See (4) below for specific standards for streets in Downtown and Little Bear Creek Corridor).

All development on streets not designated as *pedestrian-oriented streets* shall include site planning measures to create an attractive street edge, accommodate pedestrian access, and support the applicable design objectives stated in the Comprehensive Plan. Developments must adhere to the following standards unless the *Director* determines that they prevent viable site development.

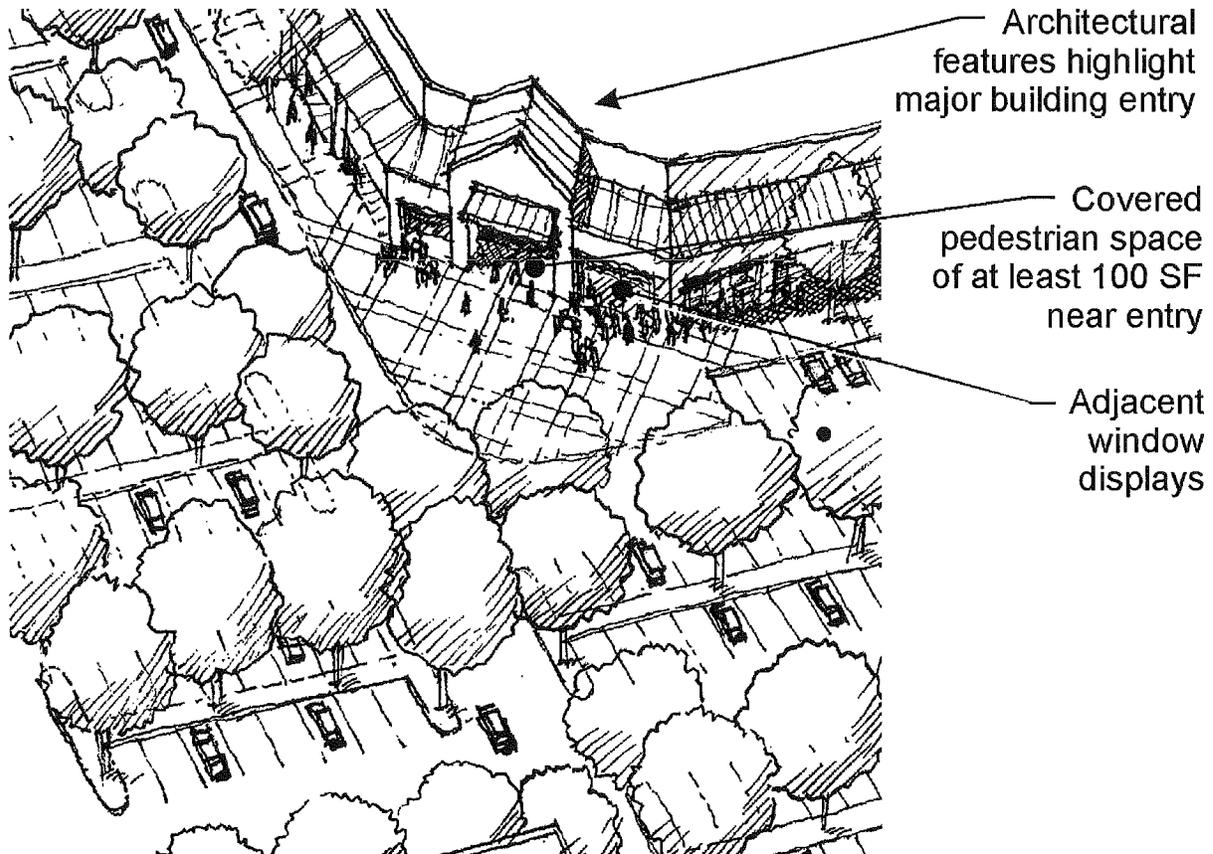
- (a) Developments must provide the following amenities near the sidewalk:
- (i) Physically define the street edge with building(s), *landscaping*, or other features as approved by the *Director*;
  - (ii) Parking lots adjacent to sidewalks shall provide one of the options in 2(g) above or a 10' wide landscape screening buffer consisting of Type III *landscaping* pursuant to WMC 21.16.040.
  - ~~(ii)~~(iii) Provide sufficient room for a sidewalk at least 8' wide if there is not space in the public right-of-way; and



**Figure 10-12. Provide sufficient room for a sidewalk at least 8' wide on streets that are not designated as *Pedestrian-Oriented Streets*.**

- ~~(iii)~~(iv) Provide direct access to building fronts from the sidewalk. Preferably, these areas should be separate from the parking lot. If access traverses the parking lot, than it should be raised and/or specially marked.

- (b) Buildings are encouraged to be located adjacent to the sidewalk. Such buildings must feature a *pedestrian-oriented façade* and weather protection at least four feet, six inches wide along at least 75% of the building's front face. The weather protection may be in the form of awnings, marquees, canopies, or building overhangs (see Figures 3 and 4).
- (c) Developments should use the architectural elements of a building and *landscaping* to highlight and define the entrance, particularly where the entrance is set back off the street.



**Figure 41-13.** Provide highlighted building entries, particularly where the entry is not adjacent to a public street.



**Figure 12-14.** This building effectively uses architectural features, open space, and landscaping to highlight the entry.

(4) Downtown and Little Bear Creek Corridor Study Area Site Planning – Relationship to Street Front.

(a) Street Orientation Requirements Matrix. Development in the Downtown and Little Bear Creek Corridor study area shall adhere to the standards in Table 1 below. If there is a conflict with other provisions of these standards, the *Director* shall determine the governing provision.

**Table 1. Downtown and Little Bear Creek Corridor Street Orientation Requirements Matrix**

<b>Street</b>	<b>Building Orientation<sup>2</sup></b>	<b>Driveway Access</b>	<b>Adjoining Parking Lots</b>	<b>Adjoining Parking Garage</b>
<b>NE 175<sup>th</sup> Street</b>	Adhere to <i>pedestrian-oriented street</i> standards per WMC 21.14.371(2), except garden area <i>landscaping</i> in the <i>front yard</i> is not an option.	New driveways are not allowed unless there is no other feasible option, as determined by the <i>Director</i> .	Not allowed.	Not allowed on ground floor facing street. Adhere to WMC 21.14.371(2)(h)
<b>135<sup>th</sup> Ave NE</b>	Adhere to <i>pedestrian-oriented street</i> standards per WMC 21.14.371(2). This emphasizes: Building located next to (abutting) the sidewalk with a <i>pedestrian oriented-façade</i>	New driveways not allowed, unless no other feasible option, as determined by the <i>Director</i> .	Not allowed unless site abuts two <i>pedestrian-oriented streets</i> and there is no other feasible option. Adhere to <i>pedestrian-</i>	Not allowed on ground floor facing street. Adhere to WMC 21.14.371(2)(h)

Ordinance No. 489 – Attachment J

<u>Street</u>	<u>Building Orientation<sup>2</sup></u>	<u>Driveway Access</u>	<u>Adjoining Parking Lots</u>	<u>Adjoining Parking Garage</u>
	<p><u>or separated from the sidewalk with a minimum of 5' of pedestrian-oriented space or garden area landscaping .</u></p>		<p><u>oriented street standards per WMC 21.14.371 (2)(f).</u>  <u>If parking is allowed to locate next to (abutting) the street, landscape screening shall be provided in accordance WMC 21.14.371 (4)(b).</u></p>	
<p><b><u>138<sup>th</sup> Avenue NE/Garden Way NE</u></b></p>	<p><u>If the building is located next to (abutting) the sidewalk, a pedestrian-oriented façade as specified in WMC 21.14.371(2)(b) shall be required.</u>  <u>If building is located within 20 feet of the sidewalk, the area between the building and the sidewalk shall be pedestrian-oriented space or garden area landscaping in accordance with WMC 21.14.371(2)(c) and the façade and entrance shall be in accordance with WMC 21.14.371(2)(d) and (e).</u>  <u>If the building is more than 20 feet from the sidewalk, Type II or III landscape screening shall be provided.</u></p>	<p><u>Parking lot entrances, driveways and other vehicle access routes restricted to no more than one entrance lane and one exit lane per 300 linear feet of property, see WMC 21.14.880.</u></p>	<p><u>Allowed with required landscape screening.<sup>1</sup></u>  <u>Adhere to WMC 21.14.371(4)(b) for parking lot screening methods.</u></p>	<p><u>Must be set back at least 20 feet and screened with Type I landscaping<sup>1</sup></u></p>
<p><b><u>NE 173<sup>rd</sup> Street</u></b></p>	<p><u>Adhere to pedestrian-oriented street standards per WMC 21.14.371(2). This emphasizes:</u>  <u>Buildings located next to (abutting) the sidewalk with a pedestrian oriented-façade or separated from the sidewalk with at least 5' of pedestrian-oriented space or garden area landscaping.</u></p>	<p><u>Allowed, but Director may determine location and special conditions to ensure safety and streetscape quality, see WMC 21.14.880.</u></p>	<p><u>Adhere to pedestrian-oriented street standards per WMC 21.14.371(2)(f).</u>  <u>If parking is allowed to locate next to (abutting) the street, landscape screening shall be provided in accordance with WMC 21.14.371 (4)(b).</u></p>	<p><u>Not allowed on ground floor facing street.</u>  <u>Adhere to WMC 21.14.371(2)(h)</u></p>
<p><b><u>133<sup>rd</sup> Ave NE</u></b></p>	<p><u>Adhere to pedestrian-oriented street standards per WMC 21.14.371(2). This emphasizes:</u>  <u>Buildings located next to (abutting) the sidewalk with a pedestrian oriented-façade or separated from the sidewalk with at least 5' of pedestrian-oriented space or</u></p>	<p><u>Allowed, but Director may determine location and special conditions to ensure safety and streetscape quality, see WMC 21.14.880.</u></p>	<p><u>Adhere to pedestrian-oriented street standards per WMC 21.14.371(2)(f).</u>  <u>If parking is allowed to locate next to (abutting) the street, landscape screening shall be provided in accordance with</u></p>	<p><u>Allowed with landscape screening conforming to WMC 21.14.371(4)(c).</u></p>

Ordinance No. 489 – Attachment J

<u>Street</u>	<u>Building Orientation<sup>2</sup></u>	<u>Driveway Access</u>	<u>Adjoining Parking Lots</u>	<u>Adjoining Parking Garage</u>
	<u>garden area landscaping.</u>		<u>WMC 21.14.371 (4)(b).</u>	
<u>NE 171<sup>st</sup> Street</u>	<p><u>If the building is located next to (abutting) the sidewalk, a pedestrian-oriented façade, as specified in WMC 21.14.371(2)(b), shall be required.</u></p> <p><u>If the building is located within 20 feet of the sidewalk, the area between the building and the sidewalk shall be pedestrian-oriented space or garden area landscaping in accordance with WMC 21.14.371(2)(c) and the façade and entrance shall be in accordance with WMC 21.14.371(2)(d) and (e).</u></p> <p><u>When buildings are separated from NE 171<sup>st</sup> St. by Woodin Creek, alternate landscaping may be permitted by the Director.</u></p> <p><u>If the building is more than 20 feet from the sidewalk, Type II or III landscape screening shall be provided.</u></p>	<p><u>Restricted. Not permitted unless the Director determines there are no feasible alternatives, see WMC 21.14.880.</u></p>	<p><u>Parking lots facing Woodin Creek are allowed with landscape screening in accordance with WMC 21.14.371(4)(b)(iv). Otherwise development shall adhere to parking lot location and screening standards set forth in WMC 21.14.371(4)(b)(iii).</u></p>	<p><u>Allowed with landscape screening conforming to WMC 21.14.371(4)(c).</u></p>
<u>Little Bear Creek Parkway</u>	<p><u>If the building is located next to (abutting) the sidewalk, a pedestrian-oriented façade, as specified in WMC 21.14.371(2)(b), shall be required.</u></p> <p><u>If the building is located within 20 feet of the sidewalk, the area between the building and the sidewalk shall be pedestrian-oriented space or garden area landscaping in accordance with WMC 21.14.371(2)(c) and the façade and entrance shall be in accordance with WMC 21.14.371(2)(d) and (e).</u></p> <p><u>If the building is more than 20 feet from the sidewalk, Type II or III landscape screening shall be provided.</u></p>	<p><u>Joint driveways serving more than one property where possible.</u></p> <p><u>Adhere to WMC 21.14.880.</u></p> <p><u>No more than one entry and exit per 300 LF of street property are allowed.</u></p>	<p><u>Parking lots facing the street are allowed with landscape screening, as specified in WMC 21.14.371(4)(b)(iii).</u></p>	<p><u>Allowed with landscape screening conforming to WMC 21.14.371(4)(c).</u></p>

Ordinance No. 489 – Attachment J

<u>Street</u>	<u>Building Orientation<sup>2</sup></u>	<u>Driveway Access</u>	<u>Adjoining Parking Lots</u>	<u>Adjoining Parking Garage</u>
<u>Woodinville-Duvall Road</u>	<p>If the building is located next to (abutting) the sidewalk, a <u>pedestrian-oriented façade</u>, as specified in WMC 21.14.371(2)(b), shall be required.</p> <p>If the building is located within 20 feet of the sidewalk, the area between the building and the sidewalk shall be <u>pedestrian-oriented space or garden area landscaping</u> in accordance with WMC 21.14.371(2)(c) and the <u>façade</u> and entrance shall be in accordance with WMC 21.14.371(2)(d) and (e).</p> <p>If the building is more than 20 feet from the sidewalk, <u>Type II or III landscape screening</u> shall be provided.</p>	<p><u>Joint driveways where possible to reduce accidents.</u></p> <p><u>Adhere to WMC 21.14.880.</u></p>	<p><u>Parking lots facing street allowed with landscape screening, as specified in WMC 21.14.371(4)(b)(iii).</u></p>	<p><u>Allowed with landscape screening, as specified in WMC 21.14.371(4)(c).</u></p>
<u>NE 178<sup>th</sup> Street</u>	<p>If the building is located next to (abutting) the sidewalk, a <u>pedestrian-oriented façade</u>, as specified in WMC 21.14.371(2)(b), shall be required.</p> <p>If the building is within 20 feet of the sidewalk, <u>pedestrian-oriented space or garden area landscaping</u> shall be provided in accordance with WMC 21.14.371(2)(c) and the <u>façade</u> and entrance shall be in accordance with WMC 21.14.371(2)(d) and (e).</p> <p>If the building is more than 20 feet from the sidewalk, <u>Type II or III landscape screening</u> shall be provided.</p>	<p><u>Joint driveways where possible to reduce accidents</u></p> <p><u>Adhere to WMC 21.14.880.</u></p>	<p><u>Parking lots facing street allowed with 10 feet of Type III landscape screening</u></p>	<p><u>Allowed with landscape screening conforming to WMC 21.14.371(4)(c)<sup>1</sup>.</u></p>
<u>140<sup>th</sup> Ave NE</u>	<p>If the building is located next to (abutting) the sidewalk, a <u>pedestrian-oriented façade</u>, as specified in WMC 21.14.371(2)(b), shall be required.</p> <p>If the building is within 20 feet of the sidewalk, <u>pedestrian-oriented space or garden area landscaping</u></p>	<p><u>Driveways restricted where possible.</u></p> <p><u>Adhere to WMC 21.14.880.</u></p>	<p><u>Parking lots proposed to be located next to (abutting) a street allowed only if no other configuration is possible.</u></p> <p><u>If allowed, parking is limited to 50% of street frontage and</u></p>	<p><u>Allowed with landscape screening per WMC 21.14.371(4)(c) only if no other configuration is possible.</u></p>

<u>Street</u>	<u>Building Orientation<sup>2</sup></u>	<u>Driveway Access</u>	<u>Adjoining Parking Lots</u>	<u>Adjoining Parking Garage</u>
	<p><u>shall be provided in accordance with WMC 21.14.371(2)(c) and the <i>façade</i> and entrance shall be in accordance with WMC 21.14.371(2)(d) and (e).</u></p> <p><u>If the building is more than 20 feet from the sidewalk, Type II or III landscape screening shall be provided.</u></p>		<p><u>10 feet of Type III landscape screening is required.</u></p>	
<p><b><u>Woodinville-Snohomish Road</u></b></p>	<p><u>If the building is located next to (abutting) the sidewalk, a <i>pedestrian-oriented façade</i>, as specified in WMC 21.14.371(2)(b), shall be required.</u></p> <p><u>If the building is within 20 feet of the sidewalk, <i>pedestrian-oriented space or garden area landscaping</i> shall be provided in accordance with WMC 21.14.371(2)(c) and the <i>façade</i> and entrance shall be in accordance with WMC 21.14.371(2)(d) and (e).</u></p> <p><u>If the building is more than 20 feet from the sidewalk, Type II or III landscape screening shall be provided.</u></p>	<p><u>Joint driveways where possible to reduce accidents, see 21.14.880.</u></p>	<p><u>Parking lots facing street allowed with 10 feet of Type III landscape screening.</u></p>	<p><u>Allowed with landscape screening conforming to WMC 21.14.371(4)(c).</u></p>

- Notes:**
1. Implemented only when new development occurs on 138<sup>th</sup> Avenue NE and NE 178<sup>th</sup> Street.
  2. Setbacks may be required to accommodate new streetscape and sidewalk standards, according to Public Works standards and the Street Configuration chart below.

(b) Parking Lot Screening along *Streetscapes* in the Downtown and Little Bear Creek Corridor Study Area.

- (i) If allowed, parking lots next to (abutting) streets in the Downtown and Little Bear Creek Corridor Study Area shall be screened from the sidewalk according to the standards in 21.14.371(2)(g) above unless otherwise noted in (i) through (vi) below.
- (ii) Parking lots next to (abutting) 138<sup>th</sup> Ave NE/Garden Way NE shall be screened from the sidewalk with a 20 foot wide landscaped screening buffer. This can consist of either:
  - a) A berm raised at crown at least 2 feet above sidewalk grade. The *landscaping* shall consist of Type III *landscaping* in accordance with WMC 21.16.040. Fifty percent (50%) of the required shrubs and groundcover shall exhibit decorative flowers or foliage.

- b) An alternative design, as approved by the *Director*, that meets the following intent:
  - i) Continuous screen 3 feet high;
  - ii) Attractive *streetscape* with a variety of decorative planting;
  - iii) Attractive stormwater features such as a *rain garden* or biofiltration swale.
- (iii) Parking lots abutting Little Bear Creek Parkway NE, NE 171<sup>st</sup> Street, and NE Woodinville-Duvall Road shall be screened with 15 foot wide area of Type II *landscaping*.
- (iv) Parking lots, parking garages, vehicle circulation, and service areas abutting Woodin Creek or its critical areas buffer must be screened from the creek corridor with at least 10 foot wide area of Type I *landscaping*. Buildings with storefronts or residential units directly facing Woodin Creek or its critical areas buffer do not require screening.
- (v) Parking lots adjacent to streets not noted in (i) through (iv) above and in the Downtown and Little Bear Creek Corridor Study Area, where allowed, shall provide one of the options described in WMC 21.14.371(2)(g) above or a 10' wide landscape screening buffer consisting of Type III *landscaping* in accordance with WMC 21.16.040.
- (vi) Alternate Street front *Landscaping* Requirements. The *Director* may allow alternate landscape screening standards if he/she finds that the intent of the guidelines are met.
- (c) The ground floor of any parking garage facing a sidewalk in Downtown and Little Bear Creek Corridor Study Area, where allowed, shall be fully screened with 10 foot wide area of Type I *landscaping*.
- (d) Setbacks for Street Improvements. The *Director* may require that buildings and other site improvements be set back from the street right-of-way to allow for street improvements such as sidewalks, bike lanes and parking lanes. Table 2 below indicates the City's general intent for street configuration on each street. It is included only as an informational guide. Actual street configuration may vary as design progresses or with specific locations.

**Table 2. Downtown and Little Bear Creek Corridor Street Configuration Guidelines Matrix**

<b>Street</b>	<b># of lanes</b>	<b>Sidewalk width</b>	<b>Bike Lane</b>	<b>On-street Parking</b>	<b>Median</b>
<b><u>NE 175<sup>th</sup> Street</u></b>	<u>1 each way with left turn lanes at 135<sup>th</sup>, 133<sup>rd</sup>, and Garden Way NE</u>	<u>12' wide (min) with trees and amenities</u>	<u>Yes</u>	<u>None</u>	<u>Yes, where feasible west of 133<sup>rd</sup> Ave NE)</u>
<b><u>135<sup>th</sup> Ave NE</u></b>	<u>1 each way</u>	<u>12' wide (min) with street trees that do not obstruct view</u>	<u>Yes; connects 21 Acres to Little Bear Creek and transit</u>	<u>Yes</u>	<u>No</u>
<b><u>138<sup>th</sup> Avenue NE/ Garden Way NE</u></b>	<u>3 lanes 72' ROW</u>	<u>6' sidewalk and 10' planting area</u>	<u>Yes</u>	<u>Yes</u>	<u>Yes, where feasible</u>
<b><u>NE 173<sup>rd</sup> Street</u></b>	<u>2 lanes</u>	<u>12' (min) sidewalks both sides or 15' (min) trail on one side Street trees and plantings</u>	<u>Yes, separated bike trail acceptable.</u>	<u>Yes</u>	<u>Not required, but allowed if abutting property owner volunteers to dedicate sufficient ROW or easement.</u>
<b><u>133<sup>rd</sup> Ave NE</u></b>	<u>2 lanes</u>	<u>12' – 15' for sidewalk and planting area</u>	<u>No</u>	<u>Yes</u>	<u>No</u>
<b><u>NE 171<sup>st</sup> Street</u></b>	<u>5 lanes with left turn lane</u>	<u>8' Street trees or native vegetation on north side; south open for views</u>	<u>Yes</u>	<u>No</u>	<u>No</u>

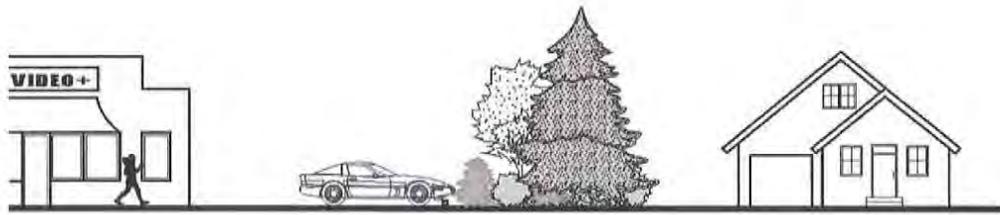
<u>Street</u>	<u># of lanes</u>	<u>Sidewalk width</u>	<u>Bike Lane</u>	<u>On-street Parking</u>	<u>Median</u>
<u>Little Bear Creek Parkway</u>	<u>3 lanes</u>	<u>8'</u>	<u>Yes</u>	<u>No</u>	<u>Yes, where feasible</u>
<u>Woodinville-Duvall Road</u>	<u>As existing</u>	<u>As existing with planter strip and trees</u>	<u>No</u>	<u>No</u>	<u>No</u>
<u>NE 178<sup>th</sup> Street (Mill PI)</u>	<u>As existing</u>	<u>As existing</u>	<u>Yes</u>	<u>No</u>	<u>No</u>
<u>140<sup>th</sup> Ave NE</u>	<u>As existing</u>	<u>8' (min) with 6' planting strip and trees.</u>	<u>Partial</u>	<u>No</u>	<u>No</u>
<u>Woodinville-Snohomish Road</u>	<u>5 lanes to 3 lanes</u>	<u>8' on west side Street trees and landscape strip</u>	<u>No</u>	<u>No</u>	<u>No</u>

- (e) Businesses with drive-thru access are prohibited in the Downtown-Little Bear Creek Corridor-Pedestrian Core Design District.
- (f) Entries. All buildings shall have at least one public entry directly facing the street with an 8 foot wide (minimum) walkway between the sidewalk and the street.

**21.14.380 Commercial Design Standards - Site Planning – Interior Yard Compatibility.**

- (1) Intent. To provide functional and visual compatibility between adjacent properties.

## SF Zone



**Figure 13-15. Provide landscape screening along property lines adjacent to incompatible uses.**

- (2) Design Principle. Minimize visibility and impacts of service areas. Specifically:
- (a) Landscape screening, buffers, or other forms of screening must be provided along property lines adjacent to “incompatible uses.” Incompatible uses include outdoor storage areas adjacent to any other use, service areas adjacent to any other use, and commercial development adjacent to a residentially zoned or developed property.
    - (i) Provide a landscaped buffer along interior lot lines per the requirements of WMC 21.16.060.
    - (ii) New development shall provide enclosures for recyclable and garbage collection points per WMC 21.14.250 and WMC 21.14.400.
    - (iii) Where outdoor storage is greater in size than 120 SF and abuts another commercial area or industrial use, 10’ width of Type II *landscaping* shall be provided.
    - (iv) Integrate outdoor storage areas and loading facilities into the site design to minimize their size, reduce visual impact, and where appropriate, allow for pedestrian and vehicular movement between sites.

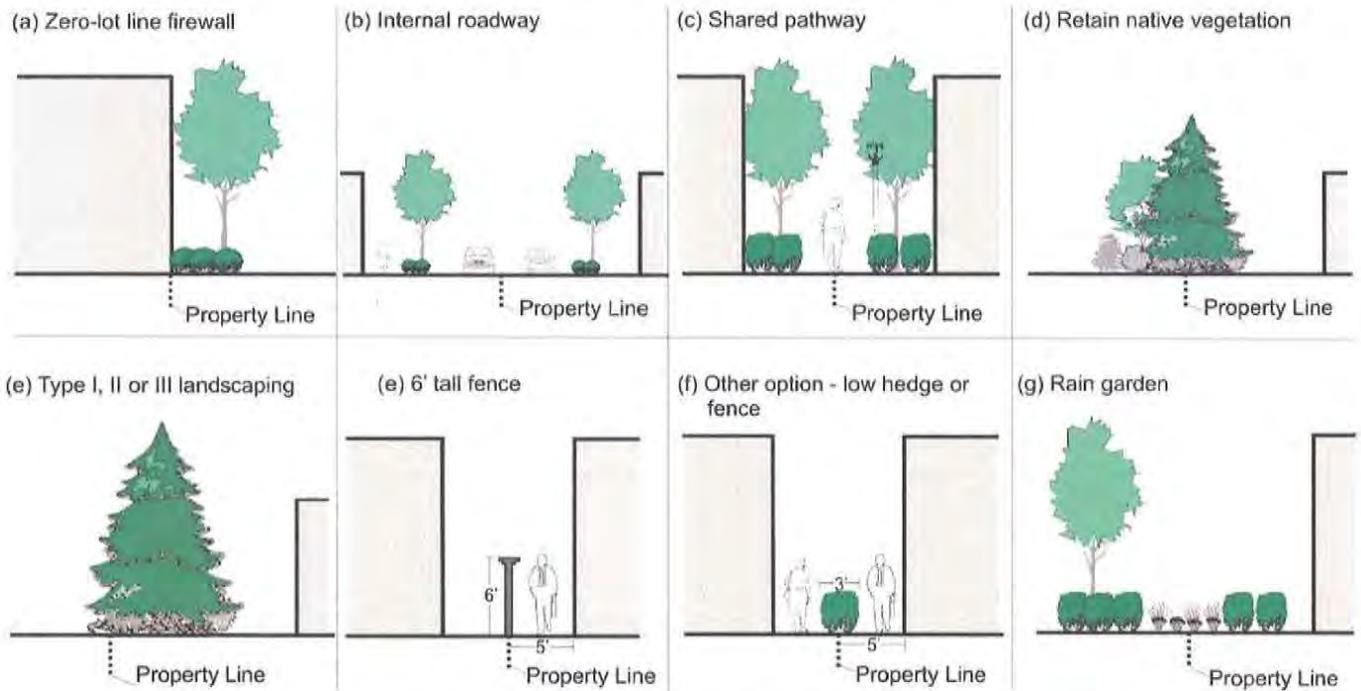
~~If changes in topography between the residentially zoned or developed property and adjacent property are great, modifications to some of the buffer options (above) may be allowed through the Director’s approval. The Director may waive screening requirements if shared parking advantage and/or other landscaping is approved.~~

Modifications may be allowed by the *Director* where site or development conditions are present that reduce or eliminate the need for landscaped screening. Examples include scenarios where a zero lot line fire wall is present next door or where changes in topography between the residentially zoned or developed property and adjacent property are significant and thus warrant no screening or reduced screening. The *Director* may waive screening requirements if shared parking advantage and/or other *landscaping* is approved.

- (3) Design Principle. Provide side and rear design options that enhance the area’s pedestrian environment and the setting for development. Specifically, project applicants shall incorporate one or more of the following design options into the site:
- (a) Provide a zero-lot line fire wall for commercial or mixed-use developments where allowed by the applicable zoning district. This configuration

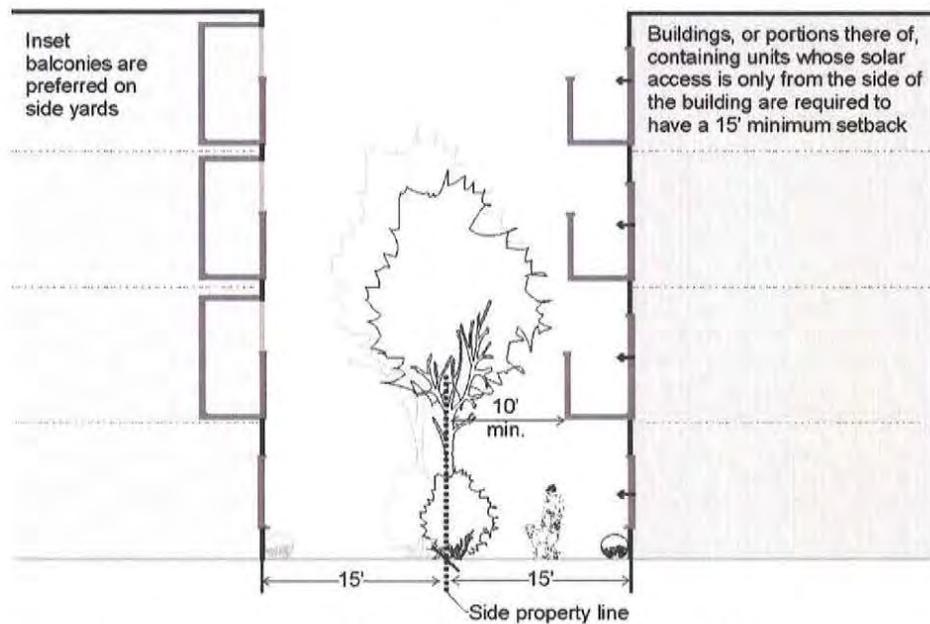
provides for the maximum use of property. Project applicants are encouraged to consider the design implications to the adjacent property.

- (b) Provide a shared internal drive or public street/alley along the property line. This configuration may be required by the City for large sites (2+ acres) where there is a strong need for internal connectivity. Depending on the status of the adjacent property, this may be a partial roadway along the property line or a complete roadway entirely within the subject property. This determination will be made by the *Director*. Where the roadway is constructed entirely within the subject property, at least a 5 foot wide area of Type I, II or III *landscaping* shall be provided between the road and the property line.
- (c) Provide a trail or other internal pathway along the property line. Trails that span the property line require written approval from the adjacent property owner. Other trails require at least a 5 foot wide area of Type III *landscaping* between the trail and the property line.
- (d) Retain existing native or desirable mature vegetation along the side or back property line.
- (e) Provide a 6-foot tall wood or masonry fence and/or at least a 5 foot wide area of Type I or II *landscaping* along the side and/or rear property line(s). These options may be used only where options (a), (b), (c), or (d) above are not viable, as determined by the *Director* based on the applicable uses and views between properties.
- (f) Other treatments that meet the intent of the standards as approved by the *Director*. Factors that must be considered in determining the appropriate treatment include lot sizes and established neighborhood patterns, applicable uses, connectivity, environmental conditions, and desired level of privacy.
- (g) A *rain garden* or other low-impact development measure may be incorporated as part of the treatments above.



**Figure 16. Side and rear yard design treatments.**

- (4) Design Principle. Enhance solar access and privacy for residential uses along side and rear yards. Specifically:
- (a) Buildings or portions thereof containing dwelling units whose solar access is only from the applicable side of the building (facing towards the side property line) shall be set back from the applicable side or rear property lines at least 15 feet, see Figure 17.
  - (b) Transparent windows shall occupy no more than 10 percent of any facade within 15 feet of the side or rear property line facing an adjacent property where either property's residential privacy may be compromised. The Director may waive this requirement where he or she finds that it achieves no practical increase in privacy.
  - (c) Balconies shall be set back at least 10 feet from side or rear yard property lines separating adjacent residential or mixed-use properties. Balconies or rooftop decks within 15 horizontal feet of a side property line must utilize opaque guard rails to minimize impacts to privacy on adjacent properties.



**Figure 17. Solar access and privacy standards for multifamily residential buildings along side/rear yards.**



**Figure 18. Internal walkway example between different multifamily developments.**

**21.14.390 Commercial Design Standards - Site Planning – Multiple Building/Large Lot Developments and Large Format Retail Stores.**

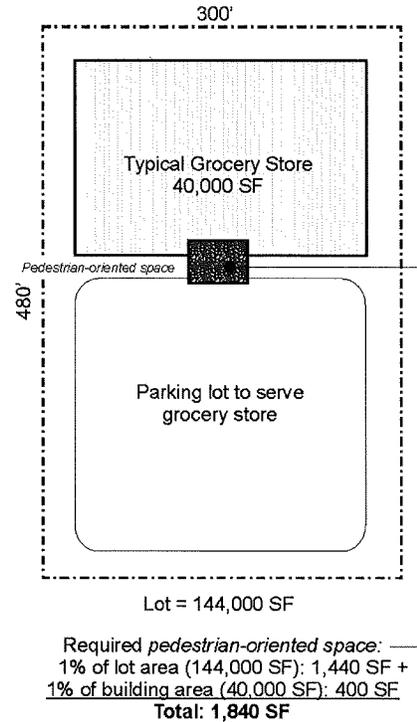
- (1) Intent. To encourage project designers to coordinate design standard requirements into an innovative organizational scheme, such as a “village green,” “small town grid,” “pedestrian square,” “perimeter walk,” etc., that integrates the

new development into the existing/proposed structure and creates a pedestrian-oriented focus.

In addition to other requirements, the intent of multiple building/*large lot development* standards are:

- (a) To reduce negative impacts to adjacent properties;
  - (b) To take advantage of special opportunities to create a composition of buildings and landscape features;
  - (c) To enhance pedestrian and vehicular circulation;
  - (d) To encourage transit use;
  - (e) To provide usable open space;
  - (f) To create focal points for pedestrian activity for developments; and
  - (g) To enhance the visual character of the community.
- (2) Multi-building /Large Lot Development Design Principle. Take advantage of special opportunities to mitigate impacts of multiple building and large developments (sites over 2 acres) through implementing measures such as the following:
- (a) The site planning for all developments must demonstrate a unifying, organized design that:
    - (i) Incorporates open space and *landscaping* as a unifying element (see WMC 21.16 and WMC 21.14.850 Pedestrian Activity and Plazas);
    - (ii) Where possible, incorporates screening, environmental mitigation, utilities, and drainage as positive elements (ex: create a “natural” open space or wet pond as a site feature to accommodate surface water runoff); and
    - (iii) Provides pedestrian paths or walkways connecting all businesses and the entries of multiple buildings as required by WMC 21.18.100.
  - (b) Provide pedestrian paths from/to all transit stops through commercial areas to residential areas within 1,200’ of the site.
  - (c) Enhance transit stops by providing rider convenience and amenities such as weather protected seating, newspaper dispensers, postal boxes, automated teller machines (ATM), and small vendor spaces (i.e. cleaners, florist, etc., pursuant to WMC 21.08 Permitted Uses).
  - (d) Integrate pedestrian accommodations for transit stops into the development of public and private streets, in addition to WMC 21.18.090.
  - (e) Integrate on-site pedestrian circulation with adjoining right-of-way activity and development.
  - (f) Provide on-site *pedestrian-oriented space* at the following ratio: 1% of applicable lot area plus 1% of non-residential floor area.

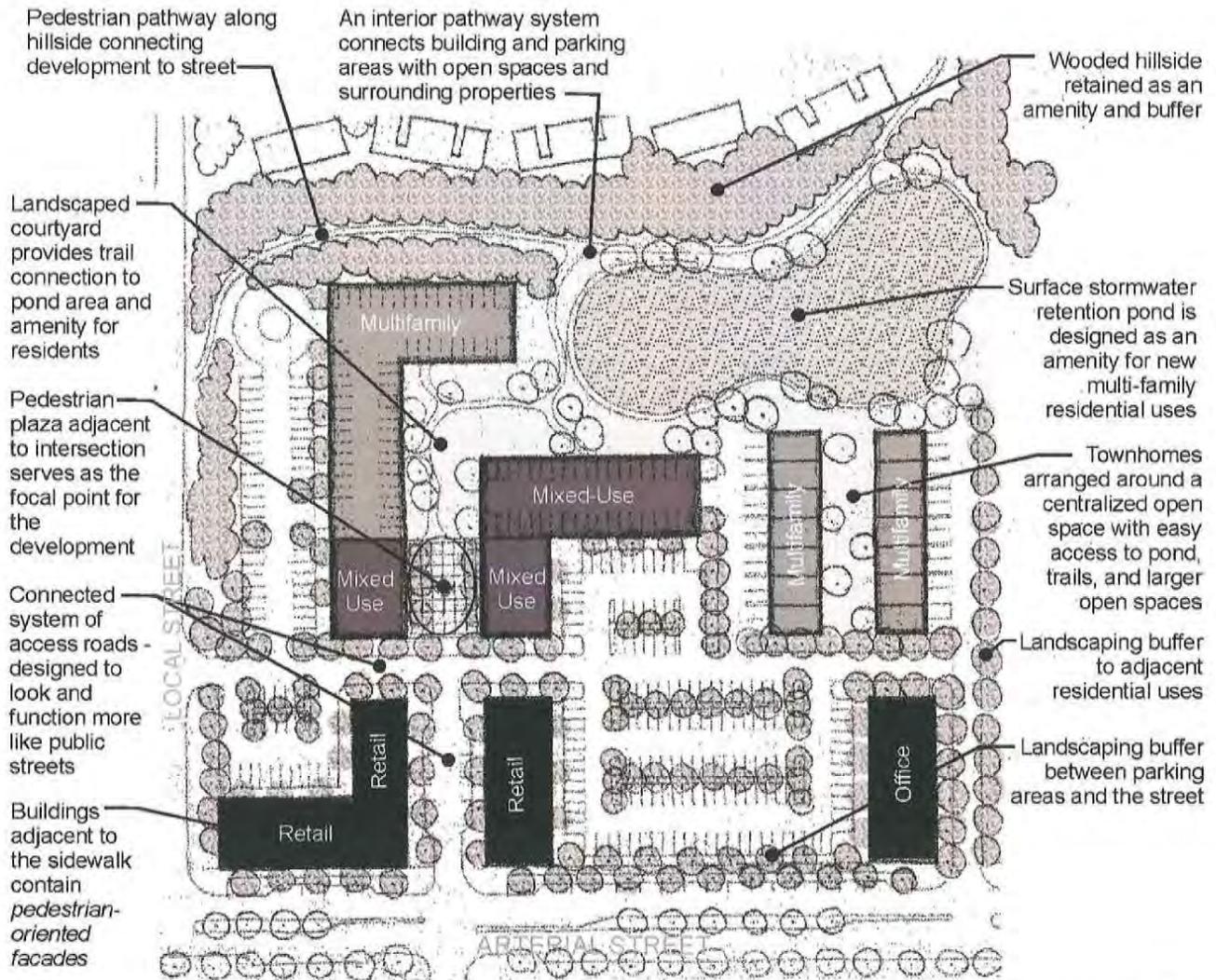
**Figure 14-19. Illustrating how much *pedestrian-oriented space* would be required for a typical grocery store served by surface parking.**



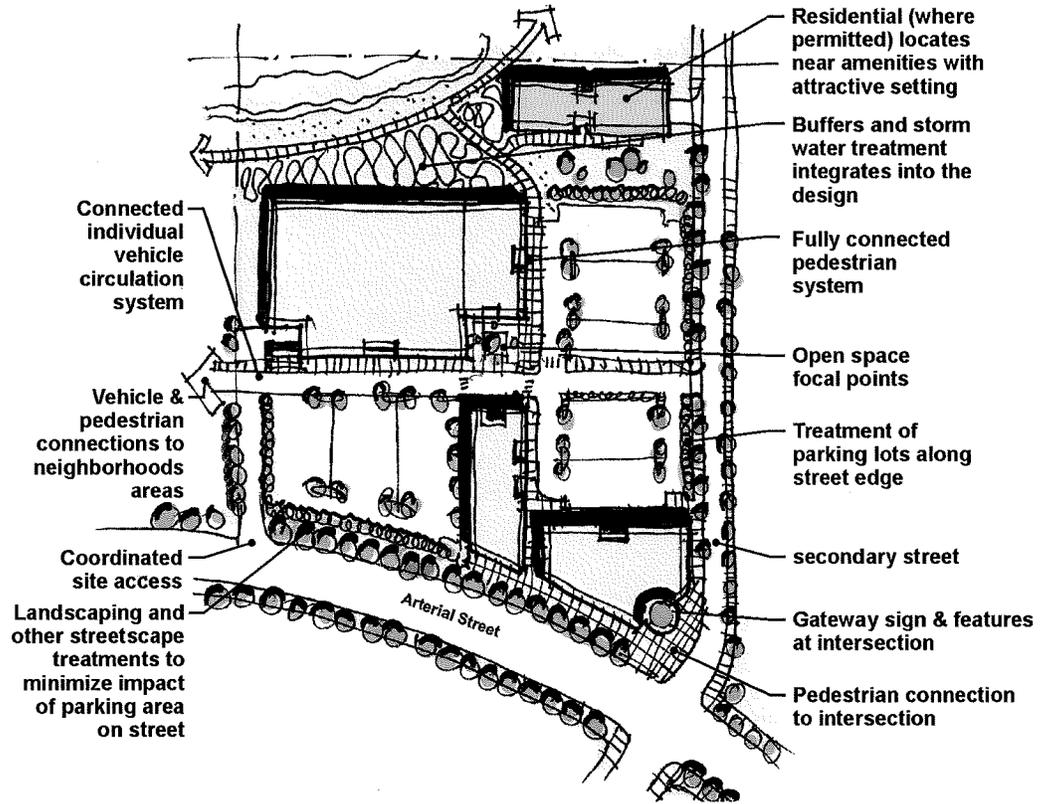
- (3) Large Format Retail Store Design Principle. In the design of the building and site layout, mitigate the impacts of large format retail stores containing over 60,000 gross square feet through the application of the following measures:
- (a) Provide centralized and visible *pedestrian-oriented space* at a ratio of 1% of applicable lot area plus 1% of non-residential floor area;
  - (b) Provide roofline treatments to break down the size of the buildings;
  - (c) Provide 15-foot wide landscape buffer between sidewalk and non-*pedestrian-oriented facade*;
  - (d) Provide 15-foot wide landscape buffer between sidewalk and on-site parking;
  - (e) Provide on-site pathway along building *facade* at least 12 feet in width and include street trees;
  - (f) Minimize access points from public street onto site;
  - (g) Screen service areas with *landscaping* and solid wall or fence;
  - (h) Provide parallel parking along major access roads located on site;
  - (i) Provide an enhanced building entry; and
  - (j) Provide landscaped, raised pathways with street trees through parking areas.
  - (k) Include uses that will expand the range of activities in downtown. Such uses might include a cultural or performing arts facility, public assembly

area, and similar uses that will encourage pedestrian activity and/or support for other business or community activities.

- (1) Other significant features that exceed the development standards and regulations.



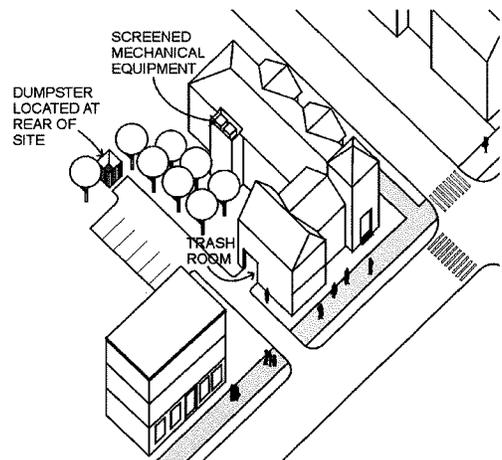
**Figure 15-20. An example of a multiple building/large lot development that incorporates the implementation measures above**



**Figure 16-21.** Another large site development example incorporating many of the implementation measures above.

**21.14.400 Commercial Design Standards - Mechanical Equipment and Service Areas.**

- (1) Intent.
  - (a) To minimize adverse visual, olfactory, or auditory impacts of mechanical equipment and service areas at ground and roof levels; and
  - (b) To encourage more thoughtful siting of trash containers and service areas.



**Figure 17-22.** Locate service elements to reduce impacts on the pedestrian environment.

- (2) Design Principle. Reduce impacts of refuse containers and storage areas.  
Implementation measures:
- (a) Service areas (loading docks, trash dumpsters, compactors, mechanical equipment, and storage yards) shall be located to avoid negative visual, auditory (noise), olfactory, or physical impacts on the street environment and adjacent residentially zoned or developed properties.
  - (b) Refuse containers are not to be visible from the sidewalk and adjacent properties. Acceptable screening treatments are described in WMC 21.14.250(4). Acceptable materials include brick, concrete block, stone, or wood. Cyclone fencing is prohibited. The sides and rear of the enclosure shall be screened as described in WMC 21.14.250(4).
  - (c) Buildings in the Downtown and Little Bear Creek Corridor Study Area with 30 or more dwelling units or non-residential buildings with a gross building floor area over 30,000 square feet shall have an interior service and trash room sufficient to house refuse containers for building uses.

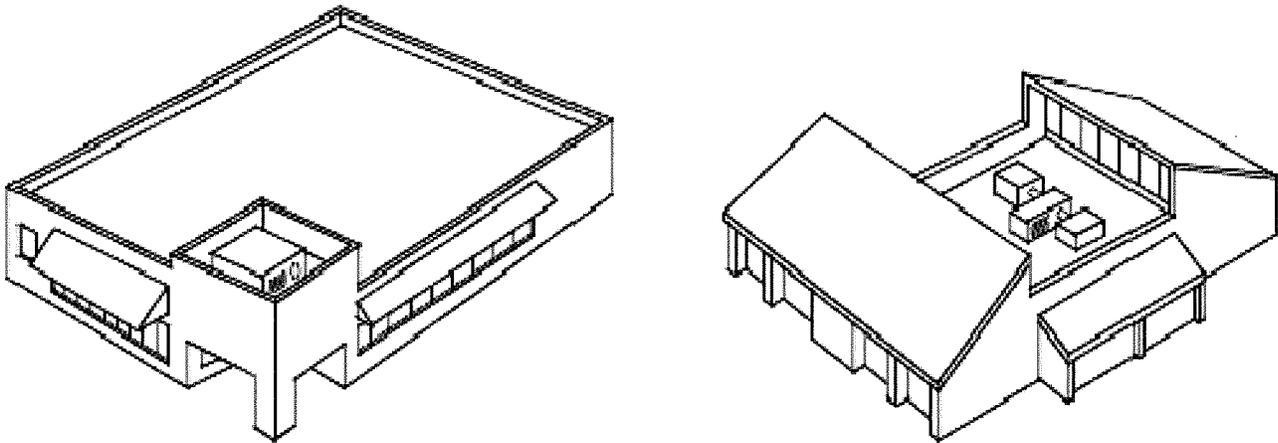


**Figure 23. Acceptable service enclosure example.**



**Figure 24. Unacceptable example of a service enclosure with cyclone fencing.**

- (d) Screened trash containers shall be a minimum of 44' from the wall of any structure where there is access to the structure for the public.
- (e) Mechanical equipment should be located and screened at ground level and attached to structures to reduce visual impacts from streets and adjoining properties.
- (f) Service areas should be located and screened to reduce adverse sensory impacts.
- (g) Roof mounted mechanical equipment should be located and screened so the equipment is not visible within 150' of the structure when viewed from the ground level of adjacent properties. Match the color of roof mounted equipment with the exposed color of the roof to minimize visual impacts when equipment is visible from higher elevations nearby.
- ~~(h) Locate and screen utility meters, electrical conduit, and other service and utilities apparatus so as not to be visible from adjoining and nearby streets.~~
- (h) Utility Meters, Electrical Conduit, and Other Service Utility Apparatus. These elements shall be located and/or designed to minimize their visibility to the public. Project designers are strongly encouraged to coordinate with applicable service providers early in the design process to determine the best approach in meeting these standards. If such elements are mounted in a location visible from the street, pedestrian pathway, common open space, or shared auto courtyards, they shall be screened with vegetation or by architectural features.



**Figure 19-25. Examples of how to screen roof-mounted mechanical equipment.**



**Figure 26. Good and bad utility meter configurations. The examples on the left are consolidated and somewhat screened by landscaping elements, whereas the right examples are exposed and degrade the character of these townhomes.**

**21.14.500 Commercial Design Standards - Biofiltration Swales.**

- (1) Intent. To integrate grass swales, if used, into site design while maintaining biofiltration efficiency.
- (2) Design Principle. When used, integrate biofiltration swales and ponds into the overall site design. Methods of filtration are listed below in order of preference:
  - (a) Locate biofiltration swales, ponds, or other approved biofiltration systems as part of a landscape screen. Trees may be planted near the grass swale as long as they do not substantially shade the grass within the swale. The swale or pond should be designed so it does not impede pedestrian circulation or shared parking between two or more properties;
  - (b) Where topography is favorable, locate the biofiltration swale, wet pond, or other approved biofiltration system within the paved parking or service area. The swale or pond should be landscaped as part of the required internal parking lot landscaping and oriented so it does not impede pedestrian circulation;
  - (c) Locate the swale along the front edge of the property. Incorporate landscaping and screening to visually enhance the swale without reducing maintainability and sun exposure; or
  - (d) The incorporation of screening elements and/or landscaping into biofiltration swale designs is encouraged if the biofiltration swale is located and/or designed as a positive landscaping feature with approved design and plant materials. Where appropriate, shade tolerant plants should be used. It may be counted as part of the required site landscaping.

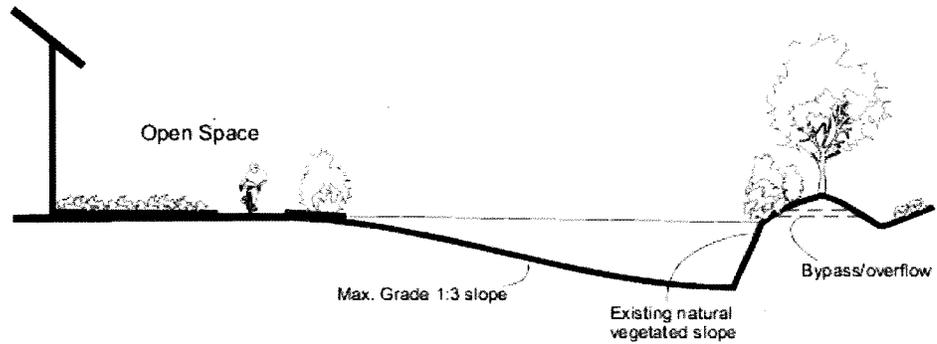


Figure 20-27. Biofiltration swale designed as an amenity.

**21.14.600 Commercial Design Standards - Street Corners.**

- (1) Intent.
  - (a) To create and preserve visual images for identification and spatial reference at street corners; and
  - (b) To enhance the pedestrian environment at street corners.
- (2) Design Principle. Enhance the visual quality of corners at the intersections of public streets. Implementing measures:
  - (a) All development proposals for street corner sites must include at least one of the design treatments described below (in order of preference):
    - (i) Locate a building towards the street corner (within 15 feet of corner property line);
    - (ii) Provide *pedestrian-oriented space* at the corner leading directly to a building entry or entries;



Figure 21-28. This example includes both a building located towards the street corner and a small *pedestrian-oriented space*.



Figure 22-29. Street corner building example.

If (i) or (ii) are not feasible per the *Director*, consider the following options:

- (iii) Install substantial *landscaping* (at least 30 feet by 30 feet or 900 square feet of ground surface area with trees, shrubs, and or ground cover). The space may include a special architectural element, such as a trellis, to add identity or demarcation of the area. Such an architectural element may have a sign incorporated into it (as long as such sign does not identify an individual business or businesses);

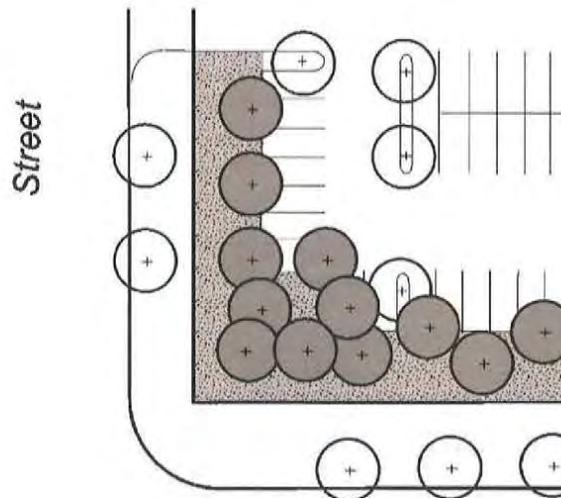
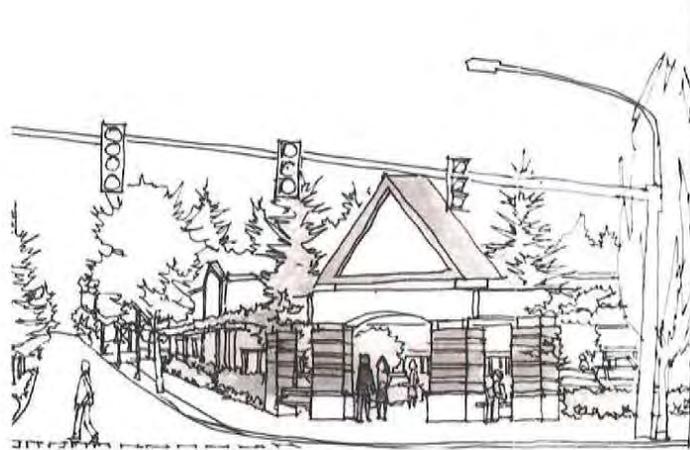


Figure 23-30. Substantial *landscaping* (at least 30' by 30' or 900 SF adjacent to the street corner).

- (iv) Install a decorative screen wall (at least 2.5 foot high), a trellis, or other continuous architectural element, with a length of at least 20

feet along the front property line. Height and location of elements are not to create a visibility or security problem; or



**Figure 24-31.** Decorative architectural element adjacent to the street corner.



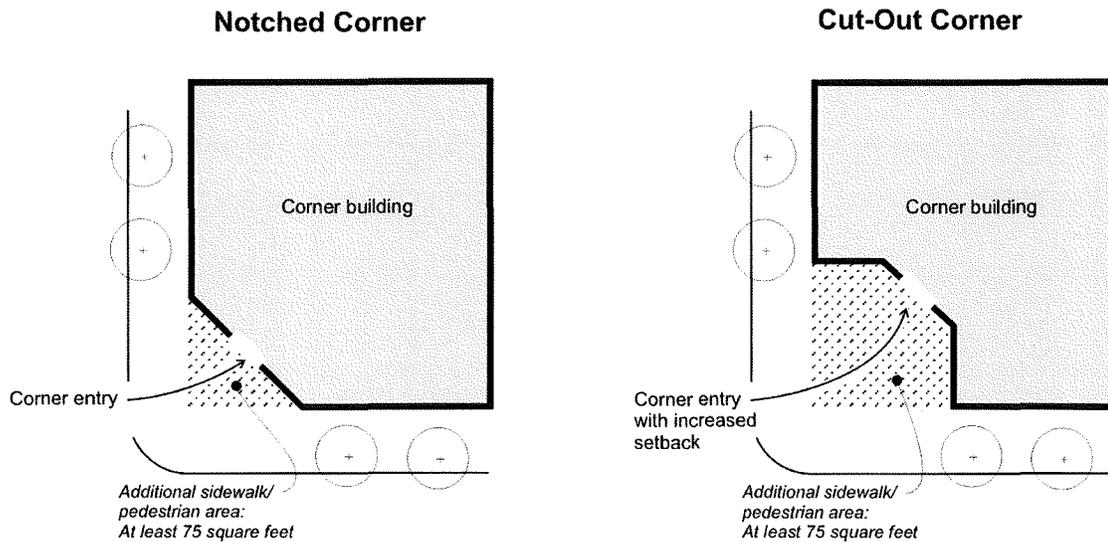
**Figure 25-32.** This street corner successfully combines *landscaping* with architectural elements. Signage demarcates the area, not an individual store.

- (v) Other element or method would be considered for approval if the proposed element or method conforms with the intent of this section as determined by the *Director*.
- (b) Parking lots may not be located adjacent to street corners where one or both streets are designated *pedestrian-oriented streets*. The *Director* may make exceptions where lots are surrounded by three or more *pedestrian-oriented streets* or where other more desirable development configurations are possible without strict enforcement of this standard.

(3) Key Corners in Downtown and Little Bear Creek Study Area. The following additional standards are required for key corners:

(a) Buildings abutting the intersection of NE 175<sup>th</sup> Street and 135<sup>th</sup> Avenue NE, NE 173<sup>rd</sup> Street and 135<sup>th</sup> Avenue NE, NE 175<sup>th</sup> Street and 140<sup>th</sup> Avenue NE or NE 175<sup>th</sup> Street and 138<sup>th</sup> Avenue NE (Garden Way) shall incorporate all of the following design elements:

- (i) Locate a building towards the street corner (within 15 feet of corner property line);
- (ii) Provide an entry at the corner;
- (iii) Provide a notch or a cut-out to the building corner. The notch or cut-out must be large enough to create additional sidewalk/ pedestrian area adjacent to the corner equaling no less than 75 square feet; and
- (iv) Provide a key architectural feature at the corner pursuant to WMC 21.14.920.



**Figure 33. Examples of notched and cut-out building corners.**

**21.14.700 Commercial Design Standards - Site Lighting.**

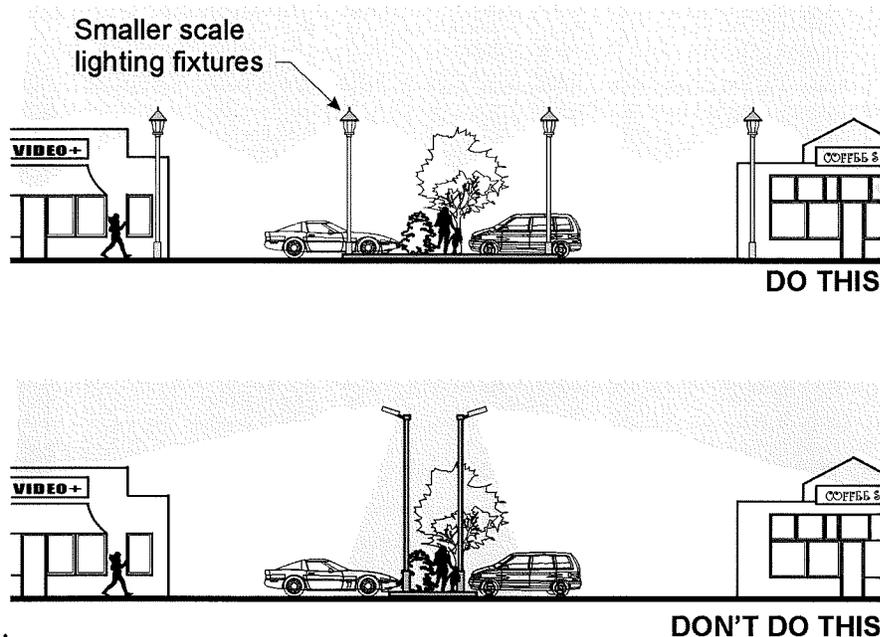
(1) Intent.

- (a) To encourage the use of lighting as an integral design component to enhance buildings, *landscaping*, or other site features;
- (b) To encourage night sky visibility and to reduce the general illumination of the sky in Woodinville;
- (c) To reduce horizontal light glare and vertical light trespass from a development onto adjacent parcels and natural features;
- (d) To encourage the judicious use of lighting in conjunction with other security methods to increase site safety; and
- (e) To discourage the use of lighting for advertising purposes.

- (2) Design Principle. Provide adequate lighting levels in all areas used by pedestrians or automobiles, including building entries, walkways, parking areas, circulation areas, and other open space areas.

New developments shall provide site lighting that meets the following design criteria through implementing measures such as:

- (a) All public areas shall be lighted with average minimum and maximum levels as follows:
  - (i) Minimum (for low or non-pedestrian and vehicular traffic areas) of 0.5 foot candles;
  - (ii) Moderate (for moderate or high volume pedestrian areas) of 1-2 foot candles; and
  - (iii) Maximum (for high volume pedestrian areas and building entries) of 4 foot candles.
- (b) Lighting shall be provided at consistent levels, with gradual transitions between maximum and minimum levels of lighting and between lit areas and unlit areas. Highly contrasting pools of light and dark areas shall be avoided.
- (c) Parking lot lighting fixtures shall be non-glare and mounted no more than 25' above the ground, with lower fixtures preferable so as to maintain a *human scale*. Requests for higher lighting fixtures may be considered with the approval of the *Director*. All fixtures over 15' in height shall be fitted with a full cut-off shield.



**Figure 26-34. Acceptable and unacceptable parking lot lighting.**

- (d) Pedestrian-scaled lighting (light fixtures no taller than 15 feet) is encouraged in areas of pedestrian activity. Lighting shall enable pedestrians to identify a face 45 feet away in order to promote safety.
- (e) Lighting should not be permitted to trespass onto adjacent private parcels nor shall light source (luminaire) be visible at the property line. All

building lights shall be directed onto the building itself and/or the ground immediately adjacent to it. The light emissions should not be visible above the roofline of the building. Light fixtures other than traditional cobra heads are encouraged.

**21.14.710 Commercial Design Standards - Site *Landscaping***

(1) Intent

(a) To encourage the abundant use of gardens and other *landscaping* in site and development design to improve site aesthetics, enhance the pedestrian experience, and increase the uniqueness of Woodinville.

(2) Design Principle. All developments shall comply with the provisions of WMC 21.16 Tree Retention and *Landscaping*, and demonstrate in their development plans how they meet the Intent.



**Figure 27-34. Molbak's *landscaping* elements are a major character defining element of Woodinville's downtown.**



**Figure 28-35. Much of the charm of Willows Lodge is from the colorful and diverse landscape.**

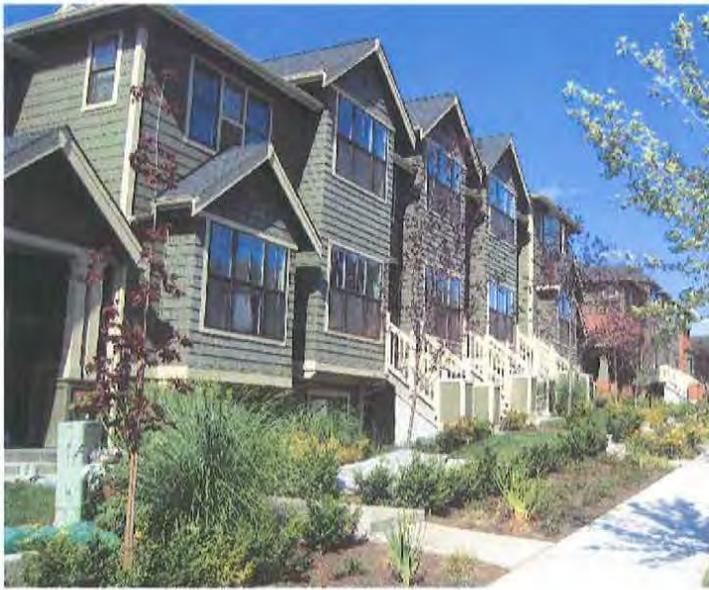
Other implementing measures:

(a) Townhomes and all other multi-family dwelling units with private exterior ground floor entries must provide at least 20 square feet of *landscaping* adjacent to the entry. This is particularly important for units where the

primary entrance is next to private garages off of an interior access road. Such *landscaping* areas soften the appearance of the building and highlight individual entries. Figure 36 below illustrates one example without *landscaping* and two that would meet the standard. Also, see Figure 37 on the following page.



**Figure 29-36.** Image “A” is an example where there is no near the entry. Images “B” and “C” are more desirable examples with individual planting strips that soften the buildings, highlight the individual entries, and help to de-emphasize the garages.



**Figure 30-37. Another good example. These units face the street and contain their required landscaping in the front yard. Garages are off an alley, where in this case, landscaping would not be required.**

**21.14.800 Commercial Design Standards - General Pedestrian Access Requirements.**

(1) Intent.

- (a) In keeping with the City's commitment to pedestrians, priority treatment is given to pedestrian accommodations in the design of transportation modes for on-site developments using City street standards;
- (b) To improve the pedestrian environment by making it easier, safer, and more comfortable to walk between businesses, on street sidewalks, to transit stops, and through parking lots;
- (c) Pedestrian facilities such as sidewalks, crosswalks, and bus shelters should connect all modes of transportation; and
- (d) To provide convenient pedestrian circulation connecting all on-site activities to adjacent pedestrian routes and streets.

(2) Design Principle. Provide safe convenient pedestrian circulation for all users. Specifically:

- (a) Provide pedestrian access onto the site from the main street off of which the use is located. Where a use fronts two streets, access shall be provided from the road closest to the main entrance, but preferably from both streets.



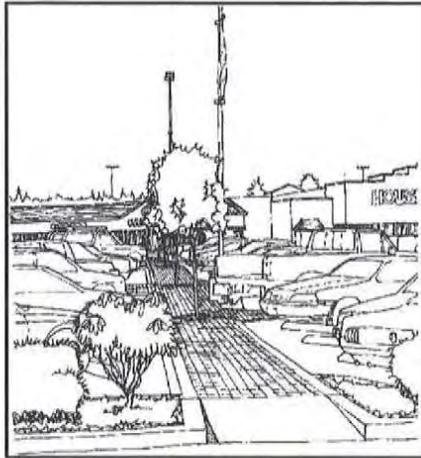
**Figure 31-38. Provide pedestrian access to the site from the street.**

- (b) Provide pedestrian access in accordance with WMC 21.18.100 Pedestrian Circulation and Access, unless otherwise directed by these design standards.
- (c) Access shall conform with Federal, State and local codes for the Americans with Disabilities Act.
- (d) Provide safe, convenient, on-site pedestrian circulation.
  - (i) Provide paved pedestrian path(s) from the street sidewalk to the main entry of all buildings.
  - (ii) Buildings with entries not facing the street shall have a clear and obvious pedestrian accessway from the street sidewalk to the entry.
- (e) Developments should adapt building access to site conditions for level, convenient, clearly identified pedestrian entry.

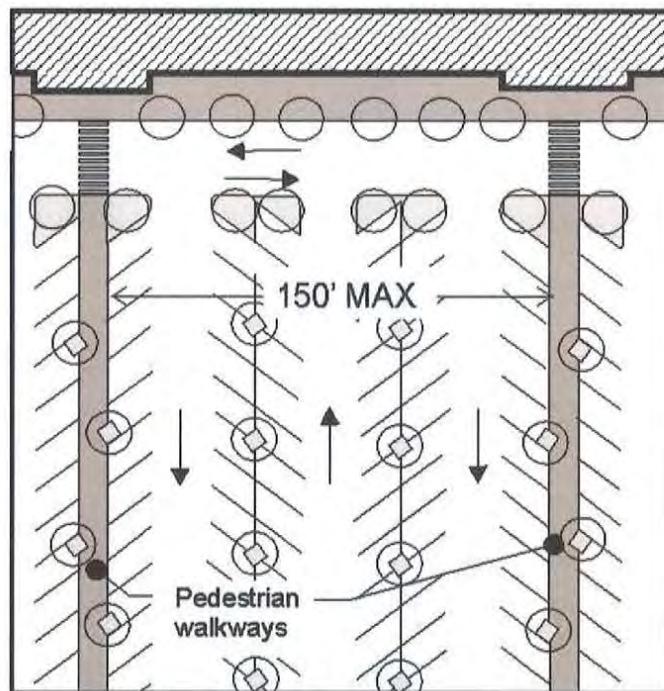
**21.14.810 Commercial Design Standards - Pathways Through Parking Lots.**

- (1) Intent.
  - (a) To provide safe and convenient pedestrian paths from the street sidewalk through parking lots to building entries in order to encourage pleasant walking experiences between businesses; and
  - (b) To provide an inviting, pleasant pedestrian circulation system that integrates with parking and serves as access to nearby businesses.
- (2) Design Principle. Provide pathways through parking lots. Specifically:
  - (a) Developments must provide specially marked or paved walkways through parking lots in accordance with WMC 21.18.100. Generally, walkways should be provided every four rows and a maximum distance of 150 feet shall be maintained between paths. Where possible, align the pathways to connect with major building entries or other destinations.

(b) Integrate on-site walkways with required parking lot *landscaping*.



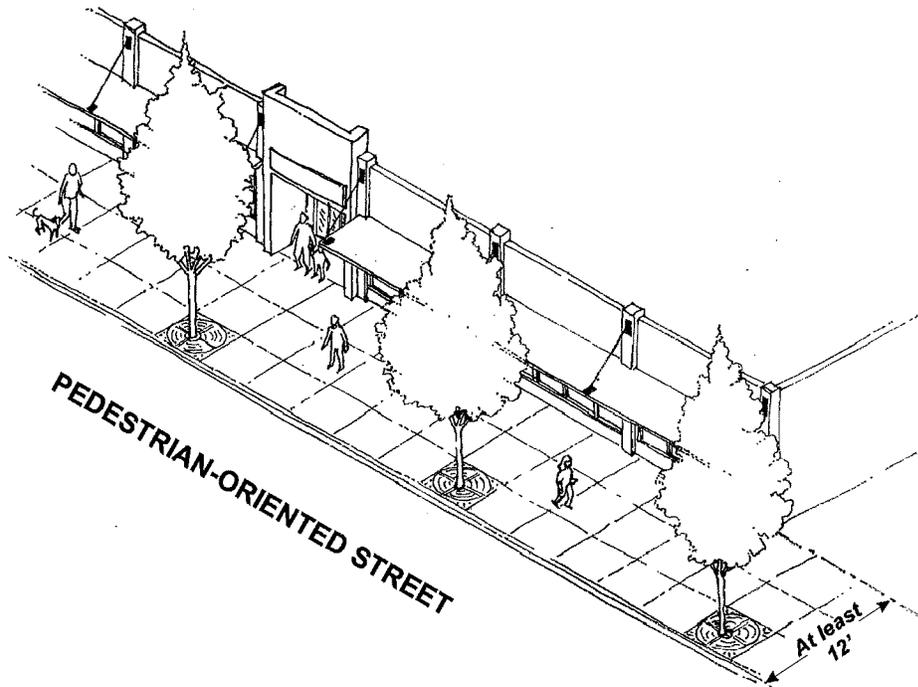
**Figure 32-39.** Parking lot pathway examples



**Figure 33-40.** Parking lot pathway configuration.

**21.14.820 Commercial Design Standards – Sidewalks - Size and Materials.**

- (1) Intent.
  - (a) To provide safe, convenient and pleasant pedestrian sidewalks for circulation along all streets; and
  - (b) To improve the character and identity of commercial areas consistent with the City’s Comprehensive Plan vision.
- (2) Design Principle. Utilize appropriate sidewalk widths, materials, designs, and construction standards to enhance pedestrian access and complement city life. Specifically:
  - (a) Required minimum sidewalk widths along both sides of streets:
    - (i) 12 feet along *pedestrian-oriented streets*; and
    - (ii) 8 feet along streets not designated as a *pedestrian-oriented street*.
    - (iii) For streets in the Downtown and Little Bear Creek Corridor study area, see Table 2 in section WMC21.14.371 (4)(d) for sidewalk dimensions.



**Figure 34-41. Sidewalk width on both sides of *pedestrian-oriented streets*.**

- (b) Sidewalks must be constructed per Woodinville Public Infrastructure Standards and Specifications unless otherwise directed by these design standards.



**Figure 35-42.** An example sidewalk for a *pedestrian-oriented street*. Note the street trees and pedestrian-style lighting.

- (c) The sidewalk materials, colors, and textures shall be determined by the *Director*, based on the following:
- (i) Adopted street improvement plans, where applicable;
  - (ii) Goals and policies of the Comprehensive Plan and adopted sub-area plans, where applicable; and
  - (iii) Sidewalk improvements on the subject property or adjacent sites, when desirable.



**Figure 36-43.** This decorative sidewalk pavement adds visual interest and character to the street. Where distinctive sidewalk patterns have been established, new development may be required to extend the pattern onto the project site.

- (d) The *Director* may require street trees to be placed within grates near the curb edge similar to the images in Figures 41-43.
- (e) If the City has a programmed street improvement for the public right-of-way in front of a building to be constructed, the required 12 foot minimum width shall be measured from the proposed back of the curb location and may include public right-of-way and private property. Upper building stories may extend to the front property lines as long as they do not restrict pedestrian traffic. All new fences, screen walls, and other obstructions to pedestrian traffic shall also be set back 12 feet from the back of the curb if located on a *pedestrian-oriented street*.



**Figure 37-44. Planting strips are desirable along streets where there is no on-street parking.**

**21.14.830 Commercial Design Standards - Pedestrian Amenities.**

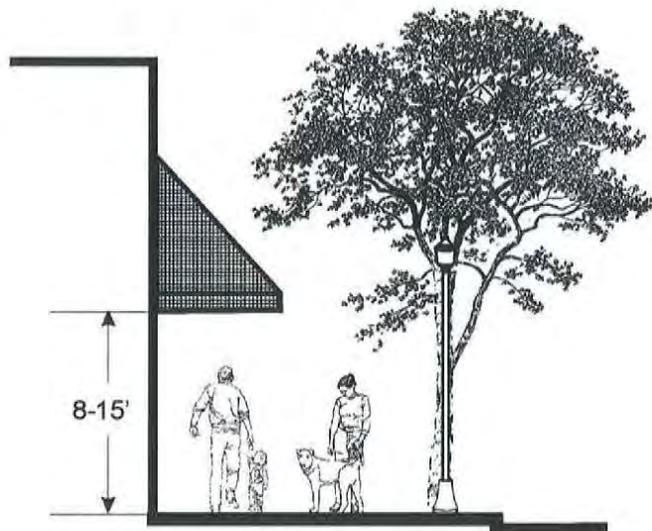
- (1) Intent.
  - (a) To provide pedestrian spaces that include accommodations for seasonal climate conditions for a variety of activities;
  - (b) To provide amenities along sidewalks and pathways that enrich the pedestrian environment; and
  - (c) To encourage walking, both as a recreational activity and as a means of transportation.
- (2) Design Principle. Provide pedestrian weather protection in public spaces such as transit stops, building entries, along display windows, and over outdoor dining areas. Specifically:

- (a) Weather protection at least 6' deep is required over all primary building, individual business, and individual residence entries. This may include a recessed entry, canopy, porch, marquee, or building overhang.



**Figure 38-45. Provide weather protection over building entries.**

- (b) All buildings located along *pedestrian-oriented streets* must comply with the standards and guidelines related to weather protection in WMC 21.14.371(2)(b).
- (c) Canopies, awnings, or other similar weather protection features shall not be higher than 15' above the ground elevation at the highest point or lower than 8' at the lowest point. The street-side edge of the canopy or awning shall be at least 8' above the walking surface.



**Figure 39-46. Height standards for weather protection features.**

- (d) The color, material, and configuration of the pedestrian coverings shall be as approved by the *Director*. Coverings with visible corrugated metal or

corrugated fiberglass are not permitted unless approved by the *Director*. Fabric and rigid metal awnings are acceptable if they meet the applicable standards. All lettering, color and graphics on pedestrian coverings must conform to the City's Sign Code; see WMC 21.20 Development Standards - Signs.

- (e) Multi-tenant retail buildings are encouraged to use a variety of weather protection features to emphasize individual storefronts and reduce the architectural scale of the building. Figure 47 provides an unacceptable and better example.

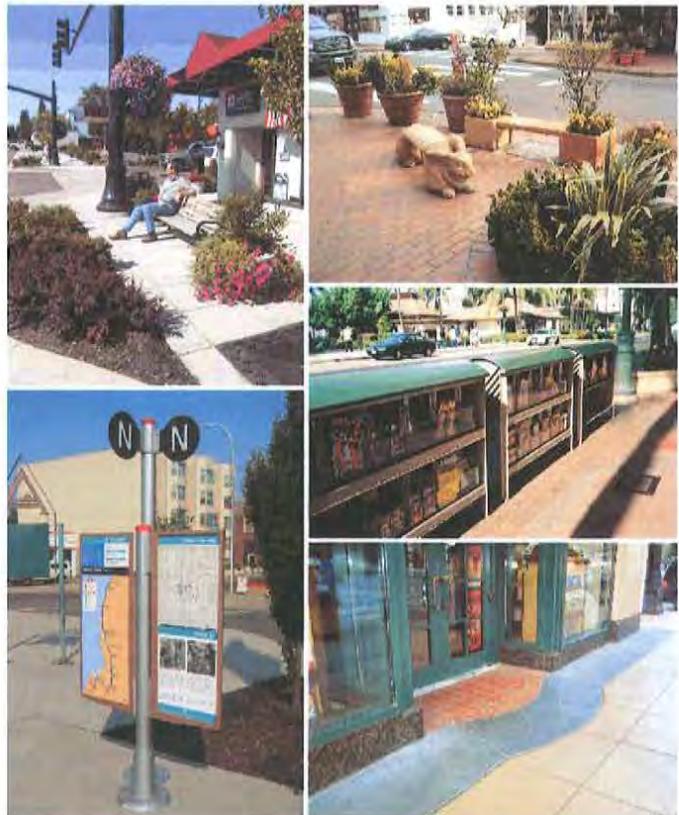


**Figure 40—47.** The continuous canopy on top is monotonous and deemphasizes individual storefronts. The bottom example provides a variety of weather protection features and represents a more desirable example.

- (f) Pedestrian amenities must be included along all *pedestrian-oriented streets*. Specifically, one or more of the desired amenities listed below must be included for each 100 lineal feet of street *frontage*. For multi-story buildings, two different types of amenity features are required for each 100 lineal feet of street *frontage*. The type, location, and design of chosen amenities must contribute to a well-balanced mix of features on the street, as determined by the *Director*. Desired amenities include (see Figure 48 for examples):
  - (i) Pedestrian-scaled lighting (placed between 12-14 feet above the ground);

- (ii) Pedestrian furniture, such as seating space, approved trash receptacles, consolidated newspaper racks, bicycle racks, and drinking fountains. Seating areas and trash receptacles are particularly important where there is expected to be a concentration of pedestrian activity (such as near major building entrances and transit stops) and may be required by the *Director*;
- (iii) Planting beds, hanging flower baskets, and/or large semi-permanent potted plants;
- (iv) Decorative pavement patterns and tree grates;
- (v) Informational kiosks;
- (vi) Transit shelters;
- (vii) Decorative clocks;
- (viii) *Artwork*; and
- (ix) Other amenities that meet the Intent.

Features above that are publicly funded, already required by code, and/or obstruct pedestrian movement will not qualify as an amenity to meet this standard.

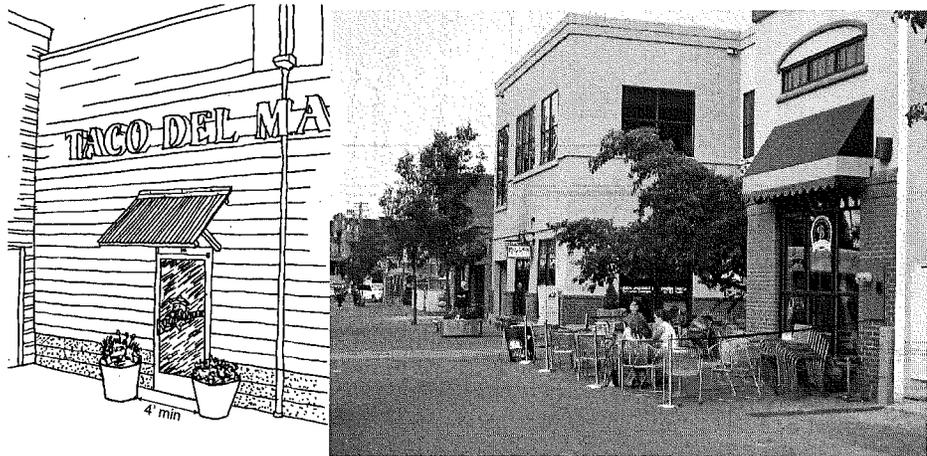


**Figure 41-48. Examples of desired pedestrian amenities.**

- (g) Secondary Public Access. Whereas these design standards require businesses on a *pedestrian-oriented street* within the CBD to front on streets rather than parking lots, a large number of customers use the

“secondary” entry off of the parking lot. Such businesses that have secondary public access shall comply with the following measures to enhance secondary public access (applies only to entries used by the public):

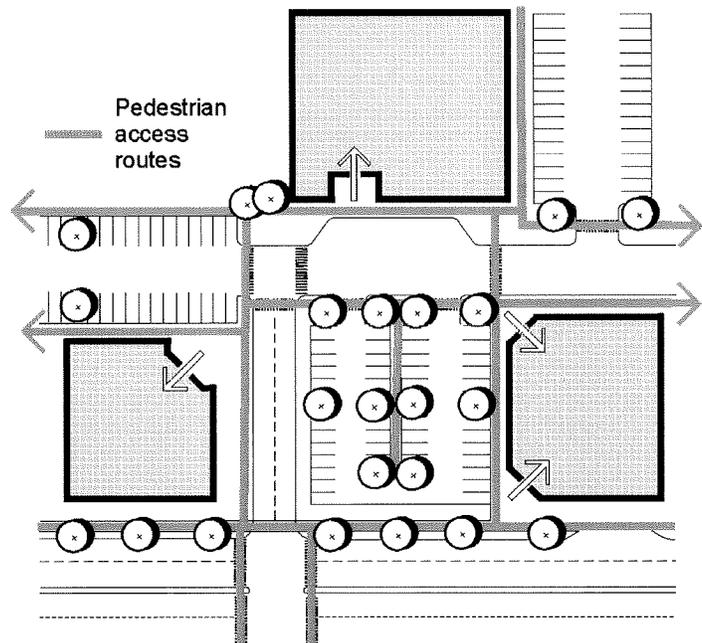
- (i) Weather protection at least 3 feet deep is required over each secondary entry.
- (ii) A sign may be applied to the awning provided that the sign complies with WMC 21.20; awning signs on the building are similar in mounting, location, configuration, materials, and construction; and the sign area does not exceed 4.5 square feet as measured under WMC 21.20.050.
- (iii) Two or more of the following design elements must be incorporated within or adjacent to the secondary entry:
  - 1a) A transparent window or door to allow visibility into the business;
  - 2b) A *landscaping* bed, planter box, or trellis incorporating *landscaping* adjacent to the entry;
  - 3c) Decorative architectural treatments that add visual interest to the entry;
  - 4d) Outdoor dining area or *pedestrian-oriented space*;
  - 5e) Decorative lighting;
  - 6f) Other design elements that meet the Intent per the Director; or
  - 7g) Plant containers (planters) that allow for a minimum 4 foot passage on walks serving the public access. Planters shall be maintained with viable plant materials or removed.



**Figure 42-49. Examples of secondary public access. Note the planters, window sign, and awning.**

**21.14.840 Commercial Design Standards - Internal Pedestrian Paths and Circulation.**

- (1) Intent.
  - (a) To provide safe and direct pedestrian access in commercial areas to accommodate pedestrian movement patterns, to minimize conflicts between pedestrians and vehicular traffic, and to provide pedestrian connections to neighborhoods;
  - (b) To provide safe routes for the pedestrian and disabled person across parking, to entries, and between buildings;
  - (c) To accommodate non-competitive/non-commuter bicycle riders who use bicycles on short trips for exercise and convenience;
  - (d) To provide attractive internal pedestrian routes that promote walking and enhance the character of the area;
  - (e) To provide a network of pedestrian pathways that can be expanded over time; and
  - (f) To encourage pedestrian amenities along pathways, such as *artwork*, *landscaping* elements, and architectural details.
  
- (2) Design Principle. Provide safe and direct access in commercial areas for all users. Specifically:
  - (a) Provide pedestrian circulation routes in accordance with WMC 21.18.100 from building entries of businesses to:
    - (i) Services within the same development;
    - (ii) Building entries of nearby residential complexes; and
    - (iii) Sidewalks along abutting roadways.

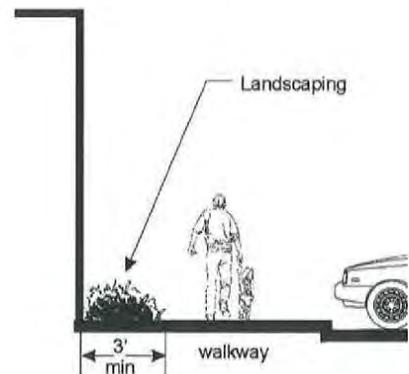


**Figure 43-50.** This development provides clear pedestrian connections from the street, between buildings, through parking lots, and to adjacent uses.



**Figure 44-51. An example of an attractive pedestrian connection through a large development.**

- (b) Where possible, provide steps and ramps across retaining walls and slopes in accordance with WMC 21.18.100.
- (c) Fences shall provide for pedestrian access by gates to shopping and other common activities, especially to transit.
- (d) When abutting vacant sites or properties with the potential for redevelopment, new developments shall provide for the opportunity for future pedestrian connections per the *Director* through the use of pathway stub-outs, building configuration, and/or parking lot layout. New development and redevelopment projects shall provide pedestrian connections per the *Director* to pathway stub-outs on abutting parcels.
- (e) Adjacent *landscaping* shall not block visibility to and from a path, especially where it approaches a roadway or driveway according to WMC 21.12.200.
- (f) Pedestrian walks shall be separated from structures at least 3 feet for *landscaping* except where the adjacent building features a pedestrian-oriented façade. The *Director* will consider other treatments to provide attractive pathways. Examples include sculptural, mosaic, *bas-relief artwork*, or other decorative treatments that meet the Intent (Figure 53 provides one example).

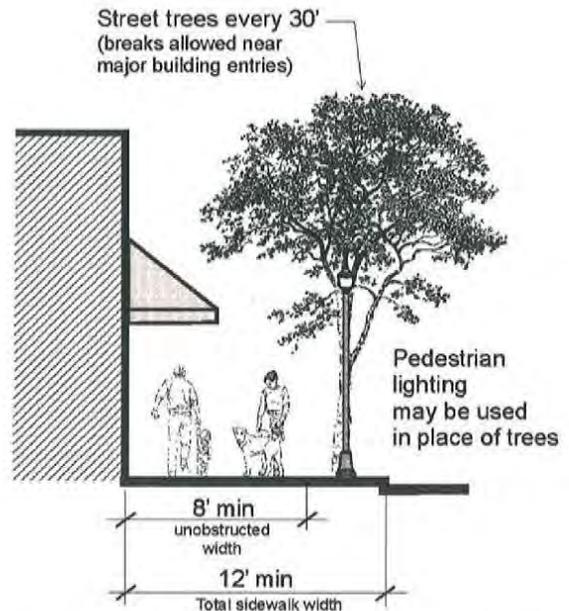


**Figure 45-52. Provide landscaping between walkways and structures.**



**Figure 46-53.** Wall treatment to provide interest along a walkway.

- (3) Design Principle. Provide wide pathways adjacent to the façades of retail and mixed-use buildings where they are not adjacent to the street. Specifically:
- (a) Pathways along the façade of mixed-use and retail buildings 100 feet or more in length (measured along the façade) that are not located adjacent to a street must be at least 12 feet wide with an 8 foot minimum unobstructed width and include the following:
    - (i) Street trees, as approved by the *Director*, should be placed at an average of 30 feet on-center and placed in grates. Breaks in the tree coverage will be allowed near major building entries to enhance visibility. However, no less than one (1) tree per 60 lineal feet of building façade must be provided;



**Figure 47-54.** Pathway standards when adjacent to the façade of a mixed-use or retail building 100' or more in length.

- (ii) Planting strips may be used between any vehicle access or parking area and the pathway, provided that the required trees are included and the pathway is at least 8 feet in width and the combined pathway and planting strip is at least 15 feet in width; and
- (iii) Pedestrian-scaled lighting may be used as a substitute to the required street trees subject to *Director* approval, provided they are used at the same intervals.



**Figure 48-55. This off-street multi-tenant retail building incorporates wide walkways with street trees and pedestrian lighting. As a result, it looks more like a traditional city sidewalk rather than a utilitarian strip mall walkway.**

- (b) For all other interior pathways, the applicant must demonstrate to the *Director's* satisfaction that the proposed walkway is of sufficient width to accommodate the anticipated number of users. For example, a 10-12 foot pathway can accommodate groups of persons walking four abreast, or two couples passing one another. An 8 foot pathway will accommodate three persons walking abreast, while a 5 foot pathway will allow two individuals to pass comfortably.

**21.14.850 Commercial Design Standards - Pedestrian Activity and Plazas.**

- (1) Intent.
  - (a) To provide a variety of pedestrian areas to accommodate shoppers on designated *pedestrian-oriented streets*; and
  - (b) To provide safe, attractive, and usable open spaces that promote pedestrian activity.
- (2) Design Principle. Provide pedestrian-oriented open space at key locations.
  - (a) A *pedestrian-oriented space* is an area that promotes pedestrian activity, subject to the following:

(i) A *pedestrian-oriented space* must have:

- a) Visual and pedestrian access (including handicapped access) into the site from a street, private access road, or non-vehicular courtyard;
- b) Paved walking surfaces of either concrete or approved unit paving;
- c) On-site or building-mounted lighting (fixtures no taller than 15 feet) providing at least 4 foot candles (average) on the ground;

~~• Spaces must be positioned in areas with significant pedestrian traffic to provide interest and security, such as adjacent to a building entry; and~~

~~• Landscaping components that add visual interest and do not act as a visual barrier. This could include planting beds, potted plants, or both.~~

- d) A location in areas with significant pedestrian traffic to provide interest and security, such as adjacent to a building entry;
- e) Landscaping components that add visual interest and do not act as a visual barrier. This could include planting beds, potted plants, or both; and
- f) At least 2 feet of seating area (a bench or ledge at least 16 inches deep and appropriate seating height) or one individual seat per 60 square feet of plaza area or open space;

(ii) A *pedestrian-oriented space* is encouraged to have:

- a) Pedestrian amenities, such as a water feature, site furniture, artwork, drinking fountains, kiosks, etc;

~~• At least 2' of seating area (a bench or ledge at least 16" deep and appropriate seating height) or one individual seat per 60 SF of plaza area or open space;~~

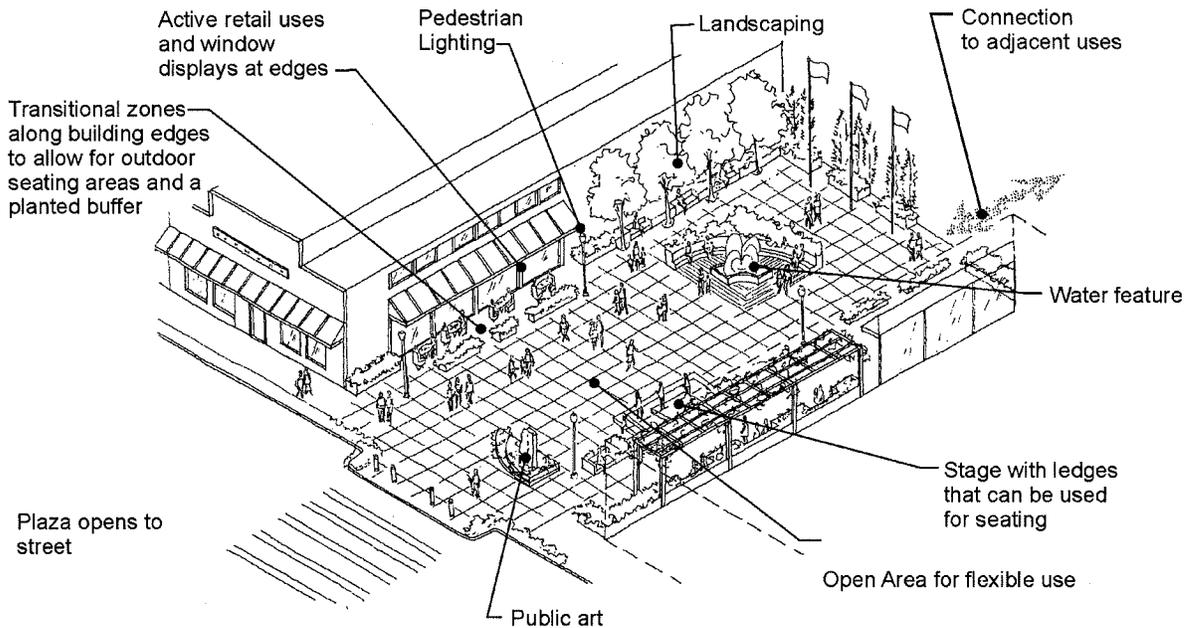
- b) Adjacent buildings with transparent window and doors covering 75% of the façade between 2 feet and 8 feet above the ground level;
- c) Consideration of the sun angle at noon and the wind pattern in the design of the space; and
- d) Transitional zones along building edges to allow for outdoor seating areas and a planted buffer.

(iii) A *pedestrian-oriented space* must not have:

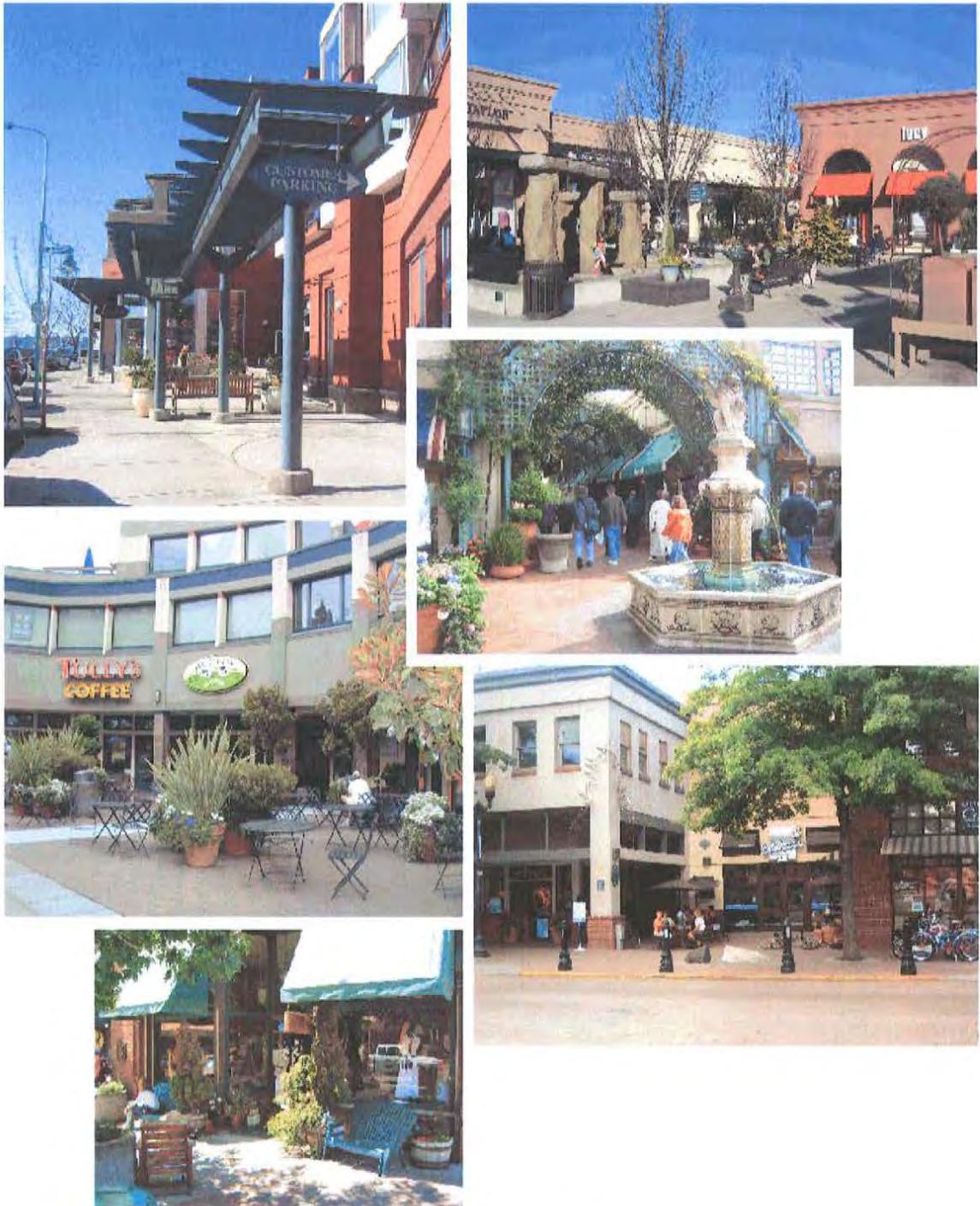
- a) Asphalt or gravel pavement;
- b) Adjacent non-buffered parking lots or service areas;
- c) Adjacent chain-link fences;
- d) Adjacent "blank walls" without "blank wall treatment"; and
- e) Outdoor storage or retail sales that do not contribute to the pedestrian-oriented environment.

(3) Implementing actions:

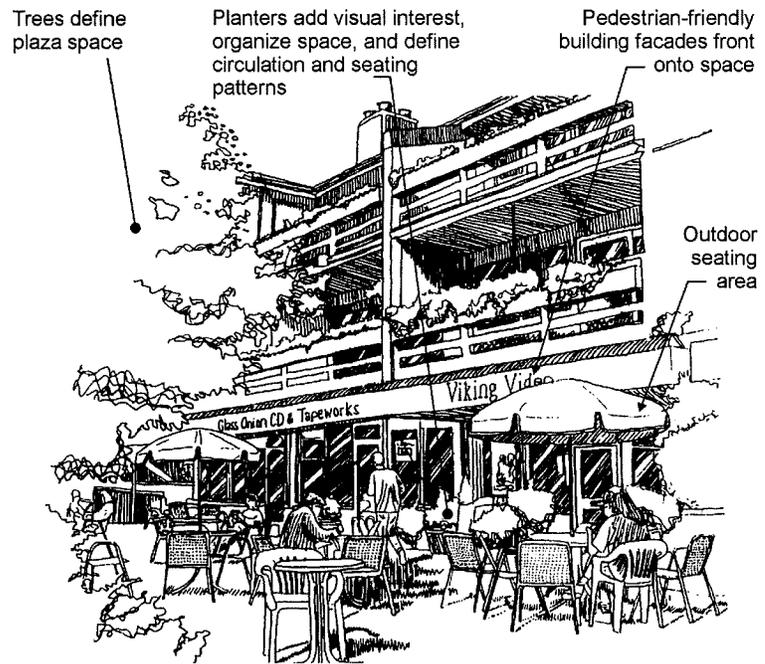
- (a) Minimum required pathway areas do not qualify as *pedestrian-oriented space*. However, if pathway and sidewalk widths are widened beyond the required width and the applicable area meets the definition of *pedestrian-oriented space*, then that area shall qualify as *pedestrian-oriented space*.
- (b) See WMC 21.14.371(2)(b) for *frontage* treatment options along *pedestrian-oriented streets*.
- (c) See WMC 21.14.390 for *pedestrian-oriented space* requirements for Multiple Building and *Large Lot Developments*.



**Figure 49-56. Example of a large pedestrian-oriented space.**



**Figure 50-57.** A variety of successful large and small *pedestrian-oriented spaces*.



**Figure 51-58.** Example of a small *pedestrian-oriented space*.

**21.14.851 Commercial Design Standards - Residential Open Space.**

- (1) Intent.
  - (a) To create useable space that is suitable for leisure or recreational activities for residents; and
  - (b) To create open space that contributes to the residential setting.
- (2) Design Principle. Provide usable and attractive open space for multi-family residential uses. Specifically:
  - (a) Provide open space in accordance with WMC 21.14.180 On-Site Recreational Space Requirement. Where there is a conflict with other design standards herein, the *Director* shall determine which standards apply.
  - (b) Common open space may be used for all of the required open space. This includes landscaped *courtyards* or *decks*, gardens with pathways, children’s play areas, or other multi-purpose green spaces. Special requirements and recommendations for common spaces include the following:
    - (i) Minimum required setback areas will not count towards the open space requirement;
    - (ii) Space should be large enough to provide functional leisure or recreational activity per the *Director*. For example, long narrow spaces (less than 20 feet wide) rarely, if ever, can function as usable common space;
    - (iii) Consider space as a focal point of development;
    - (iv) Space must contribute to the residential setting of the development;

- (v) Space (particularly children’s play areas) must be visible from dwelling units and positioned near pedestrian activity;
- (vi) Residential units adjacent to the open space should have individual entrances to the space. Preferably, these units include a small area of semi-private open space enclosed by low level *landscaping* or hedges (no taller than 42 inches);
- (vii) Space should feature paths, seating, lighting, and other pedestrian amenities to make the area more functional and enjoyable;
- (viii) For large developments, provide for a range of activities that accommodate a range of age groups;
- (ix) Space should be oriented to receive sunlight, facing east, west or (preferably) south, when possible; and
- (x) Separate common space from ground floor windows, streets, service areas, and parking lots with *landscaping* and/or low-level fencing. However, care should be used to maintain visibility from dwelling units towards open space for safety.



**Figure 52-59.** Good examples of common open space, including street level *courtyards* (top pictures), a children’s play area (lower left), and a pedestrian corridor (lower right).

- (c) Individual balconies may be used to meet up to 50% of the required open space. To qualify as open space, balconies must be at least 35 square feet with no dimension less than 4 feet to provide a space usable for human activity.
- (d) Rooftop *decks* may count for up to 50% of the required open space, but are generally discouraged as a significant source of open space for a development, and may be used only if the following conditions are met.
  - (i) Space must be accessible (ADA) to all dwelling units.
  - (ii) Space must provide amenities such as seating areas, *landscaping*, and/or other features that encourage use as determined by the *Director*.
  - (iii) Space must feature hard surfacing appropriate to encourage resident use.
  - (iv) Space must incorporate features that provide for the safety of residents, such as enclosures and appropriate lighting levels.
- (e) Indoor recreational areas may count for up to 50% of the required open space only in mixed-use buildings where other forms of open space are less feasible or desirable per the *Director's* approval. The following conditions must be met:
  - (i) Indoor spaces must be located in visible areas, such as near an entrance lobby and near high traffic corridors.
  - (ii) Space must be designed to provide visibility from interior pedestrian corridors and to the outside. Windows should generally occupy at least one-half of the perimeter of the space to make the space inviting and encourage use.
  - (iii) Space must be designed specifically to serve interior recreational functions and not merely be leftover unrentable space used to meet the open space requirement. Such space must include amenities and design elements that will encourage use by residents as determined by the *Director*.

**21.14.860 Commercial Design Standards - Vehicular Access and Circulation.**

(1) Intent.

- (a) To provide vehicular access routes through large lots by connecting public and/or private roadways as directed by the City to complete the downtown street grid;
- (b) To create a safe, convenient network for vehicle circulation and parking;
- (c) To mitigate traffic impacts and to conform to the City's objectives for better traffic circulation;
- (d) To enhance the visual character of interior access roads; and
- (e) To minimize conflicts with pedestrian circulation and activity.

- (2) Design Principles.
- (a) Development projects on properties which front on two streets are to conform with applicable City street specifications and standards for access.
  - (b) Interior vehicular connections between streets may be required as indicated by the applicable City street plans/specifications and standards.  
Specifically:
    - (i) Where abutting developed land provides road stub-outs, easements, or other methods to provide the opportunity for future road connections, the interior network of the new development should be designed to utilize these connections.
    - (ii) Developments should provide a safe and convenient network of vehicular circulation that connects to the surrounding road/access network and provides the opportunity for future connections to adjacent parcels, where applicable.

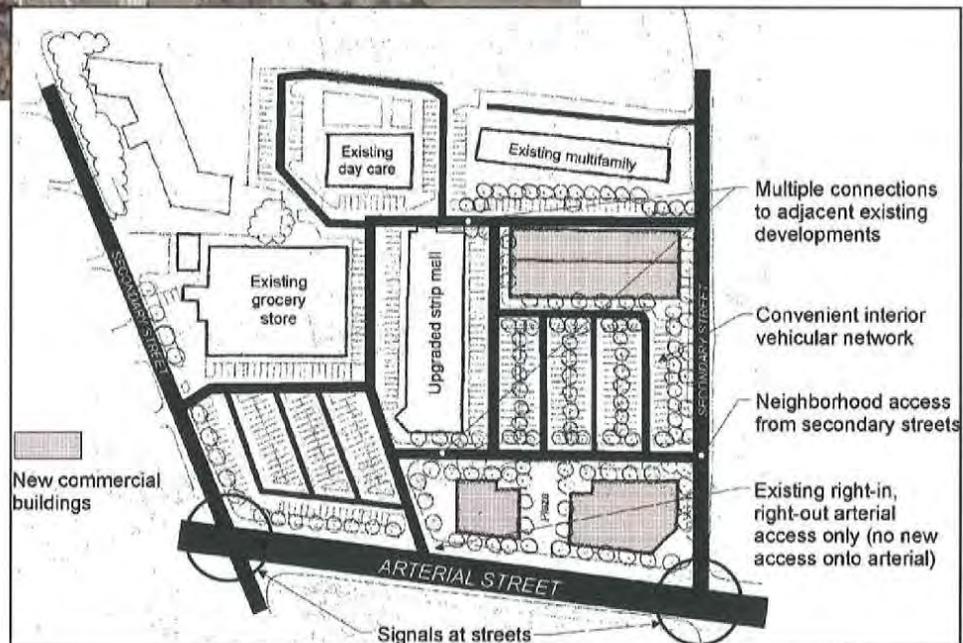
Recent commercial building and access designed to make future connection possible

Long building makes it difficult to make future connection to adjacent property

Stand-alone building will need to be removed to allow for interior connection to adjacent site

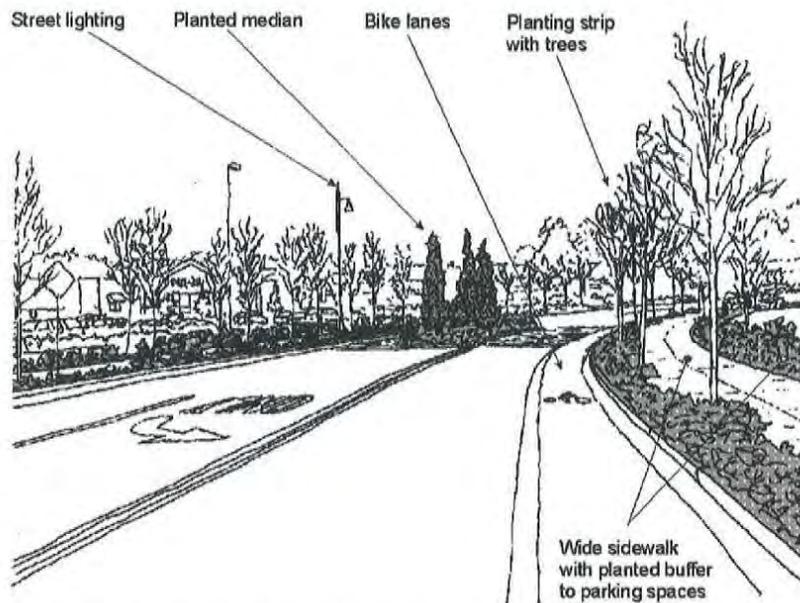


**Figure 53- 60. Vehicular circulation case study. The aerial photo to the left shows existing conditions around the development site. The site plan below shows how the site can be successfully configured to provide good vehicular access between the sites.**



- (c) Internal access roads should be designed to look and function more like streets, utilizing street trees and sidewalks (see WMC 21.14.820). Only parallel parking fronting directly on the access road is permitted.

Exception: Alternate internal access road design in the Downtown and Little Bear Creek Corridor Study Area may be acceptable, subject to Director approval, such as woonerfs and other configurations that provide for attractive and safe pedestrian access as well as vehicle circulation.



**Figure 54-61.** The roadway through Woodinville Town Center is a good example of an interior access road designed to look and function more like a street.

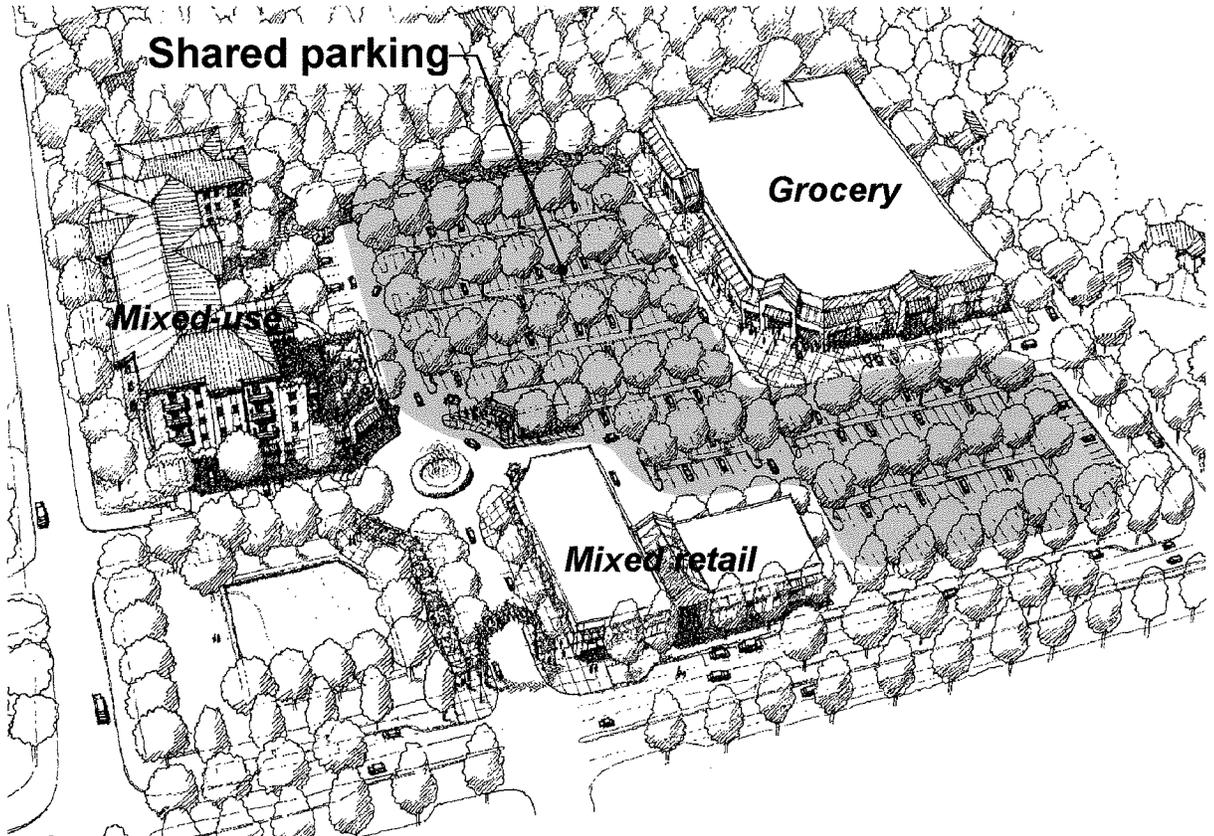


**Figure 55-62.** Redmond Town Center's internal roadways are a good model. Note the on-street parking, crosswalks, wide sidewalks, street trees, signage, and pedestrian lighting.

**21.14.870 Commercial Design Standards - Parking Reductions.**

- (1) Intent.
  - (a) To reduce impervious surfaces and replace those surfaces with *landscaping* and pedestrian amenities;
  - (b) To allow more efficient land utilization;
  - (c) To reduce adverse impacts of parking;
  - (d) To encourage shared driveway access to parking areas and parking between adjacent properties; and
  - (e) To encourage shared parking facilities between adjacent compatible land uses.
  
- (2) Design Principle. Minimize parking areas through joint use and management.
  - (a) Pursuant to WMC 21.18.040 Shared and Mixed-use Parking Requirements, the City shall require the minimum overall parking ratio for development. Parking in excess of the minimum stipulated may be allowed if, through a quantified parking demand analysis prepared by a traffic engineer with requisite qualifications as determined by the *Director*, it can be demonstrated that the uses on parcels with shared parking require more parking than would be consistent with the requirements of WMC 21.18.030. Applicable design standards, guidelines, and considerations:
    - (i) A parking space reduction of 10% of the required parking is encouraged, provided there is a coordinated design and shared access to consolidated parking areas linked by pedestrian walkways;
    - (ii) Multiple parcels may be treated as a single development site for parking purposes if owners of all parcels affected sign an agreement for shared parking (This may provide advantages in the design review process.);
    - (iii) In accordance with WMC 21.18.040, reduced parking is encouraged by the use of shared parking between/among primarily night-time uses, such as theaters, bowling alleys, and restaurants, and primarily day-time uses, such as banks, offices, and retail stores;
    - (iv) Off-site parking may be considered to meet parking requirements, provided the parking is located within 500 feet of the associated uses and a pedestrian walkway is provided between parking and uses;
    - (v) Parking ratios may be reduced if the property/business owner has a commuter trip reduction program incorporating transit and car pools approved by the *Director*;
    - (vi) Reduced parking ratios will be considered if development is within walking distance of residential development or transit;
    - (vii) Reduced parking will be considered if the applicant can demonstrate how additional development could occur on the site if parking reductions or joint-use parking can be achieved pursuant to WMC 21.18.040; and

- (viii) Maximum parking shall be five parking spaces per 1,000 square feet as computed in WMC 21.18.030 for all uses except restaurants. For restaurants, maximum shall be that prescribed in the table of minimum parking spaces required in Chapter 21.18 WMC.



**Figure 56-63.** An example of site development that utilizes shared parking.

- (3) Design Principle. Encourage underground parking.
- (a) The *Director* may allow greater development intensity (floor area) if structured parking is provided. As a general criterion, one extra square foot of useable building floor area might be allowed for every square foot of structured parking. The *Director* will consider relaxing other standards herein provided the project meets the intent of the design standards.
- Structured parking would not count as part of the floor area ratio (FAR) calculation.

**21.14.880 Commercial Design Standards - Vehicle Entrances.**

- (1) Intent.
- (a) To provide safe, convenient access to commercial sites without diminishing quality pedestrian walking or visual experiences; and
- (b) To enhance the safety and function of public streets.

- (2) Design Principle. Minimize driveway impacts across pedestrian walks. Implementing measures are listed below. For properties within the Downtown and Little Bear Creek Corridor Study Area, also see table 1 within WMC 21.14.371(4) for driveway standards specific to each street.:
- (a) Parking lot entrances, driveways, and other vehicle access routes onto private property from a street may be restricted to no more than one entrance lane and one exit lane per three hundred linear feet of property as measured horizontally along the street face.
  - (b) Properties with less than 300 linear feet of street *frontage* shall make a genuine effort to negotiate shared access with adjoining property owners. One entry and one exit lane for vehicle access will be allowed after there is demonstrable evidence, acceptable to the *Director*, that shared access is not feasible.
  - (c) Vehicular access to corner lots shall be located on the lowest classified roadway and as close as practical to the property line most distant from the intersection.  
Exception: Corner lots not on a *pedestrian-oriented street* may have one entrance per street provided the owner provides evidence acceptable to the *Director* that they are unable to arrange joint access with an abutting property.
  - (d) Parking garage entries should not dominate the *streetscape*. They should be designed and sited to complement, not subordinate, the pedestrian entry. This applies to both public garages and any individual private garages, whether they front on a street or private interior access road. For example, townhouse developments are encouraged to employ tandem garages in conjunction with other architectural and *landscaping* features to deemphasize the garage on building façades. Alleys used primarily for vehicular access, where the primary pedestrian entry is off of another street, interior access road, or pathway, are exempt from this standard.



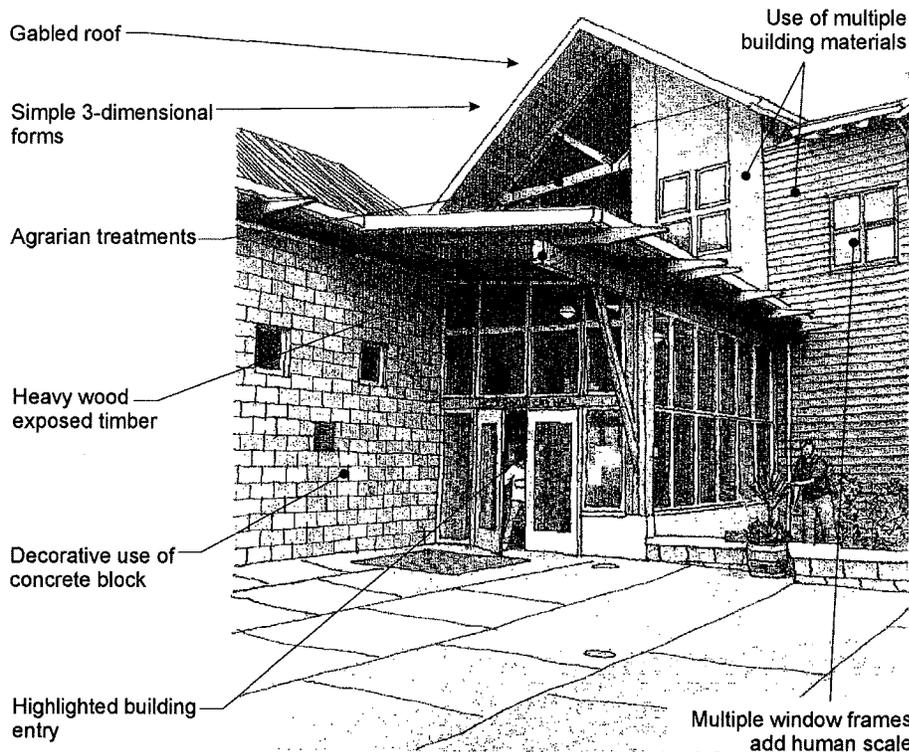
**Figure 57–64.** A good example of a parking garage entry that does not dominate the *streetscape*.



**Figure 58–65.** The garages of these townhouse units are deemphasized through the use of overhanging balconies, *landscaping*, building materials and color. The tandem parking configuration of the garages also limits their visibility.

**21.14.890 Commercial Design Standards - Building Design - Character.**

- (1) Intent.
  - (a) To encourage building design that reflects the *Northwest woodland character*;
  - (b) To encourage building design that has visual character and creates comfortable human environments;
  - (c) To incorporate design treatments that reduce the scale of large buildings; and
  - (d) To encourage building design that is authentic and responsive to site conditions.
  
- (2) Design Principle. *Northwest woodland character* refers to structures designed in the context of the Northwest’s natural setting, which includes climate, topography, ecosystems, and evolved social organization.
  - (a) The general form of structures is to be simple, 3-dimensional forms. Specifically, structures shall have building forms that express wood framing, have traditional Northwest woodland exterior finishes, and may use exposed heavy wood timber structural members.



**Figure 59-66. Woodinville City Hall is an example of traditional *Northwest woodland character*.**

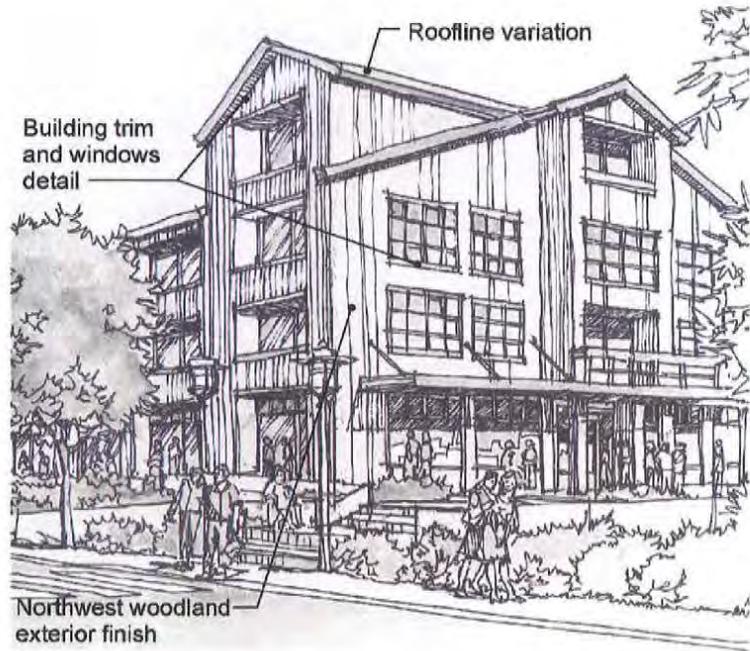
- (b) Structures with multiple component forms are to be integrated for visual unity.

- (c) Those components that support and/or stabilize structures should be visually exposed when compatible with design.



**Figure 60-67.** The simple 3-dimensional forms, exposed timber elements, and proportional arrangement of windows and doors make this building a good example of *Northwest woodland character*.

- (3) Design Principle. Exterior finishes are to be compatible with *Northwest woodland character*. Specifically:
- (a) Material finishes shall reflect the early 1900 domestic agrarian vernacular of materials. All siding materials should be complemented with wood elements.
  - (b) Multi-story buildings in the Downtown and Little Bear Creek Corridor Study Area may incorporate high quality materials besides those reflecting 19th century agrarian architecture including: brick and other architecturally treated masonry, extensive use of glazing, and high quality panel systems.
  - (b)(c) Exterior finish colors should be neutral shades of natural colors per found in Northwest woodlands or colors typical of historic *agrarian structures* of the Northwest, and may include limited use of compatible accent colors.
  - (e)(d) The arrangement, proportion, and design of windows and doors (fenestration) shall conform with the following implementing measures:
    - (i) The height-to-width ratio of opening and group openings are to be proportionately scaled to the wall;
    - (ii) Door and window details and trim that is suitable scaled to the wall; and
    - (iii) Developments are encouraged to reduce large expanses of glass used in windows and doors to smaller component windows reminiscent of early 1900 domestic *agrarian structures* when adjacent to sidewalks or other pedestrian accommodations.



**Figure 61- 68. The arrangement, proportion, and design of windows and doors are suitable to the walls on this building.**

- (4) Design Principle. Franchise and corporate architecture shall not be allowed in the Downtown and Little Bear Creek Corridor Study Area. The use of stock building plans, typical corporate and/or franchise designs, “regional prototype alternatives,” or other designs which are easily identified with a particular chain or corporation are not allowed, except for signs allowed pursuant to Chapter 21.20 WMC. Besides diluting the city’s identity with corporate (and therefore generic) identities, these buildings are undesirable, because they are not adaptable to other uses when the corporation franchises leave.



**Figure 69. Generic franchise and corporate architecture is not allowed in the Downtown and Little Bear Creek Corridor study area .**

- (5) Implementing action. All proposed building designs in the Downtown and Little Bear Creek Study Area are subject to review and approval based on a finding by the City of Woodinville Planning Commission Design Review Sub-committee

that the design complies with the *Northwest woodland character design principles* stated above and as defined in WMC 21.14.960.

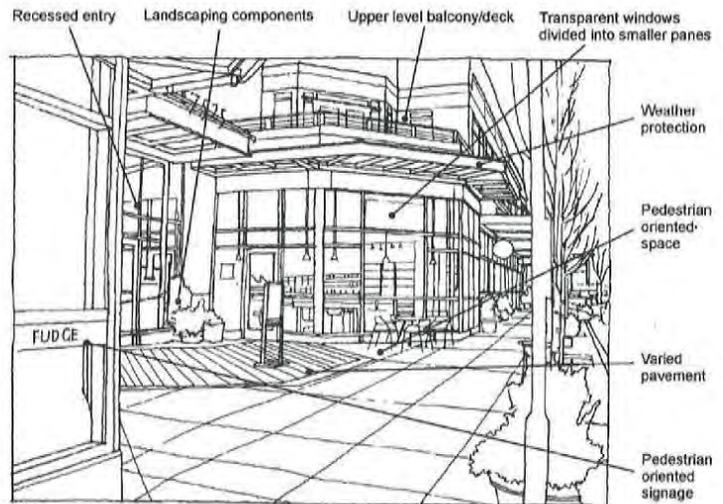
**21.14.900 Commercial Design Standards - Human Scale.**

- (1) Intent.
  - (a) To encourage the use of building components that relate to the size of the human body; and
  - (b) To add visual interest to buildings.
- (2) Design Principle. Incorporate human scale building elements into new developments. Specifically:
  - (a) Buildings must employ elements or techniques described in (b) below to achieve "human scale." Specifically:
    - (i) Buildings less than 14 feet in height and less than 10,000 square feet of gross floor area must incorporate at least three human scale measures;
    - (ii) Buildings between 14 feet and 35 feet in height or buildings less than 14 feet in height but with more than 10,000 square feet in gross floor area must incorporate at least four human scale measures;
    - (iii) Buildings 35 feet or taller must incorporate at least five human scale measures; or
    - (iv) For large buildings with more than 40,000 square feet of gross floor area, the *Director* may require additional human scale measures to meet the Intent above.
  - (b) Human scale measures:
    - (i) Balconies or *decks* in upper stories, at least one *balcony* or deck per upper floor on the *façades* facing streets, provided they are integrated into the architecture of the building. (Balconies that are merely tacked onto the outer wall of the buildings or "cave balconies" that do not project from the outer wall of the building are not "integrated" into the architecture.) Balconies are encouraged to be at least 6' deep and 6' wide;
    - (ii) *Bay windows* or other window treatments that extend out from the building face;
    - (iii) At least 150 square feet of *pedestrian-oriented space* for each 100 lineal feet of building *façade*;
    - (iv) First floor individual windows, generally less than 32 square feet per pane and separated from the windows by at least a 6 inch molding;
    - (v) Gable or hipped roof, provided that the hipped or gable roof covers at least one half of the building's footprint and has a slope greater or equal to 3 feet vertical in 12 feet horizontal. Use gabled forms at corners, entries, wall *modulation* points, etc. to adapt large structures to the character described in WMC 21.14.890;
    - (vi) A porch or covered entry;

- (vii) Spatially defining building elements, such as a trellis, overhang, canopy, or other element, that defines space that can be occupied by people;
- (viii) Upper story setbacks, provided one or more of the upper stories are set back from the face of the building at least six feet;
- (ix) Composing smaller building elements near the entry of *pedestrian-oriented street* fronts of large buildings (see Figure 74);
- (x) *Landscaping* components that meet the intent of the guidelines; and/or
- (xi) The *Director* may consider other methods to provide human-scale elements not specifically listed here. The proposed methods must satisfy the Intent of the design standards.



**Figure 62-70.** An example of balconies that have been integrated into the architecture of the building.



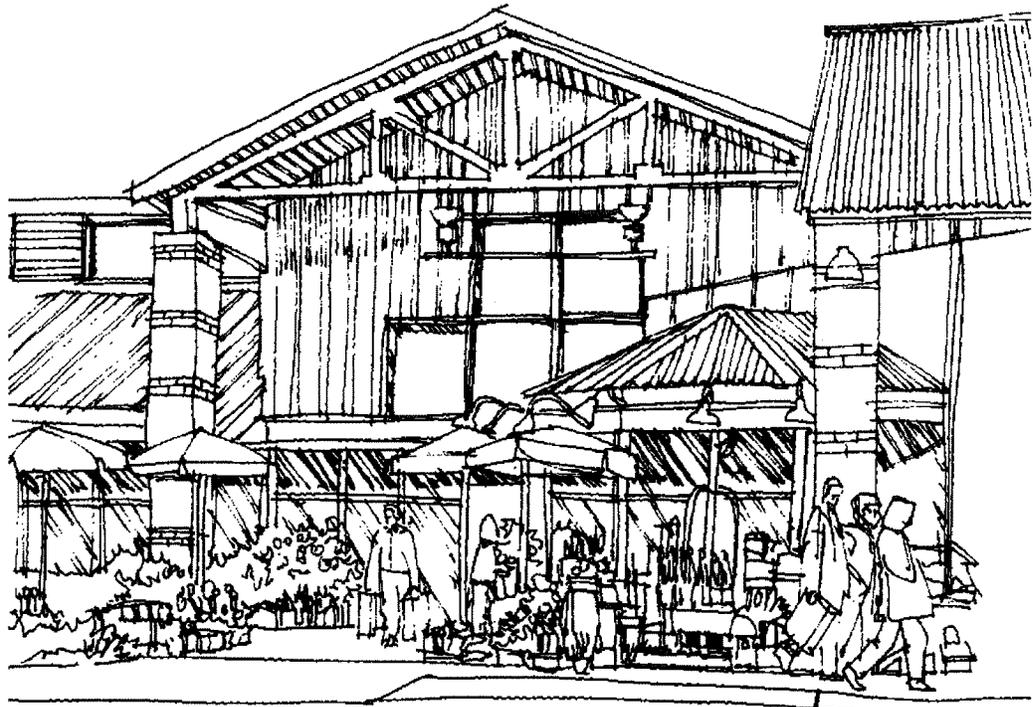
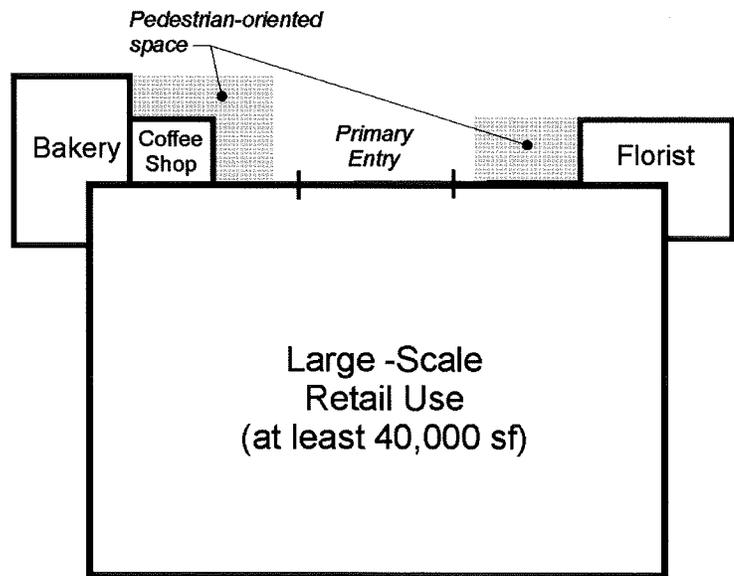
**Figure 63-71.** Illustrating a variety of human scale components on a building.



**Figure 64-72.** This building uses upper level balconies, an upper story setback, and gabled roof forms to meet human scale guidelines.



**Figure 65-73.** This mixed-use building incorporates *decks*, upper level setbacks, trellises, and gabled roof forms to meet human scale guidelines.



Figures 66-74. Examples of composing smaller building elements near the entry of large buildings.

21.14.910 Commercial Design Standards - Architectural Scale.

- (1) Intent.
  - (a) To encourage architectural scale of development that is compatible with nearby commercial areas that have the character of *agrarian structures*; and
  - (b) To add visual interest to buildings.
- (2) Design Principle. Reduce scale of large buildings.

- (a) All new buildings over three stories, or over 2,500 square feet in gross building footprint, shall provide at least three *modulations* and/or articulation features as described below along any façade that is visible from a street or pedestrian route, and have entries at intervals of no more than 50':
- (i) Horizontal building *modulation*. The depth of the *modulation* should be at least 2 feet when tied to a change in the roofline and at least 6 feet in other situations. Balconies may be used to qualify for this option, provided they have a floor area of at least 40 square feet, are integrated with the architecture of the building, and project at least 2 feet from the building façade and are tied to a change in the roofline.

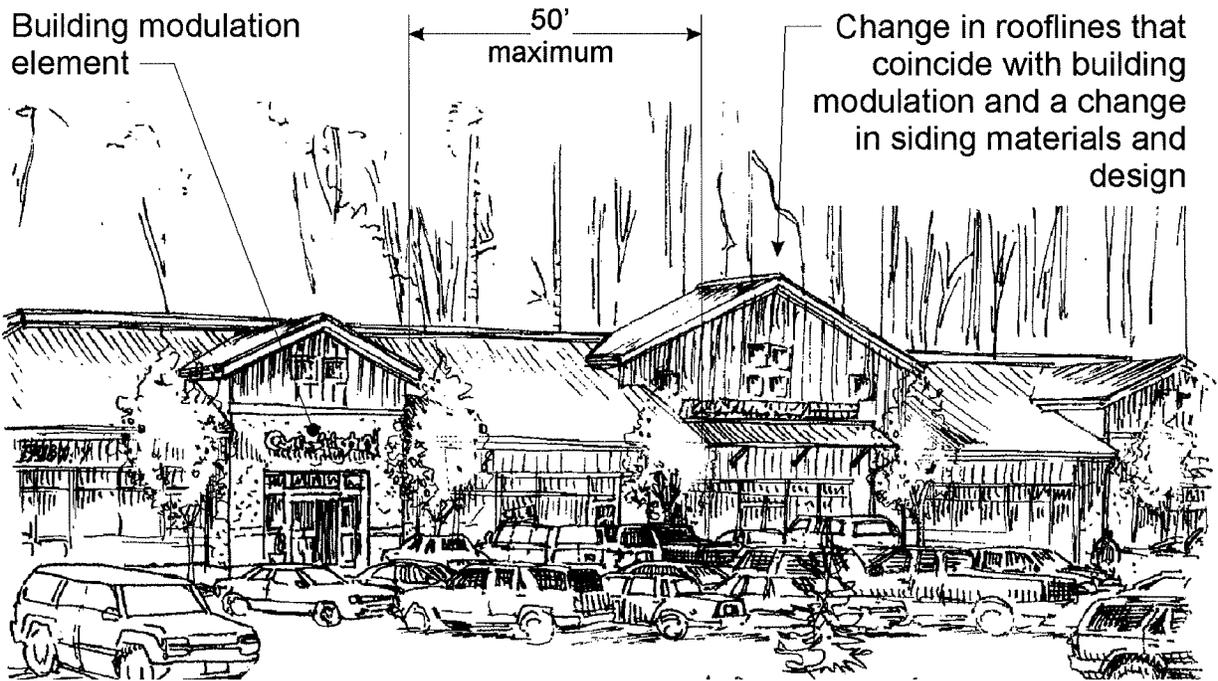
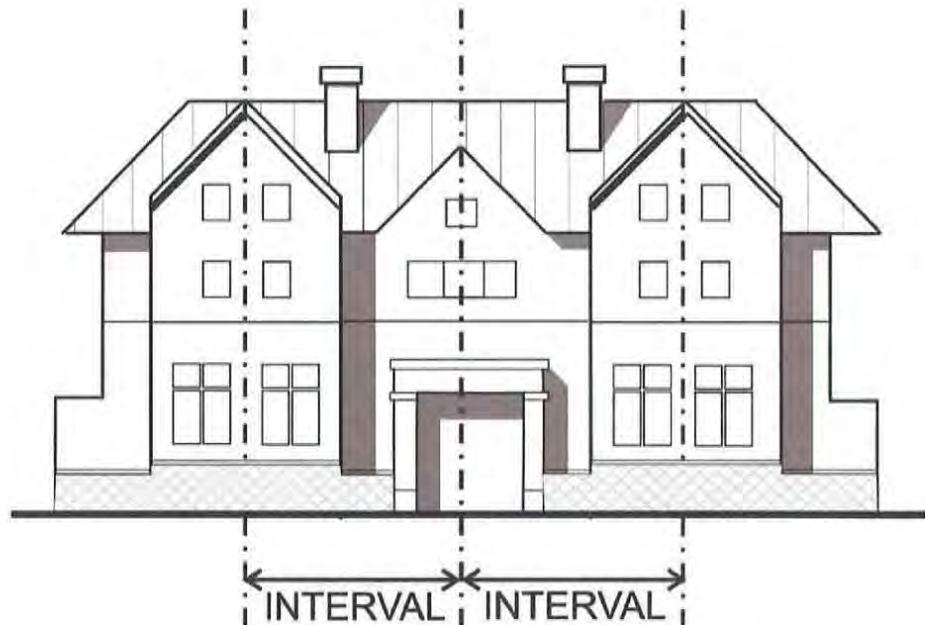


Figure 67-75. Building *modulation* example.

- (ii) Modulated roof line. Buildings may qualify for this option by modulating the roof line of all façades visible from a street, park, or pedestrian pathway per the following standards:
- 1a) For flat roofs or façades with a horizontal wave, fascia, or parapet, change the roofline so that no unmodulated segment of roof exceeds 50 feet. Minimum vertical dimension of roof line *modulation* is the greater of 2 feet or 0.1 multiplied by the wall height (finish grade to top of wall);
- 2b) For gable, hipped, or shed roofs, a slope of at least 3 feet vertical to 12 feet horizontal; or
- 3c) Other roof forms such as arched, vaulted, dormer, or saw-toothed may satisfy this design standard if the individual

segments of the roof with no change in slope or discontinuity are less than 50 feet in width (measured horizontally).

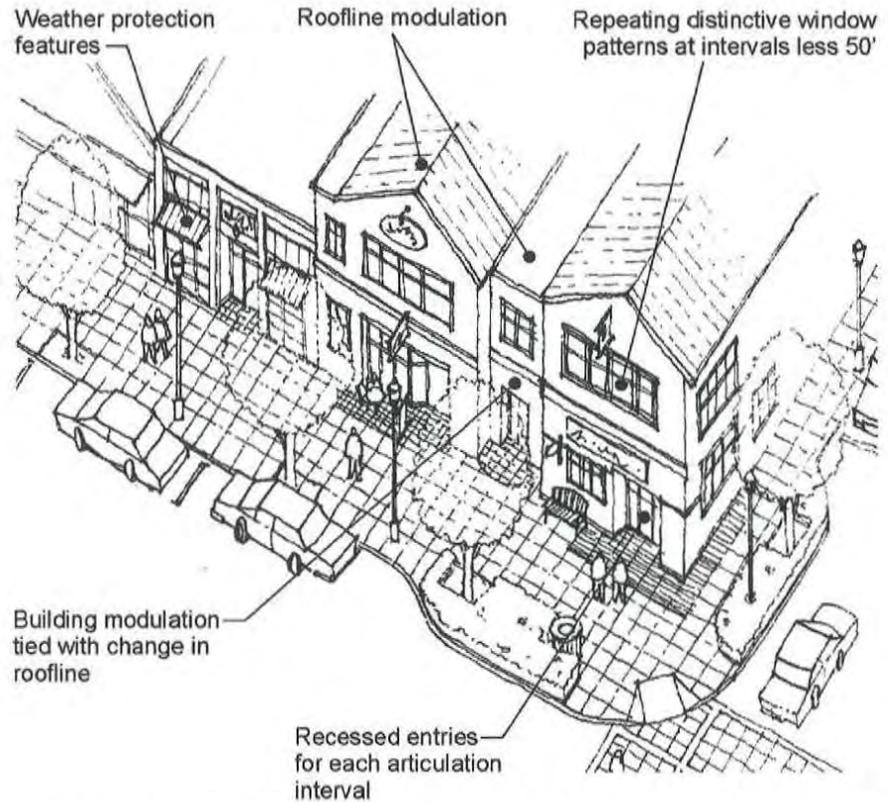
- (iii) Repeating distinctive window patterns at intervals less than the articulation interval.
- (iv) Providing a porch, patio, deck, or covered entry for each articulation interval.
- (v) Changing the roofline by alternating dormers, stepped roofs, gables, or other roof elements to reinforce the *modulation* or articulation interval.
- (vi) Changing materials with a change in building plane.
- (vii) Providing lighting fixtures, trellises, trees, or other landscape feature within each interval.
- (viii) For mixed-use buildings with *pedestrian-oriented facades*, the following may also be used at articulation features:
  - a) Use of separate weather protection features that reinforce the pattern of small storefront spaces.
  - b) Use of vertical piers. Such piers must project at least 2 inches from the façade and extend from the ground floor to the cornice or roofline.



**Figure 68-76. Building articulation.**

- (viii)(ix) Other design treatments that satisfy the Intent of the design standards as determined by the *Director*.

Note that the *Director* may increase or decrease the 50 foot interval for *modulation* and articulation to better match surrounding structures or to implement an adopted sub-area plan, where applicable.

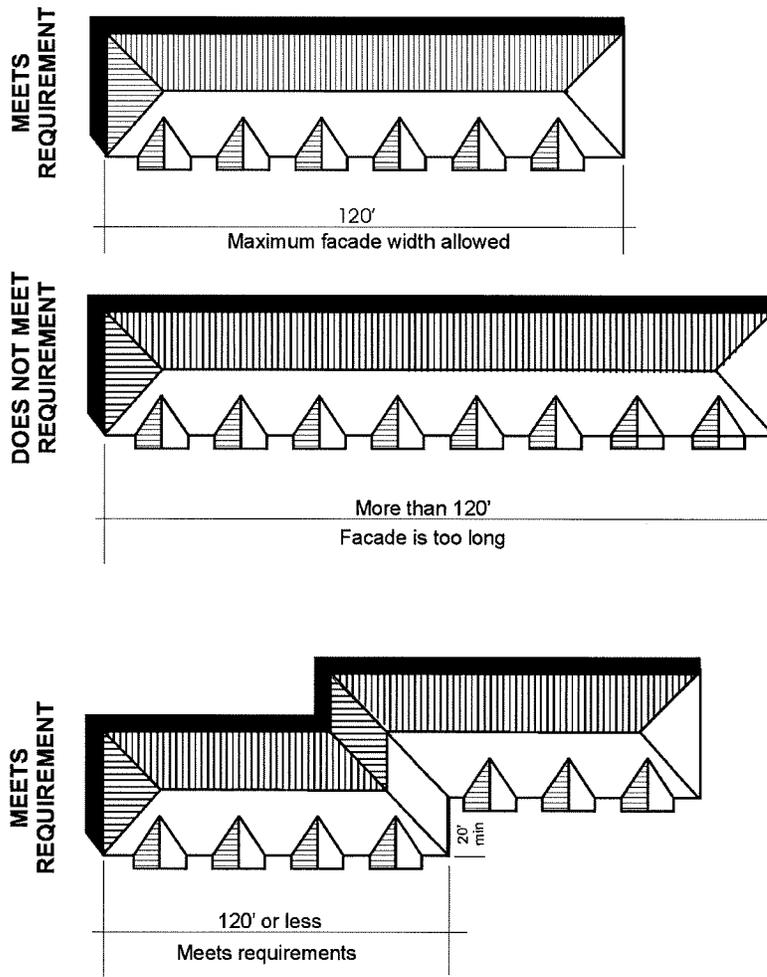


**Figure 69-77.** These buildings illustrate a combination of horizontal building *modulation*, roofline *modulation*, and building articulation to reduce the architectural scale and provide visual interest.



**Figure 70-78.** This Kirkland development uses a variety of roof forms and heights, different weather protection features, changing building materials and colors, and a modest amount of horizontal building *modulation* to reduce the overall architectural scale into smaller “storefront” components.

- (b) The maximum *façade* width (the *façade* includes the apparent width of the structure facing the street and includes required *modulation*) of multi-story buildings visible from a street, public open space, or *pedestrian-oriented space* is 120 feet. Buildings exceeding 120 feet in width along the street front shall be divided by a 30-foot wide *modulation* of the exterior wall, so that the maximum length of a particular *façade* is 120 feet. Such *modulation* must be at least 20 feet or deeper and extend through all floors (the first floor will be exempt if it includes a pedestrian-oriented *façade*). *Decks* and roof overhangs may encroach up to 3 feet (per side) into the *modulation*. The *Director* will consider other design methods that are effective at reducing the perceived width of the building.



This buildings exceeding 120 feet in width along the street front, but is divided by a 30-foot wide *modulation* of the exterior wall, so that the maximum length of a particular *façade* is 120 feet or less. Such *modulation* must be at least 20 feet or deeper and extend through all floors (ground floors are exempt if they feature a *pedestrian-oriented facade*).

Figure 71-79. Illustrating maximum *façade* widths.

(c) Building Height Incentive Potential: Buildings exceeding the allowed base height, pursuant to WMC 21.12.040, with an additional floor (maximum of four, with a height not to exceed 51 feet), can be obtained through the provision of City approved public open space and at least two of the following:

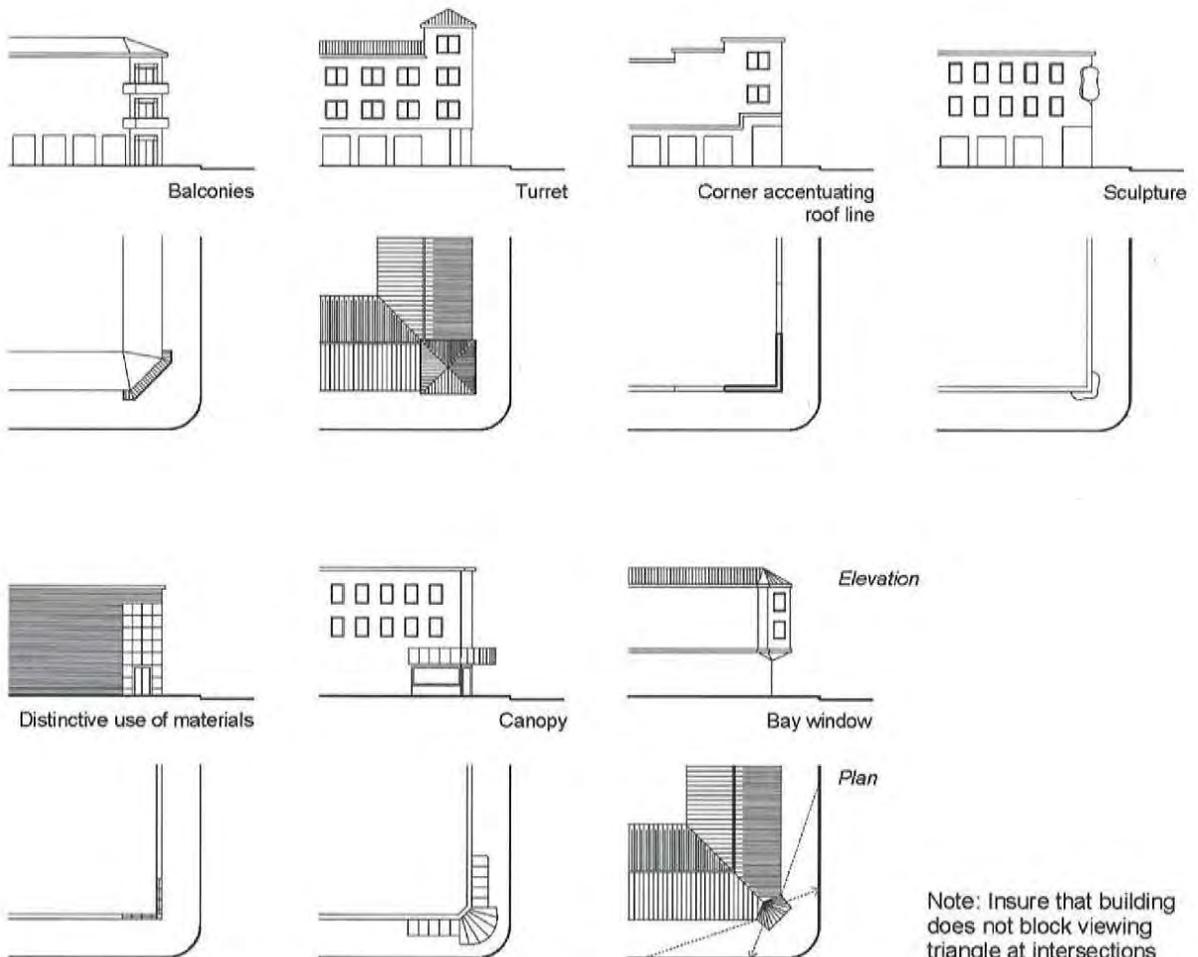
- (i) Exceptional design (see WMC 21.14.960) in architectural features of structures and/or site layout.
- (ii) Leadership in Energy and Environmental Design (LEED) Certification for all structures pursuant to U.S. Building Council rating system.
- (iii) Structured Parking for all required parking, or
- (iv) Private Open Space.

**21.14.920 Commercial Design Standards - Building Corners.**

- (1) Intent. To create visual interest and increased activity at public street corners.
- (2) Design Principle. Architecturally accentuate building corners at street intersections.
  - (a) All new buildings located within 15 feet of a property line, at the intersection of streets, public or private, are required to employ two or more of the following design elements or treatments to the building corner facing the intersection:
    - (i) Provide at least 100 square feet of *pedestrian-oriented space* between the street corner and the building(s). To qualify for this option, the building(s) must have direct access to the space;
    - (ii) Provide a corner entrance to *courtyard*, building lobby, atrium, or pedestrian pathway;
    - (iii) Include a corner architectural element such as:
      - 1a) *Bay window* or turret;
      - 2b) Roof *deck* or balconies on upper stories;
      - 3c) Building core setback "notch" or curved *façade* surfaces; or
      - 4d) Sculpture or *artwork*, either *bas-relief*, figurative, or distinctive use of materials.

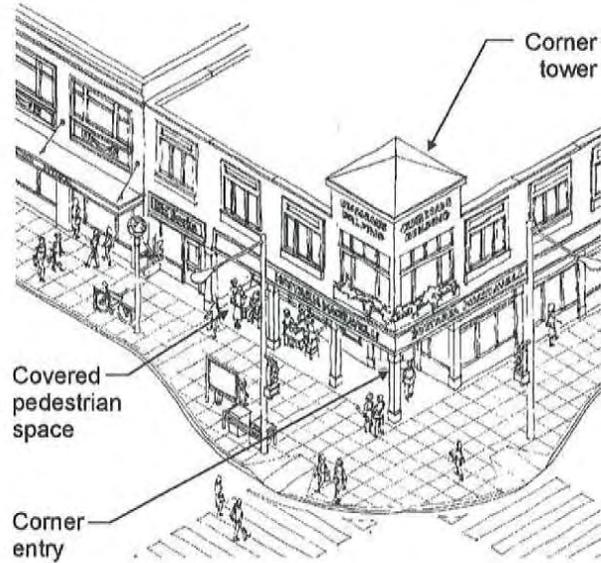


**Figure 72-80.** The second story component, change in building materials, horizontal *modulation*, and unique roof form make an architectural statement on this street corner.



**Figure 73-81.** Corner building treatments.

- (iv) Special treatment of the pedestrian weather protection canopy at the corner of the building; and/or
- (v) Other similar treatment or element approved by the *Director*.



**Figure 74-82. Corner building example.**



**Figure 75-83. To emphasize its street corner location, this building uses a cropped corner, change in building materials, decorative *façade* elements, and a modulated roofline.**

**21.14.930 Commercial Design Standards - Building Details.**

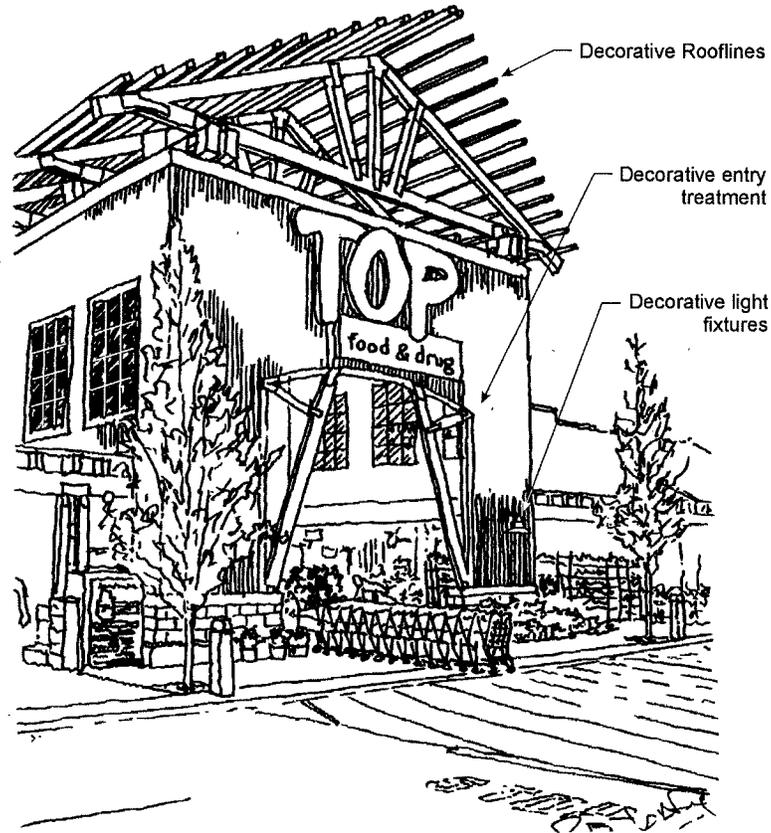
(1) Intent.

- (a) To ensure that buildings have design integrity at all observable distances;
- (b) To enhance the character and identity of Woodinville's commercial areas;
- (c) To enhance the pedestrian environment; and
- (d) To encourage creativity in the design of storefronts.

(2) Design Principle. Enhance buildings with appropriate design details.

When buildings are seen from a distance, the most noticeable qualities are the overall form and color. A three-story commercial building that is 100 feet wide and 35 feet tall must be observed at least 200 feet away in order for the building to fit within a person's cone of vision so its overall shape can be perceived. At that distance, windows, doors, and other major features are clearly visible. However, within 60 to 80 feet from the building (approximately the distance across a typical downtown street), a person notices not so much the building's overall form as its individual elements. Closer, the most important aspects of a building are its design details, texture of materials, quality of its finishes, and small, decorative elements. In a *pedestrian-oriented business* area, it is essential that buildings and their contents be attractive up close. Therefore, these design standards include implementing measures which require all buildings to incorporate design details and small scale elements into their *façades*.

- (a) All new buildings and individual storefronts shall include on the *façades* that face a street, park, or pedestrian route at least four of the following design features:
  - (i) Decorative Rooflines, such as an ornamental molding, entablature, frieze, or other roofline device visible from the ground level. If the roofline decoration is in the form of a linear molding or board, then the molding or board must be at least 8 inches wide;
  - (ii) Decorative Treatment of Windows and Doors, such as decorative molding/ framing details around all ground floor windows and doors, decorative glazing, or door designs;

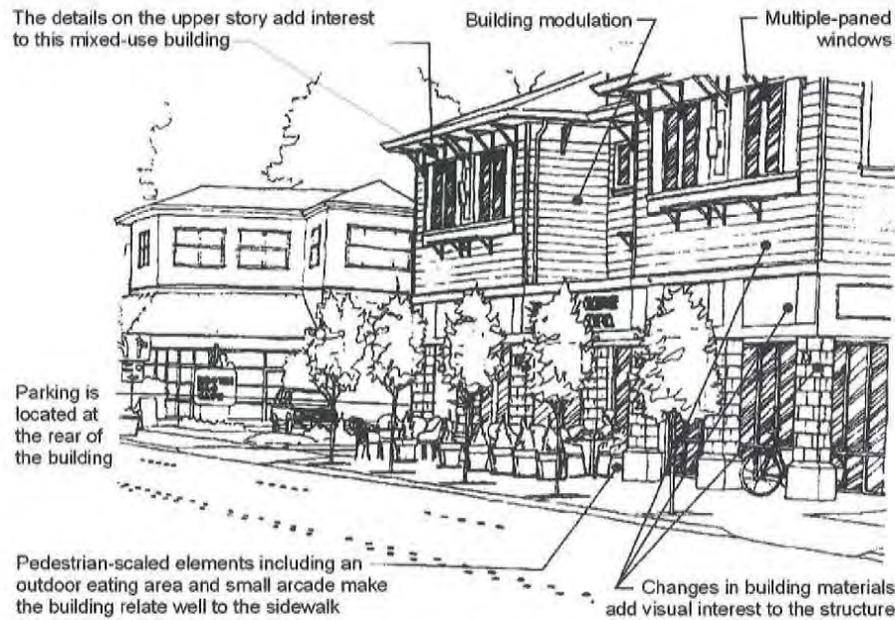


**Figure 76-84.** A variety of details add visual interest to this building.

- (iii) Decorative Light Fixtures with a diffuse visible light source, such as a globe or “acorn” that is non-glaring or a decorative shade or mounting;
- (iv) Decorative Building Materials, including one of the following:
  - 1a) Decorative masonry, shingle, brick or stone;
  - 2b) Individualized patterns or continuous wood details, such as fancy butt shingles (a shingle with the butt end machined in some pattern, typically to form geometric designs), decorative moldings, brackets, wave trim or lattice work, ceramic tile, stone, glass block, carrera glass, or similar materials; or
  - 3c) Other materials with decorative or textural qualities as approved by the *Director*.

The applicant must submit architectural drawings and material samples for approval;

- (v) A planting strip at least 16 inches wide between an adjacent pathway and the building *façade*;



**Figure 77-85.** The use of different building materials, window treatments, and roofline brackets adds to the visual interest of this building.

- (vi) Decorative railings, grill work, or landscape guards;
- (vii) Landscaped trellises;
- (viii) Decorative Paving or *Artwork*, which may be freestanding or attached to the building, and may be in the form of mosaic mural, *bas-relief* sculpture, light sculpture, water sculpture, fountain, free standing sculpture, art in pavement, or other similar *artwork*. Painted murals or graphics on signs or awnings do not qualify. All *artwork* used to satisfy this condition is subject to approval by the *Director*; or
- (iv) Other similar features or treatment that satisfies the Intent of the design standards as approved by the *Director*.



**Figure 78-86.** The building provides a number of details that enhance the pedestrian environment, including decorative lighting, planter boxes, decorative awnings, historical plaques, and decorative *façade* elements.

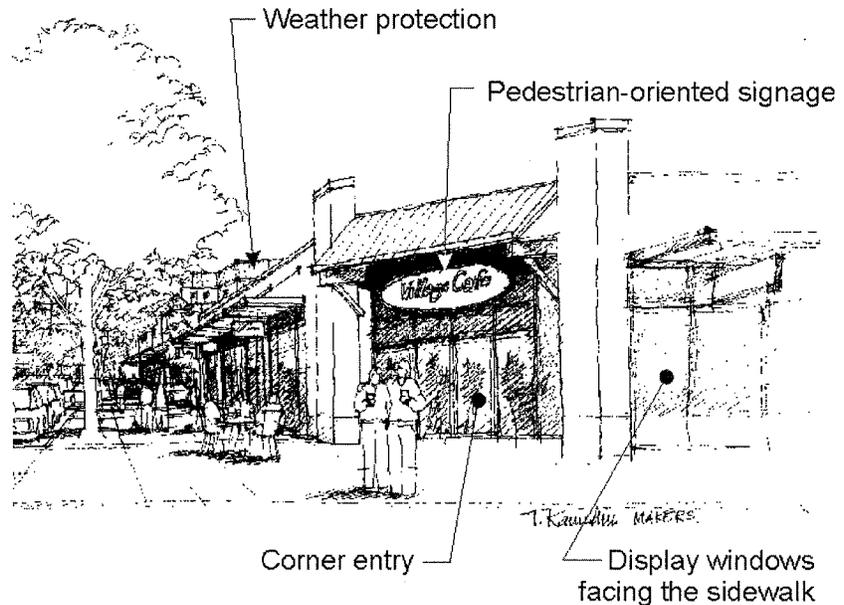
- (b) All new buildings must note the year of construction of a building by the installation of a plaque attached to the building. Stone or masonry set integral with other masonry on the front building elevation facing the principal street may be used in lieu of a plaque. The year of construction is to be noted by numbers not less than six inches high. Other information associated with the building that may have historic interest in the future may be included in addition to the year of construction.
- (c) Building *facades*, when located adjacent to a pedestrian pathway, must contain the following elements:
  - (i) A *pedestrian-oriented façade*; and
  - (ii) Weather protection at least 6' wide along at least 75% of the building's front face (*facades* containing a public building entrance). The weather protection may be in the form of awnings, marquees, canopies, or building overhangs.

Exceptions will be considered by the *Director* that meet the intent of the standards. For example, the *Director* may allow reduced weather protection elements on north-facing *facades* to allow more day light into buildings. Reduced window transparency may be allowed in exchange for other desirable pedestrian amenities or building elements (see Figure 87).

Also see WMC 21.14.840(2)(f), Internal Pedestrian Paths and Circulation for related standards and illustrations.



**Figure 79-87.** While the treatment of this *facade* would not meet the definition of a “pedestrian-oriented *facade*”, the wall’s combination of design details successfully add visual interest to the space. Weather protection features would not be required in this case since this is not the building’s primary *facade* (containing public building entry).

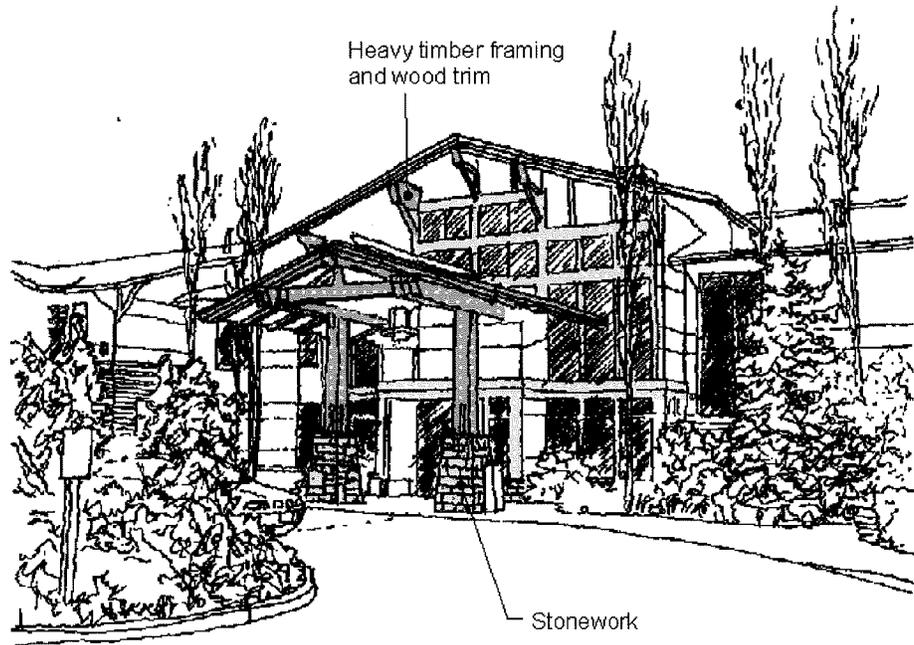


**Figure 80-88. An example of a pedestrian-oriented facade.**

**21.14.940 Commercial Design Standards - Materials.**

- (1) Intent. To encourage the use of a variety of high-quality compatible materials that will upgrade the visual image of commercial areas of Woodinville.
- (2) Design Principles.
  - (a) Property owners are encouraged to retain existing *vernacular facades* that reflect the heritage of the City. *Facades* of vintage buildings may be adapted to contemporary use with the compatible materials, provided they meet the design standards herein.
  - (b) Buildings shall employ materials that reflect the City's *Northwest woodland character*, such as:
    - (i) Wood (as used in *agrarian structures*);
    - (ii) Masonry;
    - (iii) Stone; or
    - (iv) Shake roofs
    - (v) Other materials subject to approval by the *Director*.

Use of ~~metal siding~~, metal screening, plastic, plywood, sheet wood products, or fiberglass to cover over existing *facades* is discouraged. Wood should not be used to cover existing brick or cast stone masonry.



**Figure 81-89.** Use compatible building materials that reflect the City's Northwest woodland character.

- (3) Materials requiring special detailing when visible from a street, pedestrian pathway, or park:
- (a) ~~Metal siding.~~
    - (i) ~~When used as a siding material over more than 25% of a building's façade, metal siding must have a matte finish in a neutral or earth tone such as buff, gray, beige, tan, cream, white, or a dulled color, such as barn red, blue gray, burgundy, ocher, or other color specifically approved by the Director.~~
    - (ii) ~~If metal siding is used on over 25% of the building façade, then the building design must include the following elements:~~
      - 1) ~~Visible window and door trim painted or finished in a complementary color;~~
      - 2) ~~Color and edge trim that cover exposed edges of the sheet metal panels;~~
      - 3) ~~Masonry, stone, or other approved permanent material that is durable and satisfies the Intent of the design standards; and~~
      - 4) ~~Other detail/color combinations for metal siding approved by the Director, provided design quality and permanence meets the intent of this section.~~
  - ~~(b)(a)~~ Concrete block walls. Concrete block construction must be architecturally treated in one or more of the following ways:
    - (i) Use of textured blocks with surfaces such as split face or grooved;
    - (ii) Use of other masonry types, such as brick, glass block, or tile in conjunction with concrete blocks; and/or

(iii) Use of decorative coursing to break up blank wall areas.

Use matching colored mortar where color is an element of architectural treatment for any of the options above.

(e)(b) Requirements for Exterior Insulation and Finish System (EIFS) and similar troweled finishes:

- (i) EIFS should be trimmed in wood or masonry and should be sheltered from extreme weather by roof overhangs or other methods;
- (ii) EIFS may only be used in conjunction with other approved building materials. Generally, the use of EIFS for more than 50% of the building façade is discouraged; and
- (iii) EIFS is prohibited within two vertical feet of the sidewalk or ground level.



**Figure 83-90.** This storefront effectively combines EIFS and concrete block with wood trim and metal detailing.



**Figure 84-91.** City Hall is a good example, combining EIFS, decorative concrete block, wood siding and trim work, glass, and metal roofing.

~~(d)~~(c) Prohibited materials:

- (i) Mirrored glass;
- (ii) Corrugated fiberglass;
- (iii) Chain link fencing (except for temporary purposes such as a construction site); and
- (iv) Crushed colored rock or tumbled glass.
- (v) Metal siding

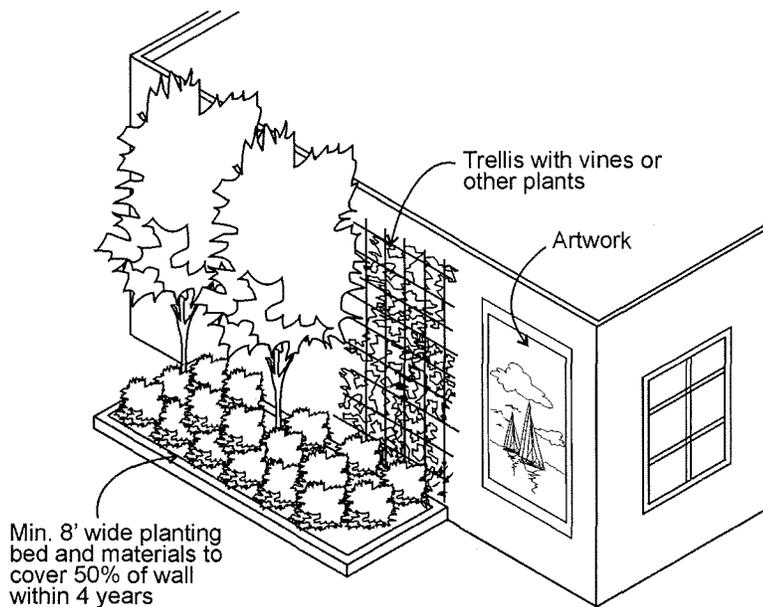
**21.14.950 Commercial Design Standards - *Blank Walls*.**

(1) Intent.

- (a) To reduce the visual impact of large, undifferentiated walls;
- (b) To reduce the apparent size of large walls through the use of various architectural and *landscaping* treatments;
- (c) To enhance the character and identity of Woodinville's commercial areas; and
- (d) To ensure that all visible sides of buildings provide visual interest.

- (2) Design Principle. All *blank walls* within 50 feet of the street, pedestrian pathway, park, or adjacent lot, and visible from that street, pedestrian pathway, park, or adjacent lot, shall be treated in one or more of the following measures:
- (a) Install a vertical trellis in front of the wall with climbing vines or plant materials. For large *blank wall* areas, the trellis must be used in conjunction with other treatments described below;
  - (b) Provide a landscaped planting bed at least 8 feet wide or a raised planter bed at least 2 feet high and 3 feet wide in front of the wall. Plant materials that will obscure or screen at least 50% of the wall's surface within 4 years are to be planted in the planting bed;
  - (c) Provide *artwork* (mosaic, mural, sculpture, relief, etc.) over at least 50% of the blank wall surface; and/or
  - (d) Other method as approved by the *Director*. For example, *landscaping* or other treatments may not be necessary on a wall that employs high quality building materials (such as brick) and provides desirable visual interest. See Figure 94 for an example.

Treatment of *blank walls* must be proportional to the wall.



**Figure 85-92.**  
**Blank wall treatments.**



**Figure 86-93.** Terraced planting beds effectively screen a large *blank wall*.



**Figure 97-94.** Special *blank wall* treatments may not be needed on the side of a building where high quality brickwork is used.

**21.14.640960 Definitions.**

***Agrarian Structures*** - Buildings or other structures created to satisfy a well-stated function, usually associated with land-oriented activities, such as farming. The structures exhibit simple geometric forms, and were created with available materials and without frills.

Examples of *agrarian structures* include primitive barns, early sawmill structures and historic wood covered bridges.

***Art, Artwork*** - A device, element, or feature whose primary purpose is to express, enhance, or illustrate aesthetic quality, feeling, physical entity, idea, local condition, historical or mythical happening, or cultural or social value. Examples of *artwork* include sculpture, *bas-relief* sculpture, mural, or unique specially crafted lighting, furniture, pavement, *landscaping*, or architectural treatment that is intended primarily, but not necessarily exclusively, for aesthetic purpose. Signs, upon approval by the *Director*, may be considered *artwork* provided they exhibit an exceptionally high level of craftsmanship, special material, or construction, and include decorative devices or design elements that are not necessary to convey information about the business or product. Signs that are primarily names or logos are not considered art.

***Access Street*** - A private street that is independent of parking lot circulation and connects public rights-of-way or provides primary access to and within a site.

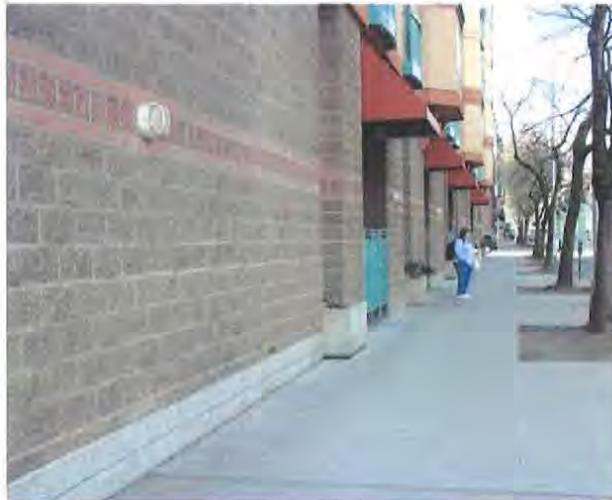
***Balcony*** - An outdoor space built as an above-ground platform projecting from the wall of a building and enclosed by a parapet or railing.

***Bas-relief*** - A sculptural carving, embossing, or casting that projects very little from the background.

***Bay Window*** - A window that protrudes from the main exterior wall. Typically, the bay contains a surface which lies parallel to the exterior wall, and two surfaces which extend perpendicularly or diagonally out from the exterior wall. To qualify as a bay, the bay must contain a window pane which extends at least 60% of the length and 35% of the height of the surface of the bay which lies parallel to the exterior wall. There need not be windows in the surface which extend out from the exterior wall.

***Blank Walls*** - Walls subject to "blank wall" requirements meet the following criteria:

- Any wall or portion of a wall that has a surface area of 400 square feet of vertical surface without a ~~transparent~~ window, ~~or door~~, or building modulation or other architectural feature.
- Any ground level wall surface or section of a wall over 4 feet in height at ground level that is longer than 15 feet as measured horizontally without having a transparent window or door lying wholly or in part within that 15 feet section.



**Figure 95. Unacceptable blank wall.**

***Courtyard*** – A landscaped space enclosed on at least three sides by a single structure.

***Curb Cut*** - A depression in the curb for the purpose of accommodating a driveway that provides vehicular access between private property and the street.

***Deck*** – A roofless outdoor space built as an above-ground platform projecting from the wall of a building and connected to the ground by structural supports.

***Director*** – The *Director* of Development Services or ~~his or her designee~~ the City Manager in the case of his or her absence.

***Exceptional Design*** – As used in the code refers to architectural features of a structure and/or site layout that meet the following criteria as determined by the *Director*:

1. Extensive pedestrian network connected to the City’s trail system with lighting, landscaping, and amenities.
2. Creative and effective vehicular circulation system that minimizes impacts of motorized vehicles on the pedestrian environment.
3. A unique multi-use central open space with special amenities and activities.
4. Increased use of structured parking.
5. Enhanced off-street pedestrian/bike routes that connect to the existing/planned trail system.
6. Special accommodation of transit services.
7. Extensive environmental restoration and/or tree retention.
8. Environmental certification (LEED) of all structures pursuant to U.S. Building Council rating system.
9. Include uses that will expand the range of activities in downtown. Such uses might include a cultural or performing arts facility, public assembly areas, and similar uses that will encourage pedestrian activity and/or support for other business or community activities.
10. Other significant features that exceed the development standards and regulations

***Façade*** – Any portion of an exterior elevation of a building extending from the grade of the building to the top of the parapet wall or eaves, for the entire width of the building elevation.

***Franchise and Corporate Architecture*** - Franchise architecture is a building design that is trademarked, branded, or easily identified with a particular chain or corporation and is ubiquitous in nature. Some typical issues and negative impacts often associated with national chain or commercial franchise designs include:

- Large logos and/or colors used over large expanses of a building;
- Branded buildings are difficult to reuse if vacated by the primary business promoting vacancies and blight; and
- Buildings lack architectural elements and design consistent with the local community's architectural composition, character, vernacular, and historic context.

***Frontage*** – As used in the code, *frontage* refers to the length of a property line along a street.

***Front Yard*** – The area between the street and the nearest building *façade*.

***Large Lot Development*** – A proposed or existing development of 2 acres or more.

***Landscaping*** – An area is considered to be landscaped if it is:

- Planted with vegetation in the form of hardy trees, shrubs, or grass or evergreen ground cover maintained in good condition;
- Occupied by sculptures, fountains or pools, benches, or other outdoor furnishings;
- Occupied by such recreational facilities as playground equipment, swimming pools, game courts, etc.; or
- See also the definition for *Landscaping* provided in WMC 21.06.348.

***Major Exterior Remodel*** – A proposed improvement to any existing building structure or property that changes the exterior appearance of the property and meets either of the criteria below:

- Estimated value of construction exceeds 50% of the value of the existing built facilities as determined by the City's building valuation procedure; or
- Construction includes an addition to extension of an existing building.

***Minor Exterior Remodel*** - Any improvement that changes the visual appearance or exterior configuration of a building structure or property, and which has a value less than 50% of the existing built facilities as determined by the City's building valuation procedure. Painting and restorative maintenance are not considered minor remodels.

***Modulation*** - In the design standards, *modulation* is a stepping back or projecting forward of portions of a building face within specified intervals of building width and depth, as a means of breaking up the apparent bulk of a structure's continuous exterior walls.

***Northwest Woodland Character***- Character of early development of the Northwest that balanced the use of local materials (such as timber and high quality aggregates) to construct buildings with the natural environment, including native trees and other vegetation.

***Pedestrian-Oriented Building Façades***- Ground floor façades which employ at least one of the following characteristics:

- Transparent window areas or window displays along at least 75% of the ground floor *façade*. The window area must cover the area between 2 feet and 8 feet above the sidewalk or walkway surface; or

- A combination of sculptural, mosaic, or *bas-relief artwork*, and transparent window areas or window displays (as described above) over at least 75% of the ground floor *façade*.

***Pedestrian-Oriented Space*** - An area between a building and a street, access road, or along a pedestrian path which promotes visual and pedestrian access onto the site and which provides pedestrian-oriented amenities and *landscaping* to enhance the public's use of the space for passive activities such as resting, reading, picnicking, etc. To qualify as a *pedestrian-oriented space*, an area must have:

- Visual and pedestrian access (including handicapped access) into the site from a street, private access road, or non-vehicular *courtyard*;
- Paved walking surfaces of either concrete or approved unit paving;
- On-site or building-mounted lighting (fixtures no taller than 15 feet) providing at least 4 foot candles (average) on the ground;
- ~~Spaces must be positioned in areas with significant pedestrian traffic to provide interest and security, such as adjacent to a building entry; and~~
- ~~*Landscaping* components that add visual interest and do not act as a visual barrier. This could include planting beds, potted plants, or both;~~
- A location in areas with significant pedestrian traffic to provide interest and security, such as adjacent to a building entry;
- *Landscaping* components that add visual interest and do not act as a visual barrier. This could include planting beds, potted plants, or both; and
- At least 2 feet of seating area (a bench or ledge at least 16 inches deep and appropriate seating height) or one individual seat per 60 square feet of plaza area or open space;

A *pedestrian-oriented space* ~~shall~~ is encouraged to have:

- Pedestrian amenities, including two or more elements such as a water feature, site furniture, *artwork*, drinking fountains, kiosks, clock tower, etc;
- ~~At least 2 feet of seating area (a bench or ledge at least 16 inches deep and appropriate seating height) or one individual seat per 60 square feet of plaza area or open space;~~
- Adjacent buildings with transparent window and doors covering 75% of the *façade* between 2 feet and 8 feet above the ground level;
- Consideration of the sun angle at noon and the wind pattern in the design of the space; and
- Transitional zones along building edges to allow for outdoor seating areas and a planted buffer.

A *pedestrian-oriented space* shall not have:

- Asphalt or gravel pavement;
- Adjacent non-buffered parking lots or service areas;
- Adjacent chain-link fences;
- Adjacent "*blank walls*" without "*blank wall treatment*"; and
- Outdoor storage or retail sales that do not contribute to the pedestrian-oriented environment.

***Pedestrian-Oriented Street*** –*Pedestrian-Oriented Streets* include:

- All Streets NE 173rd Street, NE 175<sup>th</sup> Street, 133<sup>rd</sup> Avenue NE, 135<sup>th</sup> Avenue NE, 138<sup>th</sup> Avenue NE, and 140<sup>th</sup> Avenue NE within the CBD zone.
- SR202 located in the Tourist District Overlay described in WMC 21.38.065.

- An undefined north/south corridor connecting NE 171st Street and Woodinville-Snohomish Road in the vicinity of 135th Avenue NE.

***Pedestrian-Oriented Use (or Business)*** - A commercial enterprise whose customers commonly arrive by foot; or whose signage, advertising, window display, and entryways are oriented toward pedestrian traffic. *Pedestrian-oriented businesses* may include restaurants, retail shops, personal service businesses, travel services, banks (except drive-through windows), and similar establishments.

***Rain garden*** - A planted depression that allows rainwater runoff from impervious urban areas like roofs, driveways, walkways, and compacted lawn areas the opportunity to be absorbed.

***Scale, Human*** - The perceived size of a building relative to a human being. A building is considered to have “good” human scale if there is an expression of human activity or use that indicates the building's size. For example, traditionally sized doors, windows, and balconies are elements that respond to the size of the human body, so these elements in a building indicate a building's overall size.

***Scale, Architectural*** - The perceived relative height and bulk of a building relative to that of neighboring buildings. A building's apparent height and bulk may be reduced by modulating façades.

***Streetscape*** - The *streetscape* is the visual character of a street as determined by various elements such as structures, greenery, open space, views, etc.

***TRC (Technical Review Committee)*** - An administrative review panel composed of department heads or designated representatives that conduct development review for the City.

***Vernacular Façade*** - A unique expression of a building façade that is representative of a popular architectural expression that evolved in a specific geographic area or place during a particular period of time.



STATE OF WASHINGTON

DEPARTMENT OF COMMERCE

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[www.commerce.wa.gov](http://www.commerce.wa.gov)

November 22, 2010

Jennifer Kuhn  
City Clerk  
City of Woodinville  
17301 - 133rd Avenue Northeast  
Woodinville, Washington 98072

Dear Ms. Kuhn:

Thank you for sending the Washington State Department of Commerce (Commerce) the following materials as required under RCW 36.70A.106. Please keep this letter as documentation that you have met this procedural requirement.

**City of Woodinville - Adopted Ordinance 489, amending the city municipal code - 2009 Annual Docket and city zoning map. These materials were received on November 10, 2010 and processed with the Material ID # 16378.**

We have forwarded a copy of this notice to other state agencies.

If this submitted material is an adopted amendment, then please keep this letter as documentation that you have met the procedural requirement under RCW 36.70A.106.

If you have submitted this material as a draft amendment, then final adoption may occur no earlier than sixty days following the date of receipt by Commerce. Please remember to submit the final adopted amendment to Commerce within ten days of adoption.

If you have any questions, please call me at 360.725.3056.

Sincerely,

*Linda Weyl*  
*for*

Ike Nwankwo  
Technical  Financial Assistance Manager  
Growth Management Services