

## ORDINANCE NO. 634

**AN ORDINANCE OF THE CITY OF WOODINVILLE, WASHINGTON, ADOPTING THE 2016 KING COUNTY SURFACE WATER MANUAL AND LOW IMPACT DEVELOPMENT STANDARDS; ESTABLISHING CHAPTER 13.05 OF THE WOODINVILLE MUNICIPAL CODE, REPEALING 14.06 AND 14.09 OF THE WOODINVILLE MUNICIPAL CODE, REVISING STANDARD DETAILS IN THE TRANSPORTATION INFRASTRUCTURE STANDARDS AND SPECIFICATIONS; AMENDING CHAPTERS 12.09, 13.04, 20.06, 21.11, 21.22, 21.23, 21.26, 21.40, 21.43, 21.44, AND 21.51 OF THE WOODINVILLE MUNICIPAL CODE; PROVIDING FOR SEVERABILITY; AND PROVIDING FOR AN EFFECTIVE DATE AND SUMMARY PUBLICATION BY ORDINANCE TITLE ONLY.**

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**WHEREAS**, urban areas that collect stormwater runoff in municipal storm drainage systems and discharge it to surface waters are required to have a National Pollution Discharge Elimination System permit (NPDES permit) under the Federal Clean Water Act; and

**WHEREAS**, the Washington State Department of Ecology develops and administers National Pollution Discharge Elimination System (NPDES) municipal stormwater permits in Washington State with delegated authority from the Environmental Protection Agency; and

**WHEREAS**, the City of Woodinville is covered under the 2013-18 Western Washington Phase II NPDES Municipal Stormwater Permit issued by the Department of Ecology; and

**WHEREAS**, no later than December 31, 2016, the City is required, under permit condition S5.C.4(f), to review and revise its development codes and regulations to incorporate and require low impact development principles and standards as the preferred and commonly-used approach to development; and

**WHEREAS**, the City Council finds that the control and treatment of stormwater is in the best interest of public health, safety, and general welfare and seeks to amend the development code provisions to incorporate the low impact development principles and standards in order to ensure compliance with the NPDES permit; and

**WHEREAS**, adoption of this ordinance will promote best management practices and low impact development techniques that reduces and treats stormwater runoff, replicates natural processes, and improves the local environment; and

**WHEREAS**, the 2015 Comprehensive Plan encourages the incorporation and adoption of sustainable practices in public infrastructure and improvement standards;

**WHEREAS**, the 2016 King County Surface Water Design Manual represents the best available standard for the control and treatment of stormwater; and

**WHEREAS**, the City of Woodinville completed a public participation process and open house meeting on September 15, 2016 to solicit comments on the proposed low impact development amendments; and

**WHEREAS**, in order to incorporate low impact development principles and standards, the City sought recommendations for proposed amendments to the City's development codes from a

consultant, Otak, Inc., and who completed a gap analysis identifying code barriers and opportunities for low impact development for the City of Woodinville; and

**WHEREAS**, the proposed ordinance was considered by the Woodinville Planning Commission at a study session on July 6, 2016 and at a public hearing on September 21, 2016; and

**WHEREAS**, the Woodinville City Council has considered recommendations of the Planning Commission, staff, and public input after public hearings held on October 18, 2016; and after such consideration has found that these amendments meet the required criteria in Ordinance No. 172 and WMC 21.46.030; and

**NOW THEREFORE, THE CITY COUNCIL OF THE CITY OF WOODINVILLE, WASHINGTON, DO ORDAIN AS FOLLOWS:**

**Section 1.** Woodinville Municipal Code (WMC) section 12.09.010 is hereby amended to read as follows, with new text shown by underline and deletions of text shown by ~~strikethrough~~; all other provisions of this section shall remain unchanged and in full force:

The City of Woodinville hereby adopts the “City of Woodinville Transportation Infrastructure Standards and Specifications, 1999 Edition, 2016 ~~2013~~ Amendment,” which shall establish the basic requirements for the construction and/or alteration of public rights-of-way.

**Section 2.** Part 1-1.1 of the City of Woodinville Transportation Infrastructure Standards and Specifications, as adopted by WMC 12.09.010, is hereby amended to read as follows, with new text shown by underline and deletions of text shown by ~~strikethrough~~; all other provisions of this section shall remain unchanged and in full force:

### **1.1 Standards**

These City of Woodinville Transportation Infrastructure Standards and Specifications, hereinafter referred to as the “Standards”, shall apply whenever any work is performed within the City of Woodinville, including, but not limited to, work performed by private parties within the public right-of-way at their own expense under the authority granted by ordinance(s) of the City Council. Except where these Standards provide otherwise, design, workmanship, and materials shall conform to the appropriate standards of the most current edition of the Washington State Department of Transportation (WSDOT) and Washington State Chapter of the American Public Works Association (APWA) Standard Specifications for Road, Bridge, and Municipal Construction, including the APWA Supplement to Division 1, hereinafter referred to as the “WSDOT/APWA Standard Specifications”, and the Standard Plans for Road, Bridge and Municipal Construction hereinafter referred to as the “WSDOT/APWA Standard Plans”.

In addition to the above, ~~the most current edition~~ of the following manuals and standards shall govern all design, workmanship and materials, unless provided otherwise by the Standards and WSDOT/APWA Standard Specifications and Standard Plans:

- 1) King County Surface Water Design Manual (KCSWDM), current adopted edition
- 2) U.S. Department of Transportation, Manual on Uniform Traffic Control Devices (MUTCD), as amended and approved by WSDOT, most current edition
- 3) City of Seattle, Traffic Control Manual for In-Street Work, most current edition
- 4) American National Standards Institute, Current American Standard for Street Tree Care Operations, most current edition
- 5) American National Standards Institute, Current American Standard for Nursery Stock, most current edition

**Section 3.** Part 1-1.4 of the City of Woodinville Transportation Infrastructure Standards and Specifications, as adopted by WMC 12.09.010, is hereby amended to read as follows, with new text shown by underline and deletions of text shown by ~~strikethrough~~; all other provisions of this section shall remain unchanged and in full force:

#### 1-1.4 Definitions and Abbreviations

##### Definitions:

**Best management practices (BMPs)** – Physical, structural, and/or managerial practices that, when used singularly or in combination, prevent or reduce ~~pollution~~ the release of pollutants and other adverse impacts to surface of water, stormwater and groundwater. (~~See King County Storm Water Pollution Control Manual.~~)

**Flow control BMP** – a small scale drainage facility or feature that is part of a development site strategy to use processes such as infiltration, dispersion, storage, evaporation, transpiration, forest retention, and reduced impervious surface footprint to mimic pre-development hydrology and minimize stormwater runoff.

##### Abbreviations:

<b>AP</b>	Angle Point
<b>BMP</b>	Best Management Practice
<b>DNS</b>	Determination of Non-Ssignificance
<b>EIS</b>	Environmental Impact Statement
<b>IBC</b>	International Building Code
<b>KCSWDM</b>	King County Surface Water Design Manual
<b>MDNS</b>	Mitigated Determination of Non-Ssignificance
<b>NEPA</b>	National Environmental Protection Act
<b>PC</b>	Point of Curvature
<b>PCC</b>	Point of Compound Curvature
<b>PRC</b>	Point of Reverse Curvature
<b><del>PSCA</del><del>APCA</del></b>	<del>Puget Sound Clean Air Agency Pollution Control Authority</del>
<b>PT</b>	Point of Tangency
<b>PUD</b>	Public Utility District
<b>ROW</b>	Right-of-Way
<b>SEPA</b>	State Environmental Protection Act
<b>TIR</b>	Technical Information Report
<b>TRC</b>	Technical Review Committee
<b><del>UBC</del></b>	<del>Uniform Building Code</del>
<b>WMC</b>	Woodinville Municipal Code
<b>WSDOT</b>	Washington State Department of Transportation

**Section 4.** Part 1-2.2.3 of the City of Woodinville Transportation Infrastructure Standards and Specifications, as adopted by WMC 12.09.010, is hereby amended to read as follows, with new text shown by underline and deletions of text shown by ~~strikethrough~~; all other provisions of this section shall remain unchanged and in full force:

#### 1-2.2.3 Drawing Standards

##### 6. ~~STORMWATER ENGINEERING AND SITE IMPROVEMENT PLANS STORM DRAINAGE/WATER QUALITY TREATMENT/DETENTION PLAN AND PROFILE~~

- a) Submit a stormwater site improvement plan in accordance with King County Surface Water Design Manual, Section 2.3.1.2. ~~Label all cleanouts, manholes, and catch basins in sequential number indicating size, location, and type on the plans. In profiles, label rim and invert elevations as well as catch basin or manhole size and type.~~

- b) Include flow direction arrows on all storm drain pipes.
- e) Label pipe size, length, material and slope in plan or profile.
- d) Include horizontal and vertical datum and benchmark information on each plan and/or profile sheet.
- e) Show spot elevations of pavement in parking lots, and runoff flow direction arrows.
- f) Show roof leaders and footings drains connecting into conveyance system.
- g) Show all stub-out locations for future connections.
- h) Show location of rockeries and include section details for rockeries in grading or street improvement plans.
- i) Show and label 25-year hydraulic grade line.
- j) Show and label the following for all stormwater facilities:
  1. At least two cross-sections through detention pond. One cross-section shall show the control structure.
  2. Location and detail of emergency overflows and spillways.
  3. Invert elevations of all pipes, inlets, tanks, vaults and spot elevations of the pond bottom. Call out pond volume and dimensions, and design surface elevation.
  4. Plan and section views and details of all rock protection and energy dissipaters.
  5. Section and plan view on restrictor/control structure; detailed, including size and elevation of orifices.
  6. Show length, width, and bottom width dimensions for all bio-filtration and water quality swales and stormwater conveyance swales. Include sectional view, showing side slopes and design depth of flow.
  7. Include seeding material information.
- kb) Submit a two (2) copies of the drainage TIR in accordance with the King County Surface Water Design Manual, Section 2.3.1.1.

**Section 5.** Part 1-3 of the City of Woodinville Transportation Infrastructure Standards and Specifications, as adopted by WMC 12.09.010, is hereby amended to read as follows, with new text shown by underline and deletions of text shown by ~~strikethrough~~; all other provisions of this section shall remain unchanged and in full force:

Design for all public improvement projects shall comply with the following:

- 1) Chapter 15.05 WMC, Clearing and Grading.
- ~~1)2) City of Woodinville Ordinance No. 58 (See WMC 15.39.010)~~Chapter 15.39 WMC, Undergrounding of utilities – Requiring all utility extensions to be underground.
- ~~2)3) City of Woodinville Ordinance No. 68 (See WMC Chapter 15.42 WMC, Fees for Work in Public/Private Rights-of-Way)~~ – Requiring a permit that may prescribe conditions for the issuance thereof, and setting fees for the underground utilities, paving, sidewalks, curb and gutters, parking, and landscaping, etc., by private individuals, contractors, corporations, and/or developers on public and/or private property.
- ~~3)4)~~ All local, state, and federal regulations.

**Section 6.** Part 1-4.2.9 of the City of Woodinville Transportation Infrastructure Standards and Specifications, as adopted by WMC 12.09.010, is hereby amended to read as follows, with new text shown by underline and deletions of text shown by ~~strikethrough~~; all other provisions of this section shall remain unchanged and in full force:

**1-4.2.9 Hammerheads, Cul-de-Sacs, Turn Arounds**

Hammerhead turn arounds (preferred) or Cul-de-sacs shall be provided at all permanent street ends, and/or on any temporary dead-end location when the length of the street is more than 150' in length. Cul-de-sacs shall be per Standard Detail No. 314. Cul-de-sacs shall not be longer than ~~500'~~750', unless written approval is granted by the Fire Marshall and the Public Works Director. Hammerheads shall be in accordance with Standard Detail No 314A. Hammerheads shall not be longer than 750', unless written

approval is granted by the Fire Marshal and the Public Works Director. Street ends serving fewer than three lots, and less than 300' long, do not require a turnaround.

~~On dead-end streets, where the street is less than 150' long, the required turnaround area may be a hammerhead type of design subject to the review and approval of the Fire Marshal and Public Works Director.~~

**Section 7.** Part 1-4.2.11 of the City of Woodinville Transportation Infrastructure Standards and Specifications, as adopted by WMC 12.09.010, is hereby amended to read as follows, with new text shown by underline and deletions of text shown by ~~strikethrough~~; all other provisions of this section shall remain unchanged and in full force:

Structural sections and street appurtenances shall be in accordance with Woodinville Standard Details 100 through 112. The pavement sections shown are allowable minimums only. A geotechnical study and pavement analysis and recommendation will normally be required for any proposed new road construction, widening of existing streets, or major repair and overlay work. The applicant shall be responsible for providing such reports, prepared by a Professional Engineer licensed in the state of Washington, for review and approval by the Public Works Director. Modifications to the minimum road structural sections may be required to address site-specific soil conditions, drainage considerations, permeable pavements, and vehicle loads. Where higher than normal truck traffic is projected, the applicant's traffic and geotechnical engineers shall evaluate the adequacy of the proposed section and recommend any additional specific measures necessary to provide a minimum 20-year design life for the new pavement section. The Public Works Director may require the final lift of asphalt to be bonded for and delayed for up to one year due to weather and other considerations.

**Section 8.** Part 1-4.5.3 of the City of Woodinville Transportation Infrastructure Standards and Specifications, as adopted by WMC 12.09.010, is hereby amended to read as follows, with new text shown by underline and deletions of text shown by ~~strikethrough~~; all other provisions of this section shall remain unchanged and in full force:

Utilities within the right-of-way on new roads or on roads where existing topography, utilities, or storm drains are not in conflict, shall be located as shown on Standard Detail 302 and as indicated below. Where existing utilities or storm drains are in place, new utilities shall conform to these Standards as nearly as practicable, and yet be compatible with the existing installations. Above-ground utilities located within intersections shall be placed so as to avoid conflict with placement of curb ramps. Placement of utilities under bioretention in the right-of-way is prohibited, except placement of utility laterals under bioretention facilities to private properties may be approved by the Public Works Director if sleeved.

**Section 9.** Part 1-4.6.2 of the City of Woodinville Transportation Infrastructure Standards and Specifications, as adopted by WMC 12.09.010, is hereby amended to read as follows, with new text shown by underline and deletions of text shown by ~~strikethrough~~, all other provisions of this section shall remain unchanged and in full force:

2) Width:

- a) Each single ownership shall be entitled to one 10' to 14' wide driveway approach.
- b) Where a driveway approach in excess of 14' is requested for a single ownership, the maximum approach width which the Public Works Director may approve are as follows:

Maximum Width of Residential Driveways		
Frontage	One Driveway Approach	Two Driveway Approaches
Under 30'	50% of frontage	Not allowed
30 to 60'	20'	Not allowed
60 to 80'	30'	22'
Over 80'	35'	30'

- c) There must be at least 20' between driveways serving any one property frontage.
- d) No driveway approach, including end slopes, shall be allowed within 5' of the side property line, unless a written request is made to and approved by the Public Works Director, and the owner of the adjacent property is a co-signer of the driveway permit.
- e) In cases where driveway approaches are constructed on corner lots, no driveway approach, including side slopes, shall be constructed closer than 4' from the end of any curb return at the curb line.
- f) No more than two driveways shall be allowed for a single family residential lot.

**Section 10.** Part 1-4.6.3 of the City of Woodinville Transportation Infrastructure Standards and Specifications, as adopted by WMC 12.09.010, is hereby amended to read as follows, with new text shown by underline and deletions of text shown by ~~strikethrough~~; all other provisions of this section shall remain unchanged and in full force:

2) Width:

- a) The minimum width of a commercial driveway shall be 20'30'.
- b) ~~Where a~~ driveway approach in excess of 20' 30' may be approved by the Public Works Director if anticipated vehicle turning movements require a wider entrance. ~~is requested, the maximum approach widths which the Public Works Director may approve are as follows:~~

Maximum Width of Commercial Driveways	
Street Posted Speed (mph)	Driveway Maximum Width <sup>a</sup> (feet)
25	30
26-45	35
Over 45	40

a. Dimension (1) on Standard Details 322, 323, and 324.

**Section 11.** Part 1-5 of the City of Woodinville Transportation Infrastructure Standards and Specifications, as adopted by WMC 12.09.010, is hereby amended to read as follows, with new text shown by underline and deletions of text shown by ~~strikethrough~~; all other provisions of this section shall remain unchanged and in full force:

**1-5.1 Goals/Design Criteria**

To minimize the adverse effects of stormwater runoff on receiving waters and groundwater, development sites shall be designed to minimize impervious surfaces, minimize vegetation loss, and retain stormwater runoff on site to the extent feasible. Storm drainage thresholds, applicability, and design criteria shall be from ~~the latest edition of~~ the King County Surface Water Design Manual (KCSWDM) unless otherwise noted below.

## **1-5.2 Design Requirements**

### **1-5.2.1 Conveyance**

See King County Surface Water Design Manual for requirements.

### **1-5.2.2 Catch Basins**

Maximum catch basin spacing will be 300' on arterials and collectors and 500' on all other street classifications. No surface water will cross any roadway to private property.

Catch basins located in "low points" will have a through curb inlet.

### **1-5.2.3 Detention**

See King County Surface Water Design Manual for requirements.

### **1-5.2.4 Treatment**

See King County Surface Water Design Manual for requirements.

### **1-5.2.5 Pipe Bedding and Trench Compaction**

See Standard Plans 470 and 471 for pipe bedding and trench compaction requirements.

### **1-5.2.6 Flow Control BMPs**

See King County Surface Water Design Manual for requirements.

## **1-5.3 Maintenance**

Ownership and maintenance of storm drainage facilities shall be approved by the Public Works Director prior to approval of the Stormwater Engineering and Site Improvement Plans in accordance with Chapter 13.05 WMC and the KCSWDM.

**Section 12.** Part 2-2.2 of the City of Woodinville Transportation Infrastructure Standards and Specifications, as adopted by WMC 12.09.010, is hereby amended to read as follows, with new text shown by underline and deletions of text shown by ~~strikethrough~~; all other provisions of this section shall remain unchanged and in full force:

All parking lot construction shall be inspected for conformance to plans for size, layout, drainage control, and structural section.

~~The minimum acceptable structural section for parking lots shall be 2" of asphalt concrete Class "A" placed over 4" of crushed surfacing top course, or 2" of asphalt concrete Class "A" placed over 2" of asphalt treated base, unless otherwise approved by the Public Works Director. Heavier pavement sections may be required for truck traffic, vehicle storage or as determined by the applicant's soils Engineer due to soil conditions.~~

~~Prior to placing any surfacing material on the parking lot, it will be the responsibility of the applicant to provide density test reports of the subgrade certified by a licensed engineer or testing laboratory registered in the State of Washington documenting that the subgrade had been compacted to 95% maximum dry density.~~

~~Crushed surfacing top course shall be compacted to 95% maximum dry density. Density testing for asphalt pavement, including the necessity and frequency of core samples, will be determined by the Public Works Director on a case by case basis.~~

#### 2-2.2.1 Permeable Pavement Parking Lot

Use of permeable pavements is encouraged for off-street parking where feasible in accordance with the KCSWDM. Permissible permeable pavements for parking lots include porous asphalt, pervious concrete, and permeable interlocking concrete pavers, in accordance with Standard Detail 326.

Where permeable pavements are proposed, the engineer shall submit a design for a structural section capable of supporting expected vehicle loads for approval by the Public Works Director.

Compaction of the subgrade shall be completed and verified prior to placement of the permeable ballast. The prepared and approved subgrade shall be protected from traffic, run-on, standing water, sedimentation and other damage.

Without protection during construction and routine cleaning during the pavement lifetime, permeable pavement is prone to clogging due to fine grains and sediment entering the permeable reservoir. The contractor shall protect permeable pavements during construction in accordance with KCSWDM, Appendix C, Section C.1.4.1.H and I.

The property owner shall have responsibility to perform maintenance on permeable pavement installed on private property. Prior to approval of a permeable pavement parking lot, the applicant shall provide a maintenance schedule and declaration of covenant and grant of easement in accordance with KCSWDM, Appendix C, Section C.2.7.7.

#### 2-2.2.2 Asphalt Parking Lot

Parking lots with expected standard passenger vehicle loading shall be light-duty parking lots and shall be designed and constructed in accordance with Standard Detail 343B. Light duty lots include all lots subject to passenger vehicle loading, with occasional truck loading.

Asphalt parking lots with expected continuous truck loading and occasional bus loading shall be heavy-duty parking lots and shall be designed and constructed in accordance with Standard Detail 343B. Heavy duty lots include:

- Loading Bays
- Parking Lot Throats

Areas projected to experience high bus and large vehicle loading may require additional analysis and recommendations from a licensed Engineer.

Compaction of the subgrade shall be completed prior to the required asphalt work.

After the crushed surfacing top (or base) course subgrade has been leveled and compacted, asphalt concrete pavement shall be placed of the class and to the thickness shown on the plans. Asphalt shall be compacted as shown on the plans.

#### 2-2.2.3 Temporary Gravel Parking Lot

Temporary parking lots shall be designed and constructed in accordance with Standard Detail 343B. Gravel parking lots will be allowed for light passenger car and minimal truck loading only, on private property, with approval of the Public Works Director.

**Section 13.** Part 2-2.8.1 of the City of Woodinville Transportation Infrastructure Standards and Specifications, as adopted by WMC 12.09.010, is hereby amended to read as follows, with

new text shown by underline and deletions of text shown by ~~strikethrough~~; all other provisions of this section shall remain unchanged and in full force:

This work shall consist of constructing cement concrete sidewalks, thickened edge for sidewalks, curb ramps, and bus shelter pads, including excavation for the depth of the sidewalk and subgrade preparation, in accordance with Standard Details 321, 321A, ~~326A, 326B, 326C and 327~~ and 326.

**Section 14.** Part 2-2.8.3 of the City of Woodinville Transportation Infrastructure Standards and Specifications, as adopted by WMC 12.09.010, is hereby amended to read as follows, with new text shown by underline and deletions of text shown by ~~strikethrough~~; all other provisions of this section shall remain unchanged and in full force:

4) Curb Ramps:

- a) Curb ramps shall be constructed in accordance with WSDOT Standard Details F-40.12-03 through F-40.16-03-F-3. Curb ramps shall be constructed where shown on the plans or where directed by the City. This work shall include curb ramps installed in new sidewalks and curb ramps to be installed in existing sidewalks. Existing sidewalks shall be neatly saw-cut full depth prior to construction of curb ramps.

**Section 15.** City of Woodinville Transportation Infrastructure Standards and Specifications Standard Details 100, 103A, 103B, 302, 314, 314A, 320A, 321, and 322, 323, 324 are hereby amended; Standard Details 320C, 320D, 326, 343B, 493, 494 and 495 are hereby added as set forth in Attachment A; all other provisions of this section shall remain unchanged and in full force.

**Section 16.** City of Woodinville Transportation Infrastructure Standards and Specifications Standard Details 326A, 326B, 326C, 327 are hereby deleted; all other provisions of this section shall remain unchanged and in full force.

**Section 17.** WMC section 13.04.065 is hereby adopted to read as follows; all other provisions of this section shall remain unchanged and in full force:

**13.04.065 Best Management Practices Required**

- (1) Compliance with this chapter shall be achieved through the use of BMPs described in the Stormwater Pollution Prevention Manual.
- (2) BMPs shall be applied to any business or residential activity that may result in prohibited discharges as specified in the Stormwater Pollution Prevention Manual. Activities that may result in prohibited discharges include but are not limited to:
  - (a) Potable water line flushing;
  - (b) lawn watering with potable water;
  - (c) dust control with potable water;
  - (d) automobile and boat washing;
  - (e) pavement and building washing;
  - (f) swimming pool and hot tub maintenance;
  - (g) auto repair and maintenance;
  - (h) building repair and maintenance;
  - (i) landscape maintenance;
  - (j) hazardous waste handling;
  - (k) solid and food waste handling;
  - (l) application of pesticides.
- (3) In applying the Stormwater Pollution Prevention Manual, the Director shall first require the implementation of source control BMPs. If these are not sufficient to prevent contaminants from

entering surface water, stormwater, or groundwater, the Director may require implementation of treatment BMPs as set forth in AKART.

- (4) In applying the Stormwater Pollution Prevention Manual to prohibited discharges from normal single family residential activities, the Director shall use public education and warnings as the primary methods for gaining compliance with the chapter and shall not use citations, notice and orders, assessment of civil penalties and fines, or other compliance actions unless the Director determines that the discharge from a normal single family residential activity, whether singly or in combination with other discharges, is causing a significant contribution of contaminants to surface water, stormwater, or groundwater or is causing a hazard.

**Section 18.** WMC section 13.04.090 is hereby adopted to read as follows; all other provisions of this section shall remain unchanged and in full force:

**13.04.090 Administration – rules and regulations.**

- (1) The City Manager is authorized to implement this chapter. The City Manager is authorized to promulgate and adopt administrative rules and regulations under the procedures specified in Ordinance No. 159 for the purposes of implementing and enforcing this chapter.

**Section 19.** Chapter 13.05 WMC is hereby adopted to read as follows:

**13.05.010 Chapter 9.04 King County Code - Adopted**

Except as modified in this chapter, Chapter 9.04 of the King County Code is hereby adopted by this reference as if set forth in full. A copy is on file with the office of the City Clerk for public inspection.

**13.05.020 Chapter 9.04 King County Code - Modified**

Chapter 9.04 of the King County Code, adopted by reference in this chapter, is hereby modified as follows:

- (1) References to King County shall refer to the City of Woodinville.
- (2) References to the Director shall mean the Woodinville City Manager or his or her designee.
- (3) References to department or division shall refer to the appropriate department or division of the City of Woodinville as established by the City Manager.
- (4) References to KCC Title 21A shall mean and refer to Title 21 WMC.
- (5) References to KCC Title 27A shall mean and refer to such provisions of the Woodinville Municipal Code as pertain to financial guarantees.
- (6) References to KCC Title 23 shall mean and refer to Title 1 WMC.
- (7) References to KCC Chapter 2.98 shall mean and refer to Chapter 2.31 WMC.
- (8) KCC 9.04.194 is deleted.
- (9) KCC 9.04.020 Definitions, Definition BBB, shall be modified to read as follows:

*“Surface Water Design Manual” means the King County Surface Water Design Manual and supporting documentation referenced or incorporated in the manual, describing surface and stormwater design and analysis requirements, procedures, and guidance which has been approved by the City of Woodinville Public Services Department and which has been formally adopted by public rule under the procedures specified in Ordinance No. 159. A copy of the Surface Water Design Manual is on file with the office of the City Clerk for examination by the public.*

- (10) KCC 9.04.050 Drainage review – requirements shall be amended by replacing Section C.1.6. as follows:

*The applicant may appeal the City Manager’s decision by following the administrative appeal procedures of Chapter 2.30 WMC.*

- (11) KCC 9.04.105 Financial guarantees authorized shall be modified to read as follows:

*The City Manager or his or her designee is authorized to require all applicants issued permits or approvals under the provisions of this title to post financial guarantees.*

(12) KCC 9.04.115 Drainage facilities accepted by King County for maintenance shall be amended by inserting the following after the first paragraph:

1. *Woodinville will assume maintenance and operation of the following drainage facilities except where an adjustment is granted allowing the facilities to be maintained by a different party:*
  - a. *Flow control and water quality facilities within a tract or right-of-way dedicated to City of Woodinville.*
  - b. *Flow control BMP devices within a tract dedicated to City of Woodinville.*
  - c. *The structural elements of any flow control facilities, any water quality facilities, and any flow control BMP devices within a tract owned by a homeowners' association when an easement for inspection and maintenance has been granted to the City. Maintenance of vegetation, mulch, and landscaping elements shall remain the responsibility of the homeowners' association.*
  - d. *The structural elements of vegetated flow control BMP devices within the right-of-way of the City of Woodinville. Maintenance of vegetation, mulch, and landscaping elements shall remain the responsibility of the adjacent property owner(s).*
  - e. *The flow control functionality of vegetated flow paths of flow control BMPs where they serve public improvements. All other maintenance shall remain the responsibility of the owner(s).*
  - f. *The conveyance system within improved public road right-of-way.*

(13) KCC 9.04.120 Drainage facilities not accepted by King County for maintenance shall be modified to read as follows:

- A. *The person or persons holding title to the property, or the homeowners' association designated to maintain shared facilities in accordance with 9.04.130, and the applicant required to construct a drainage facility shall remain responsible for the facility's continual performance, operation and maintenance in accordance with the standards and requirements of the department and remain responsible for any liability as a result of these duties. This responsibility includes maintenance of a drainage facility which is:*
  1. *Under a maintenance guarantee or defect guarantee;*
  2. *A private road conveyance system or private road constructed of permeable pavement;*
  3. *Released from all required financial guarantees prior to July 7, 1980;*
  4. *Located within and serving only one single family residential lot;*
  5. *Located within and serving a multifamily or commercial site.*
  6. *Previously terminated for assumption of maintenance responsibilities by the department in accordance with KCC 9.04.110; or*
  7. *Not otherwise accepted by City of Woodinville for maintenance.*
- B. *Prior to the issuance of any of the permits for any multifamily or commercial project required to have flow control or water quality treatment facility, the applicant shall record a declaration of covenant as specified in the Surface Water Design Manual. The covenant shall be recorded with the County as a deed restriction on the title to the subject property. The restrictions set forth in such covenant shall include, but not be limited to:*
  1. *Provisions for maintenance inspection and right-of-entry by City of Woodinville;*
  2. *Provisions for notice to the person or persons holding title should City of Woodinville determine that maintenance and/or repairs are necessary to the facility and a reasonable time limit in which such work is to be completed;*
  3. *Provisions for notice to the person or persons holding title should City of Woodinville perform such required maintenance and/or repair work upon failure of titleholders to effect such work;*
  4. *Provisions to require the titleholders to reimburse City of Woodinville for performing any such required maintenance and/or repairs; and*
  5. *A reference to the restrictions set forth in the declaration of covenant provided in the Surface Water Design Manual, which shall apply.*

- C. *Prior to the issuance of any of the permits and/or approvals for the project or the release of financial guarantees posted to guarantee satisfactory completion, the person or persons holding title to the subject property for which a drainage facility was required shall pay a fee established by the Director to reasonably compensate City of Woodinville for costs relating to inspection of the facility to ensure that it has been constructed according to plan and applicable specifications and standards.*
- D. *The duties specified in this section with regard to payment of inspection fees and reimbursement of maintenance costs shall be enforced against the person or persons holding title to the property for which the drainage facility was required.*
- E. *Where not specifically defined in this section, the responsibility for performance, operation, and maintenance of drainage facilities and conveyance systems, both natural and constructed, shall be determined on a case-by-case basis.*

(14) KCC 9.04 shall be amended by inserting a new section as follows:

*9.04.130 Residential Shared Maintenance Agreement, Homeowners' Association, or Condo Association Required*

*A. Where residential drainage facilities serve more than one property, continued operation and maintenance of the shared drainage facilities shall be assured by the recording of a shared maintenance agreement on a form approved by the Director or by the formation of a Homeowners' Association or Condo Association as follows:*

- 1. A short subdivision shall record a shared maintenance agreement against each lot in the plat for operation and maintenance of shared drainage facilities located in common areas or in tracts;*
- 2. A subdivision shall form a homeowners' association which shall have responsibility for maintaining the vegetation, mulch, and landscaping elements of shared drainage facilities in any tract dedicated to the City of Woodinville and for maintaining all components of other shared drainage facilities;*
- 3. A residential subdivision of land requiring a binding site plan shall form a condo association which shall have responsibility for maintaining all drainage facilities.*

**Section 20.** Chapter 14.06 of the Woodinville Municipal Code is hereby repealed.

**Section 21.** Chapter 14.09 of the Woodinville Municipal Code is hereby repealed.

**Section 22.** WMC section 21.11.040 is hereby amended to read as follows, with new text shown by underline and deletions of text shown by ~~striketrough~~; all other provisions of this section shall remain unchanged and in full force:

Bioretention: a stormwater best management practice consisting of a shallow landscaped depression designed to temporarily store and promote infiltration of stormwater runoff. Standards for bioretention design, including soil mix, plants, storage volume and feasibility criteria, are specified in Appendix C of the King County Surface Water Design Manual.

**Section 23.** WMC section 21.11.100 is hereby amended to read as follows, with new text shown by underline and deletions of text shown by ~~striketrough~~; all other provisions of this section shall remain unchanged and in full force:

Hard surface: any impervious surface or permeable pavement.

**Section 24.** WMC section 21.11.110 is hereby amended to read as follows, with new text shown by underline and deletions of text shown by ~~strikethrough~~; all other provisions of this section shall remain unchanged and in full force:

Impervious surface: any nonvertical surface artificially covered or hardened so as to prevent or impede the percolation of water into the soil mantle including, but not limited to: roof tops, swimming pools, paved or graveled roads or parking areas, and excluding landscaping, and surface water retention/detention facilities, and pedestrian walkways five feet wide or less.

**Section 25.** WMC section 21.11.140 is hereby amended to read as follows, with new text shown by underline and deletions of text shown by ~~strikethrough~~; all other provisions of this section shall remain unchanged and in full force:

Landscape Coverage: the area of a site that is covered by live vegetative material and topsoils, or vegetated stormwater facilities, including, but not limited to, required perimeter landscaping, required interior landscaping, native vegetation protection areas, and optional areas of landscaping. Landscaping coverage does not include any permeable pavements.

Low Impact Development (LID): a stormwater and land use management strategy that strives to mimic pre-disturbance hydrologic processes of infiltration, filtration, storage, evaporation and transpiration by emphasizing conservation, use of on-site natural features, site planning, and distributed stormwater management practices that are integrated into a project design.

LID Best Management Practices: distributed stormwater management practices, integrated into a project design, that emphasize pre-disturbance hydrologic processes of infiltration, filtration, storage, evaporation and transpiration. LID BMPs include, but are not limited to, bioretention, permeable pavements, roof downspout controls, dispersion, soil quality and depth, and minimal excavation foundations.

**Section 26.** WMC section 21.11.180 is hereby amended to read as follows, with new text shown by underline and deletions of text shown by ~~strikethrough~~; all other provisions of this section shall remain unchanged and in full force:

Permeable pavement: pervious concrete, porous asphalt, permeable pavers or other forms of pervious or porous paving material intended to allow passage of water through the pavement section. It often includes an aggregate base that provides structural support and acts as a stormwater reservoir.

Pervious surfacing materials: engineered building materials arranged, manufactured or assembled in such a way to allow storm water to flow through to recharge groundwater. Pervious surfacing material includes pervious concretes (asphalts), applied as pavement, brick assemblies and other evaluated engineered products. These products require engineering of the product itself and the base materials. Special inspection is also required for the installation. Pervious surfacing materials are generally used for walkways, patios, offstreet parking lots, private easement access roads and similar hard surface areas.

**Section 27.** WMC section 21.22.030 is hereby amended to read as follows, with new text shown by underline and deletions of text shown by ~~strikethrough~~; all other provisions of this section shall remain unchanged and in full force:

**21.22.030 Densities and dimensions – Residential zones.**

A. STANDARDS	R-1	R-4	R-6	R-8	R-12	R-18	R-24	R-48
Base Density: Dwelling Unit/Acre	1 du/ac	4 du/ac	6 du/ac	8 du/ac	12 du/ac	18 du/ac	24 du/ac	48 du/ac
Minimum Density: % of Base Density (2)		75%	75%	85%	80%	75%	70%	65%
Minimum Lot Area (1)	35,000 sf	9,000 sf	6,000 sf	5,000 sf				
Minimum Lot Width (3)	100 ft/75 ft (7) (12)	60 ft	50 ft	30 ft				
Minimum Lot Width at Street (9)	100 ft/75 ft (12)	60 ft	50 ft	30 ft				
Minimum Street Setback (3)	10 ft (8)	10 ft (8)	10 ft (8)	10 ft (8)	10 ft (8) (17)	10 ft (8)	10 ft (8)	10 ft (8)
Minimum Interior Setback (3)	10 ft (7)	5 ft (10)	5 ft (10)	5 ft (10)	5 ft (10) (17)	5 ft (10)	5 ft (10)	5 ft (10)
Base Height	35 ft	35 ft	35 ft	35 ft	35 ft (17)	45 ft	45 ft	45 ft (18)
Maximum Building Coverage: Percentage (5) (16)	15% (11) (14)	35%	50%	55%	60%	60%	70%	70%
<del>Maximum Impervious Surface</del> <u>Minimum Landscape Coverage:</u> Percentage (5) (16) (19)	<del>20</del> 5% (15)	<del>45</del> 50% (15)	<del>70</del> 25% (15)	<del>75</del> 20% (15)	<del>85</del> 10% (17)	<del>85</del> 10% (17)	<del>85</del> 10% (17)	<del>90</del> 10% (18)

**B. Development Conditions.**

- (1) Except as modified by WMC 21.22.170 and 21.51.080.
- (2) Also see WMC 21.22.060.
- (3) These standards may be modified under the provisions for zero-lot-line and townhome developments.
- (4) Reserved.
- (5) Applies to each individual lot. Building coverage and ~~impervious surface area~~ minimum landscaping coverage standards for:
- (6) Reserved.
- (7) The standards of the R-4 zone shall apply if a lot is less than 15,000 square feet in area.
- (8) At least 20 linear feet of driveway shall be provided between any garage, carport, or other fenced parking area and the street property line. The linear distance shall be measured along the centerline of the driveway from the access point to such garage, carport or fenced area to the street property line or pedestrian walkway, sidewalk, or easement access road(s), whichever is closest to the garage, carport or fenced parking area.
- (9) Panhandle Lots. Panhandle lots shall be allowed subject to the following requirements:
  - (a) Panhandle lots shall be allowed in cul-de-sacs, where critical areas do not allow the normal frontage required by the underlying zone, and/or where a private road is not practical.
  - (b) The width of the access corridor shall be 20 feet between the street and the main body of the lot.
  - (c) The other density and dimension standards in this section shall be determined using only the main body of the lot, and excluding the access corridor, including: minimum lot area, minimum

lot width, setbacks, maximum building coverage and ~~maximum impervious surface~~ minimum landscaping coverage.

- (d) The access corridor shall maintain a minimum height clearance of 12 feet, and shall be designed to meet the driveway requirements in the City's infrastructure standards.
- (e) There shall not be two or more contiguous panhandle lots. In cases where multiple contiguous panhandle lots are proposed, a private road shall be required instead.
- (f) The access corridor shall provide direct access to a paved public or private street.
- (g) The access corridor must be part of the lot, and be under the same ownership as the main body of the lot.
- (h) All requirements of the fire code shall be met, including access and sprinkler requirements.
- (10) For townhomes or apartment development, the setback shall be the greater of:
- (11) On any lot over one acre in area, an additional five percent may be used for buildings related to agricultural or forestry practices.
- (12) For the R-1 zone only, the minimum lot width at street shall be 100 feet at the street; except that the minimum lot width at street on cul-de-sacs shall be 75 feet at the street.
- (13) Reserved.
- (14) Maximum Building Coverage Percentage.

Lot Size	Max. Percentage Allowed
<u>Less than</u> <15,000 SF	35% ( <del>Permitted in R-4 zone</del> )
15,000 to <del>25,000</del> <u>24,999</u> SF	28%
25,000 to <del>35,000</del> <u>34,999</u> SF	22%
<del>Over</del> 35,000 SF <u>or more</u>	15%

- (15) Maximum Impervious Surface Minimum Landscaping Coverage Percentage.

Lot Size	<u>Min. Max. Percentage Allowed</u>
<u>Less than</u> <15,000 SF	<del>45</del> <u>50</u> % ( <del>Permitted in R-4 zone</del> )
15,000 to <del>25,000</del> <u>24,999</u> SF	<del>37</del> <u>58</u> %
25,000 to <del>35,000</del> <u>34,999</u> SF	<del>28</del> <u>67</u> %
<del>Over</del> 35,000 SF <u>or more</u>	<del>20</del> <u>75</u> %

- (16) New mobile home parks are exempt from this requirement.
- (17) If located in the Tourist District Overlay, see WMC 21.26.010.
- (18) ~~If located in the R-48/O district, see WMC 21.38.030(5).~~ (19) A maximum impervious credit of up to 50 percent for the use of pervious concrete materials as a recognized engineered all-weather surface used for walkways, patios, off-street parking lots, private easement access roads and similar hard surface areas.
- (19) A maximum impervious credit of up to 50 percent for the use of pervious concrete materials as a recognized engineered all-weather surface used for walkways, patios, off-street parking lots, private easement access roads and similar hard surface areas.

**Section 28.** WMC section 21.22.040(A) is hereby amended to read as follows, with new text shown by underline and deletions of text shown by ~~strikethrough~~; all other provisions of this section shall remain unchanged and in full force:

**21.22.040 Densities and dimensions – Public and commercial/industrial zones.**

<b>A. STANDARDS</b>	<b>P/I</b>	<b>NB</b>	<b>TB</b>	<b>GB</b>	<b>CBD (27)</b>	<b>O</b>	<b>I</b>
Base Density: Dwelling Unit/Acre			12 du/ac		36 du/ac	36 du/ac	
Residential Maximum Floor/Lot Ratio: Square Feet					2/1 (1) (26)		
Minimum Building Step-Back				10 ft (22)	10 ft (23)		
Minimum Street Setback (17)	10 ft	10 ft (5) 20 ft (11)	10 ft (2) (5) (14)	10 ft (5) 25 ft (15)	10 ft (10) (5)	10 ft	25 ft 10 ft (9) (14) (15)
Minimum Interior Setback (13)	20 ft (7) (16)	10 ft	20 ft (7) (14)	25 ft (7) (15)	20 ft (7)	20 ft (7)	20 ft (7) (14) (15) 50 ft (8) (14)
Base Height (10)	45 ft (4)	35 ft	35 ft (14) (20)	39 ft (18)	39 ft (6) 35 ft (12)	45 ft (4)	45 ft (14)
Maximum Height with Incentives				51 ft (24)	51 ft (24)		
Maximum Height with Structured Parking				60 ft (25)	57 ft (25)		
Maximum Building Coverage: Percentage							
Commercial/Industrial Maximum Floor/Lot Ratio: Square Feet	4/1	1/1	1/1	2/1 (19)	2.5/1	4/1	3/1
<del>Maximum Impervious Surface</del> <u>Minimum Landscape Coverage:</u> Percentage	<del>85</del> <u>10</u> %	<del>75</del> <u>20</u> %	<del>85</del> <u>15</u> % (14)	<del>85</del> <u>10</u> %	<del>90</del> <u>10</u> %	<del>75</del> <u>20</u> %	<del>90</del> <u>10</u> % (14)
Maximum Building Square Footage		10,000		(21)	(21)		

**Section 29.** WMC Subsection 21.23.010(2)(e) is hereby amended to read as follows, with new text shown by underline and deletions of text shown by ~~strikethrough~~; all other provisions of this section shall remain unchanged and in full force:

- (e) ~~The total permitted impervious lot coverage shall be 80 percent~~ minimum permitted required landscaping coverage shall be 20 percent. ~~The remaining~~ Another 20 percent shall be devoted to open space. Open space may include all required landscaping, and any unbuildable environmentally sensitive areas and their associated buffers;

**Section 30.** WMC Subsection 21.26.010(2)(f) is hereby amended to read as follows, with new text shown by underline and deletions of text shown by ~~strikethrough~~; all other provisions of this section shall remain unchanged and in full force:

(f) Lodging facilities, including bed and breakfast guest houses, lodges, and inns, youth hostels, and campgrounds, except hotels/motels located in the Tourist Business Zone, provided:

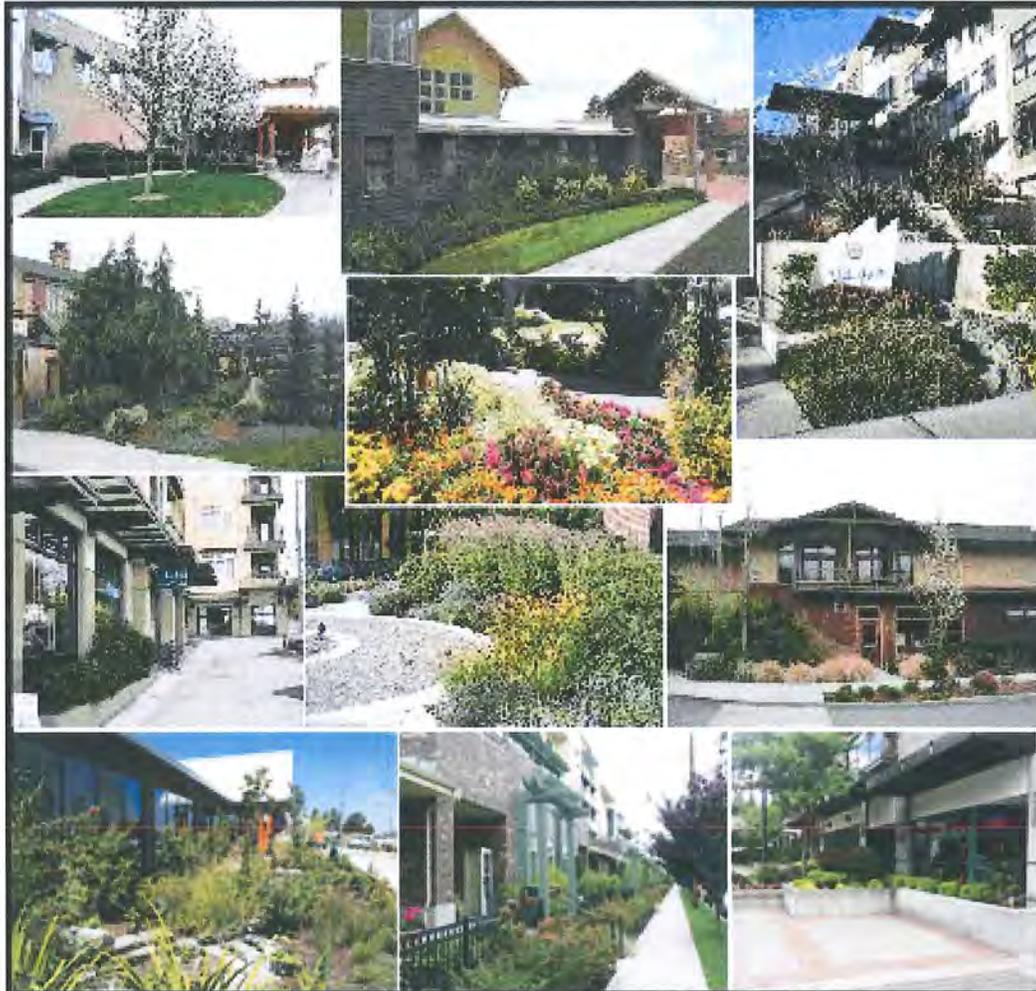
- (i) The number of rooms is limited to 24 per acre;
- (ii) ~~Impervious surface shall be limited to~~ Minimum landscaping coverage shall be 45 50 percent of the site;
- (iii) The height is limited to 35 feet, not exceeding three stories; and
- (iv) The style of the structure shall:
  - (A) Fit one of the following styles: country inn, bed and breakfast, Victorian, woodland lodge, or other style defined in the Tourist District Master Plan and approved by the Planning Commission Design Review Subcommittee;
  - (B) Be compatible with existing development; and
  - (C) Meet the criteria as listed in the Tourist District Master Plan;

**Section 31.** WMC Subsection 21.26.010(6)(h) is hereby amended to read as follows, with new text shown by underline and deletions of text shown by ~~strikethrough~~; all other provisions of this section shall remain unchanged and in full force:

- (h) The site coverage standards set forth in Chapter 21.26 WMC are modified as follows:
  - (i) ~~The total permitted impervious lot coverage~~ Minimum landscaping coverage shall be 85 percent. ~~The remaining 15 percent shall be~~ devoted to open space. Open space may include all required landscaping, and any unbuildable environmentally sensitive areas and their associated buffers;
  - (ii) Trails may be provided in the area dedicated to open space; and
  - (iii) When a subdivision or a binding site plan is proposed for a unified site, the site coverage standards apply to the total unified site and not each proposed lot;

**Section 32.** Figure 6 of WMC section 21.40.110 is hereby replaced with the image below; all other provisions of this section shall remain unchanged and in full force:





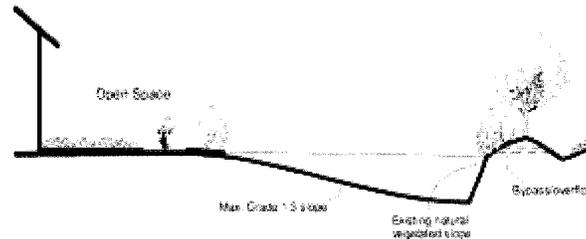
**Figure 6. A variety of “garden” type landscaping configurations and designs that would be appropriate for areas between the sidewalk and a building on a pedestrian-oriented street.**

**Section 33.** WMC section 21.40.170 is hereby amended to read as follows, with new text shown by underline and deletions of text shown by ~~strikethrough~~; all other provisions of this section shall remain unchanged and in full force:

**21.40.170 ~~Biofiltration swales~~ Site planning – integration of LID and stormwater retention.**

- (1) Intent. To integrate ~~grass swales~~ low impact development (LID), including reduction of impervious surfaces and stormwater retention methods such as bioretention facilities, if used, into site design while maintaining biofiltration efficiency.
- (2) Design Principle. Design the site to reduce impervious surfaces and site disturbance to the extent feasible.
- (23) Design Principle. When used, integrate LID techniques such as biofiltration bioretention swales, cells and ponds ~~planters and vegetated water quality treatment facilities such as biofiltration swales and ponds~~ into the overall site design. Methods of integrating retention and filtration are listed below in order of preference:
  - (a) Locate bioretention swales, cells or ponds and/or biofiltration swales, ponds, or other approved LID biofiltration ~~systems~~ as part of a landscape screen. Trees may be planted in or near a bioretention facility and near the a grass swale as long as they the trees do not substantially shade the grass vegetation within the swale facility. ~~The swale or pond facility~~ should be designed so it does not impede pedestrian circulation or shared parking between two or more properties;

- (b) Where topography is favorable, locate ~~the a bioretention facility, vegetated water quality facility, biofiltration swale, wet pond, or other approved biofiltration-LID system~~ within the paved parking or service area. The ~~swale or pond facility~~ should be landscaped as part of the required internal parking lot landscaping and oriented so it does not impede pedestrian circulation;
- (c) Locate a bioretention facility, vegetated water quality facility, or other approved LID system ~~the swale~~ along the front edge of the property. Incorporate landscaping and screening to visually enhance the ~~swale facility~~ without reducing maintainability and sun exposure; or
- (d) The incorporation of screening elements and/or landscaping into LID facilities and biofiltration swale designs is encouraged if the ~~biofiltration swale feature~~ is located and/or designed as a positive landscaping feature with approved design and plant materials. Where ~~appropriate possible, shade tolerant plants native vegetation~~ should be used. It may be counted as part of the required site landscaping.



**Figure 27. Biofiltration swale designed as an amenity.**

**Section 34.** WMC section 21.40.370(2) is hereby amended to read as follows, with new text shown by underline and deletions of text shown by ~~striketthrough~~; all other provisions of this section shall remain unchanged and in full force:

- (2) Design Principle. All blank walls within 50 feet of the street, pedestrian pathway, park, or adjacent lot, and visible from that street, pedestrian pathway, park, or adjacent lot, shall be treated in one or more of the following measures:
  - (a) Install a vertical trellis in front of the wall with climbing vines or plant materials. For large blank wall areas, the trellis must be used in conjunction with other treatments described below;
  - (b) Provide a landscaped planting bed at least eight feet wide or a raised planter bed at least two feet high and three feet wide in front of the wall. Plant materials that will obscure or screen at least 50 percent of the wall's surface within four years are to be planted in the planting bed;
  - (c) Provide a landscaped bioretention swale or bioretention planter with plant materials that will obscure or screen at least 50 percent of the wall's surface within four years of installation;
  - (~~e~~) Provide artwork (mosaic, mural, sculpture, relief, etc.) over at least 50 percent of the blank wall surface; and/or
  - (~~d~~e) Other method as approved by the Director. For example, landscaping or other treatments may not be necessary on a wall that employs high quality building materials (such as brick) and provides desirable visual interest. See Figure 95 for an example.

**Section 35.** WMC section 21.40.380 is hereby amended to read as follows, with new text shown by underline and deletions of text shown by ~~striketthrough~~; all other provisions of this section shall remain unchanged and in full force:

Frontage. As used in the code, "frontage" refers to the length of a property line along a street.

Landscaping. An area is considered to be landscaped if it is:

- (1) Planted with vegetation in the form of hardy trees, shrubs, or grass or evergreen ground cover maintained in good condition;
- (2) Bioretention and other vegetated LID facilities with sufficient aesthetic similarities to the definition of landscaping in this section;
- (2) Occupied by sculptures, fountains or pools, benches, or other outdoor furnishings;

(3) Occupied by such recreational facilities as playground equipment, swimming pools, game courts, etc.; or

(43) See also the definition for landscaping provided in WMC 21.06.348.

“Large lot development” means a proposed or existing development of two acres or more.

**Section 36.** WMC section 21.43.040 is hereby amended to read as follows, with new text shown by underline and deletions of text shown by ~~strikethrough~~; all other provisions of this section shall remain unchanged and in full force:

**21.43.040 Landscaping – General requirements.**

Landscape designs shall conform to the following provisions:

- (1) Minimum Landscape Area. At least ten percent of the total site area, excluding areas dedicated as right-of-way, shall be landscaped pursuant to this chapter. Where no landscaping type is specified in this chapter, landscaping shall be Type III or greater.
- (2) Planting Selection. Plant species shall be selected that enhances the City’s Northwest Woodland character. Plant species must be either native or non-invasive naturalized species to the coastal region of the Pacific Northwest. Species shall be selected from the City of Woodinville Plant Species List or be suitable in the USDA Plant Hardiness Zone 8. ~~(1) New landscaping materials shall include species native to the coastal region of the Pacific Northwest or non-invasive naturalized species that have adapted to the climatic conditions of the coastal region of the Pacific Northwest in the following amounts:~~
  - ~~(a) Seventy-five percent of groundcover and shrubs; and~~
  - ~~(b) Fifty percent of trees;~~
- (2) At least 60 percent of new landscaping materials shall consist of drought-tolerant species, except where site conditions within the required landscape areas assure adequate moisture for growth. Drought-tolerant and nondrought-tolerant species shall be distributed and irrigated in a manner that uses water efficiently;
- (3) Retention of Existing Vegetation. Healthy native vegetation shall be preserved to the greatest extent feasible. New vegetation should be replanted in between existing vegetation consistent with the required landscape type in random patterns where possible. ~~Existing vegetation may be used to augment new plantings to meet the standards of this chapter;~~
- (4) Broadleaf trees shall have a caliper of at least 1.75 inches at the time of planting. The caliper may be averaged, but no individual tree shall have a caliper of less than 1.5 inches;
- (5) Evergreen trees shall be at least six feet in height measured from treetop to the ground at the time of planting;
- (4) Continuity. Landscaping shall be designed to provide continuity between adjoining properties.
- (5) Pedestrian Areas. Building entries, pedestrian plazas and walkways shall be emphasized with special landscaping and/or paving in combination with landscaping.
- (6) Staggered Rows. When the width of any landscape strip is 2025 feet or greater, the required trees shall be staggered in two or more rows;
- (7) Maximum Hardscape. No more than 15 percent of the width of any required landscaping areas shall be covered with walkways, driveways, or other impervious surfaces necessary for access. No other impervious surfaces or hardscapes are permitted in required landscaping areas.
- (7) Shrubs shall be:
  - ~~(a) Number two size, and minimum 18 inches in height, at time of planting in Type II, III and IV landscaping;~~
  - ~~(b) At least 24 inches in height at the time of planting for Type I landscaping; and~~
  - ~~(c) Maintained at a height not exceeding four feet when located in Type III or IV landscaping;~~
- (8) Groundcovers shall be planted and spaced to result in total coverage of the required landscape area within three years as follows:
  - ~~(a) Four inch pots at 18 inches on center; or~~
  - ~~(b) One gallon or greater sized containers at 24 inches on center;~~

- (8) Areas of a site designated for landscape area shall be protected from disturbance during grading and construction to the extent feasible;
- (9) Turf may be used as groundcover in landscape areas; provided, that the turf area:
  - (a) Constitutes no more than 30 percent of Type I and II landscape areas; and
  - (b) Is at least five feet wide at the smallest dimension;
- ~~(10) Grass and groundcover areas shall contain at least two inches of composted organic material at finish grade;~~
- (10) Bioretention facilities are allowed and encouraged to be located within landscaping areas. Landscaping shall be designed to be consistent with landscaping types and widths identified in this chapter. Where bioretention is used, shrub height shall be limited to 4 feet above the grade surrounding the facility and the spacing of trees and shrubs adjacent to the facility may be relaxed to help ensure adequate sunlight to the facility and to avoid leaf drop;
- (11) All fences shall be placed on the inward side of any required perimeter landscaping;
- (12) Berms shall not exceed a slope of three horizontal feet to one vertical foot for lawns and shall not exceed a slope of two horizontal feet to one vertical foot for other plant materials;
- ~~(13) Existing soils shall be augmented with a two-inch layer of fully composted organic material rototilled a minimum of six inches deep.~~ Soils in landscape areas shall be amended with compost in accordance with Chapter 13.05 WMC;
- (14) Landscape areas shall be covered with at least two inches of mulch to minimize evaporation. Mulch shall consist of materials such as yard waste, sawdust and/or manure that is fully composted;
- ~~(15) Drought tolerant and nondrought tolerant species shall be distributed and irrigated in a manner that uses water efficiently;~~
- ~~(15)~~(16) Required street landscaping may be placed within City of Woodinville street rights-of-way subject to the City's street design standards with the permission of the Public Works Director, provided adequate space is maintained along the street line on-site to replace the required landscaping should subsequent street improvements require the removal of landscaping within the rights-of-way; and
- ~~(17) Species and plantings shall be consistent with the Tree Board approved required tree species list and required plant species list; and~~
- ~~(16)~~(18) A qualified tree professional, as defined in WMC 21.11.190, shall be on-site during any site work affecting preserved trees

**Section 37.** WMC section 21.43.060(4) is hereby deleted as follows; all other provisions of this section shall remain unchanged and in full force:

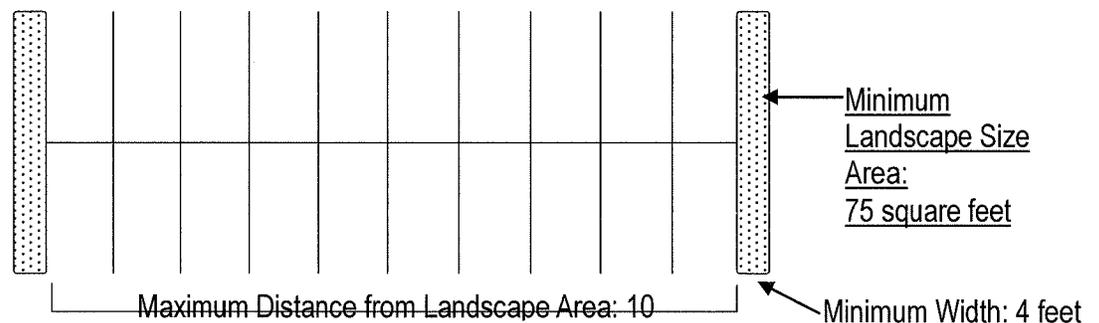
- ~~(4) Type IV Landscaping:
 
  - (a) Type IV landscaping is "parking area landscaping" that provides shade and visual relief while maintaining clear sight lines within parking areas;
  - (b) Type IV landscaping shall consist of:
    - (i) Canopy type broadleaf or evergreen trees, evergreen shrubs and groundcovers planted in islands or strips;
    - (ii) Shrubs that do not exceed a height of four feet;
    - (iii) Plantings contained in planting islands or strips having an area of at least 75 square feet and with a narrow dimension of no less than four feet;
    - (iv) Groundcover pursuant to WMC 21.16.090; and
    - (v) At least 90 percent of the trees shall be broadleaf.~~

**Section 38.** WMC section 21.43.070 is hereby amended to read as follows, with new text shown by underline and deletions of text shown by ~~strikethrough~~; all other provisions of this section shall remain unchanged and in full force:

**21.43.070 Landscaping Surface parking areas.**

- (1) General. Surface parking lots shall be landscaped to break up large areas of asphalt and to provide visual relief from the street.
- (2) Required Plantings. Landscaping shall be provided within surface parking lots at a rate of 20 square feet per parking stall. Landscaping shall be designed and maintained to provide clear sight distance between 3.5 feet and 8.0 feet above the existing street grade pursuant to WMC 21.22.190. Surface parking lot landscaping shall be planted as follows:
  - (a) Deciduous trees shall be planted at a rate of one tree per every seven stalls;
  - (b) Shrubs planted no more than four feet apart; and
  - (c) Groundcovers planted no more than 24 inches apart.
- (3) Landscape Spacing. Landscape islands shall be placed no further than 10 parking stalls and at the end of each parking row. Landscaping strips may be placed in between rows of parking stalls.
- (4) Size. Landscape islands or strips shall be a minimum of four feet wide and shall have an area of at least 75 square feet.

**WMC 21.43.070 Parking Lot Landscaping**



Type IV landscaping shall be provided within surface parking areas with 10 or more parking stalls as follows:

- (1) Residential developments with common parking areas shall provide planting areas at the rate of 20 square feet per parking stall;
- (2) Commercial, industrial, or institutional developments shall provide landscaping at a rate of:
  - (a) Twenty square feet per parking stall when 10 to 30 parking stalls are provided; and
  - (b) Twenty five square feet per parking stall when 31 or more parking stalls are provided;
- (3) Trees shall be provided and distributed throughout the parking area at a rate of:
  - (a) One tree for every five parking stalls for a commercial or industrial development; and
  - (b) One tree for every 10 parking stalls for residential or institutional development;
- (4) The maximum distance between any parking stall and required parking area landscaping shall be no more than 65 feet; and
- (5) Bioretention Facilities. Parking area landscaping may be used for stormwater management as approved by the Public Works Director. The requirements for plant sizes and spacing in WMC 21.16.070(2) may be relaxed for bioretention facilities upon recommendations provided by an arborist, landscape architect, or other qualified professional.
- (6) Vertical Curbs. Landscape islands or planters shall be surrounded by a standard vertical permanent curbs or a similar barrier or structural barriers shall be provided to protect the plantings from vehicle overhang. Gaps in the curb are permitted for stormwater drainage.;
- (6) For developments in the Tourist District Overlay, see WMC 21.26.010.
- (7) Parking Perimeter Landscaping. If no perimeter landscape standard is listed in WMC 21.43.050 and if permitted, parking lots adjacent to sidewalks or streets shall be screened with a minimum of 10 feet of Type III landscaping or five feet of Type III landscaping with a 3-foot-tall decorative wall, unless otherwise required by this title.

**Section 39.** WMC section 21.43.090(3) is hereby amended to read as follows, with new text shown by underline and deletions of text shown by ~~striketrough~~; all other provisions of this section shall remain unchanged and in full force:

- (3) Utility purveyors within the City of Woodinville are required to maintain and plant landscaping within their right-of-way as follows:
  - (a) Limited disturbance of vegetation to that necessary for safety and maintenance of transmission lines;
  - (b) Prune trees to direct growth away from utility lines using accepted pruning practices identified in the public tree care standards manual;
  - (c) Phase replacement of vegetation located improperly in the right-of-way;
  - (d) Use approved soil amending techniques to assure water retention and general tree health;
  - (~~e~~) Prune trees in an aesthetic manner according to the professional arboricultural specifications and standards;
  - (~~f~~) Select tree species recommended by the City's Tree Board or as approved by the City Tree Official that are compatible with utility lines, and plant using adequate recommended spacing;
  - (~~g~~) Provide the City with a copy of the utility's policies and guidelines regarding tree pruning; and
  - (~~h~~) Present the City with a tree-pruning plan at least one week prior to tree-pruning activities.

**Section 40.** WMC section 21.43.120 are is hereby amended to read as follows, with new text shown by underline and deletions of text shown by ~~striketrough~~; all other provisions of this section shall remain unchanged and in full force:

- (1) Plant Size and Spacing. The required minimum size for any installed tree is two-inch caliper or greater and for any installed shrub is number two size. Trees shall be spaced appropriately based on the Woodinville Plant Species List.
- (2) Installation. All required plantings shall be installed according to sound horticultural practices in a manner designed to encourage quick establishment and healthy plant growth.
  - (a) Placement. All supplemental trees shall be located at least seven feet from the property lines, and shall be installed in the ground and not in aboveground containers.
  - (b) Grading. Berms shall not exceed a slope of two horizontal feet to one vertical foot (2:1).
  - (c) Soil Specification. Soils in planting areas shall have adequate porosity to allow root growth and adequate drainage. Compacted soils shall be loosened to a minimum depth of 24 inches or to the depth of the largest plant root ball, whichever is greater. The amendment must be such that the replaced topsoil is a minimum of 8 inches thick, unless the applicant demonstrates that a different thickness will provide conditions equivalent to the soil moisture holding capacity native to the site. The replaced topsoil must have an organic content of 5-10% dry weight and a pH suitable for the proposed surface vegetation (for most soils in King County, 4 inches of well-rotted compost tilled into the top 8 inches of soil is sufficient to achieve the organic content standard). The amendment must take place between May 1 and October 1.
  - (d) Soil Fertility. The organic content of soils in any planting area shall be as necessary to provide adequate nutrient and moisture-retention levels for the establishment of plantings. Additional fertilization shall be the minimum necessary.
  - (e) Mulch. Landscape areas shall be covered with at least two inches of mulch to minimize evaporation. Mulch shall consist of materials such as yard waste, sawdust, bark or wood chips, and/or organic compost. All mulches shall be kept at least six inches away from the trunks of shrubs and trees.
  - (f) Protection. All required trees must be protected from potential damage by adjacent uses and development, including parking and storage areas. Protective devices such as bollards, wheel stops, trunk guards, and root guards, shall be required as needed to protect required trees.
- (3) Supervision. A qualified tree professional, as defined in WMC 21.11.190, shall be on-site during any site work affecting preserved trees.

- (4) Timing. Landscaping shall be installed prior to issuance of a certificate of occupancy for the project or project phase. The time limit for compliance may be extended to allow installation of landscaping during the next planting season or deferred due to diseased soil or pest infestation. A determination shall be made at the discretion of the City Tree Official. Deferred installation shall be secured with a performance bond pursuant to Chapter 15.42 WMC and WMC 21.43.140.
- (2) ~~The time limit for compliance may be extended to allow installation of landscaping during the next appropriate planting season, subject to submittal of a performance bond or appropriate security as approved by the Development Services Director.~~

**Section 41.** WMC section 21.43.130 is hereby amended to read as follows, with new text shown by underline and deletions of text shown by ~~strikethrough~~; all other provisions of this section shall remain unchanged and in full force:

**21.43.130 Maintenance.**

- (1) All landscaping and trees shall be maintained for the life of the project.
- (2) All landscape materials and trees shall be pruned as necessary to maintain a healthy growing condition or to prevent primary limb failure.
- (3) With the exception of dead, diseased or damaged trees specifically retained to provide wildlife habitat, other dead, diseased, damaged or stolen plantings shall be replaced within three months or during the next planting season if the loss does not occur in a planting season.
- (4) Landscape areas shall be kept free of trash.
- (5) Proper tree and plant protection shall be considered as a part of the overall landscaping maintenance methods used.
- (6) Maintenance of all landscaping installed as part of a development project within the right-of-way shall be the responsibility of the abutting property owner for the life of the project unless alternative conditions are approved by the City.
- (7) Maintenance of the vegetation and mulch within an LID facility installed as part of a development project within the right-of-way shall be the responsibility of the abutting property owner unless alternative conditions are approved by the City.

**Section 42.** WMC section 21.44.030(4) is hereby adopted to read as follows; all other provisions of this section shall remain unchanged and in full force:

- (4) Maximum allowable parking spaces shall be 110 percent of the minimum number of parking spaces required. An applicant may request a modification of the maximum number of parking spaces by providing a study that substantiates the parking demand. Said study shall be prepared by a qualified professional approved by the Development Services Director.

**Section 43.** WMC section 21.44.120 is hereby amended to read as follows, with new text shown by underline and deletions of text shown by ~~strikethrough~~; all other provisions of this section shall remain unchanged and in full force:

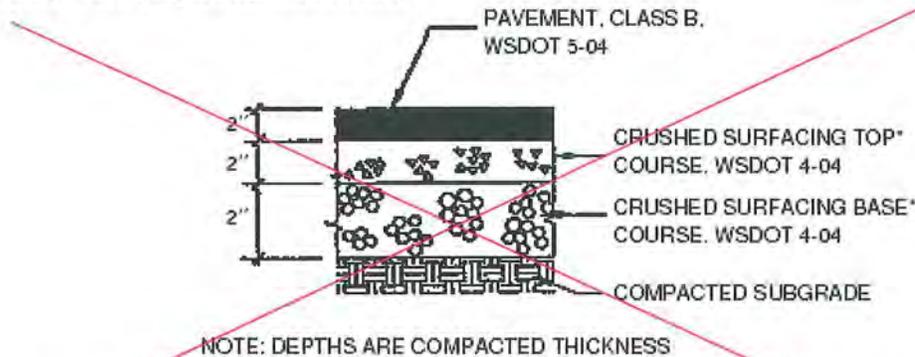
**21.44.120 Off-street parking construction standards.**

- (1) Off-street parking areas shall have dust-free, all-weather surfacing. Parking areas shall be designed and constructed in accordance with the City of Woodinville Transportation Infrastructure Standards and Specifications. Typical approved sections are illustrated below. Frequently used (at least five days a week) off-street parking areas shall conform to the standards shown in (A) below or an approved equivalent. If the parking area is to be used more than 30 days per year but less than five days a week, then the standards to be used shall conform to the standards shown in (B) below or an approved equivalent. An exception to these surfacing requirements may be made for certain uses that require intermittent use of their parking facilities less than 30 days per year. Pervious surfacing material shall be considered an all-weather surface when installed per City Engineer's requirements. Any surface

treatment other than those graphically illustrated below must be approved by the Development Services Director.

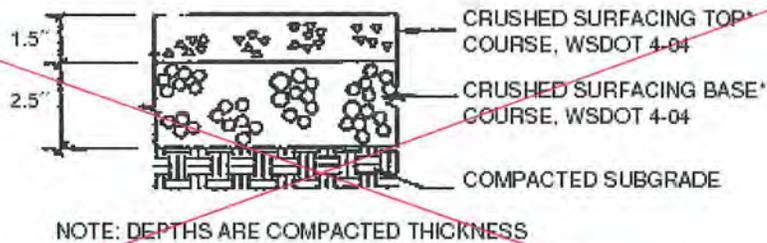
### MINIMUM SURFACING REQUIREMENTS

#### (A) Frequently Used (Light Asphalt Section)



~~\*ATB MAY BE USED IN LIEU OF CRUSHED SURFACING WITH PRIOR ENGINEER APPROVAL.  
CRUSHED REPLACEMENT DEPTH WITH ATB SHALL BE 1:1. ATB SHALL BE PER WSDOT 4-06.~~

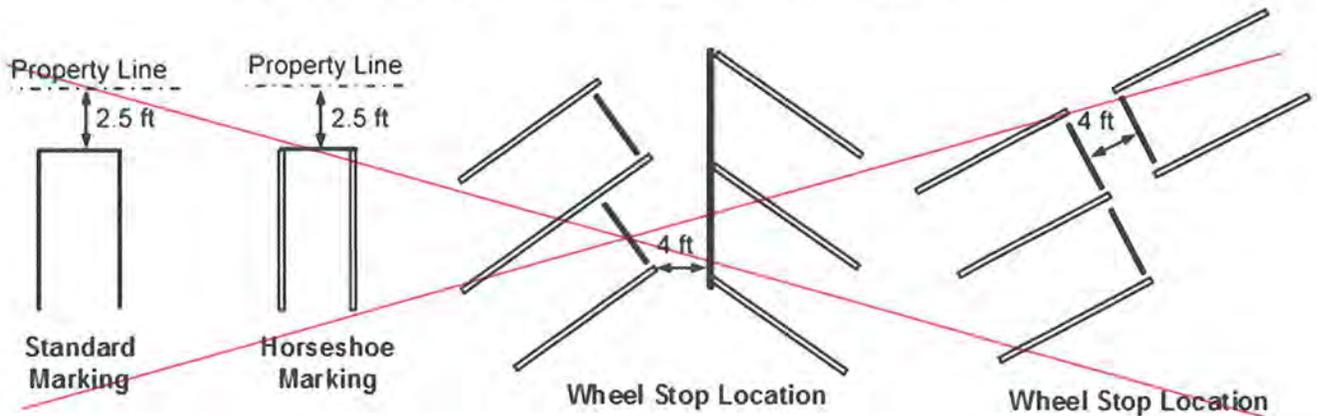
#### (B) Infrequently Used



~~\*ATB MAY BE USED IN LIEU OF CRUSHED SURFACING WITH PRIOR ENGINEER APPROVAL.  
CRUSHED REPLACEMENT DEPTH WITH ATB SHALL BE 1:1. ATB SHALL BE PER WSDOT 4-06.~~

- (2) Grading work for parking areas shall meet the requirements of ~~the International Building Code Chapter 15.05 WMC~~. Drainage and erosion/sedimentation control facilities shall be provided in accordance with ~~Chapter 14.09-13.05 WMC~~.
- (3) ~~Asphalt or concrete surfaced parking areas shall have permanent markings by surface paint lines or suitable substitute traffic marking material in accordance with the Washington State Department of Transportation Standards. Wheel stops are required where a parked vehicle would encroach on adjacent property, pedestrian access or circulation areas, right of way or landscaped areas. Typically approved markings and wheel stop locations are illustrated below.~~

**Figure 21.44.120(3) — Stall Markings and Wheel Stop Locations**



**Section 44.** WMC section 21.51.080 is hereby amended to read as follows, with new text shown by underline and deletions of text shown by ~~strikethrough~~; all other provisions of this section shall remain unchanged and in full force:

**21.51.080 Subdivisions and density calculations within critical areas.**

- (1) Intent. The intent of this section is to provide for the preservation of critical areas and their buffers, flexibility in design, and consistent treatment of different types of development proposals.
- (2) Subdivisions in Critical Areas. The subdivision and short subdivision of land including landslide and erosion hazard areas, frequently flooded areas, wetlands, streams, and fish or wildlife habitat conservation areas shall be subject to the following:
  - (a) Land that is located wholly within a critical area or its buffer may not be divided.
  - (b) Land that is located partially within a critical area or its buffer may be divided; provided, that the developable portion of each new lot and its access is located outside of the critical area or its buffer. Each resulting lot shall meet the minimum lot size and have sufficient buildable area outside of, and will not affect, the critical area or its buffer; and
  - (c) Access roads and utilities serving the proposed subdivision or short subdivision may only be permitted within the critical area and its buffers if the City determines that no other feasible alternative exists and when consistent with this chapter.
- (3) On-Site Density Credits. For single-family residential subdivisions and short subdivisions on sites with critical areas or buffers, on-site density credits may be transferred from the critical area to a developable site area. In some cases, the maximum density credits may not be attainable due to other site constraints including, but not limited to, acreage constraints of the developable site area.
  - (a) For sites where up to 50 percent of the site is constrained by critical areas, up to 100 percent of the density that could be achieved on the constrained area portion of the site can be transferred to the developable portion of the property.
  - (b) For sites that are over 50 percent constrained by critical areas, up to 50 percent of the density that could be achieved on the constrained area portion of the site can be transferred to the developable portion of the property.
- (4) Density Transfer. On-site density transfer is subject to the following:
  - (a) The density credit can only be transferred within the development proposal site. The on-site density transfer provided for in this section shall not be applied to allow density from a constrained site to be transferred to an unconstrained parcel, lot, or site when combined with a constrained site by subdivision, binding site plan, boundary line adjustment, or other means of land assemblage or arrangement for development.
  - (b) No additional density is allowed over the base density of the underlying zone.
  - (c) The minimum lot size and other dimensional requirements of the underlying zoning classification may be reduced to accommodate the transfers in densities per the following table:

**Table 21.51.080(4)(c) – Reduced Dimensional Standards**

<b>Zone</b>	<b>Minimum Lot Size</b>	<b>Maximum Building Coverage</b>	<b>Maximum Impervious Surface <u>Minimum Landscape Coverage</u></b>	<b>Lot Width at Street</b>
R-1	31,000 sf	15%	<del>20</del> <u>75</u> %	100 ft/ 75 ft on cul-de-sac
R-4	7,200 sf	35%	<del>45</del> <u>50</u> %	60 ft
R-6	5,000 sf	50%	<del>70</del> <u>25</u> %	50 ft
R-8	4,600 sf	55%	<del>75</del> <u>20</u> %	30 ft

- (d) All other applicable dimensional requirements pursuant to WMC 21.22.030 shall be met.
- (e) The area to which the density is transferred shall not be constrained by another critical area regulation.
- (f) No portion of the critical area shall be included as part of the minimum lot size.
- (g) The lot sizes shall not be averaged pursuant to WMC 21.22.170.
- (h) No panhandle lots are permitted.
- (5) Except as allowed by WMC 21.34.090, in no event shall a lot be less in size than specified by subsection (4) of this section.

**Section 45.** WMC section 21.60.110 is hereby amended to read as follows, with new text shown by underline and deletions of text shown by ~~strikethrough~~; all other provisions of this section shall remain unchanged and in full force:

**21.60.110 Storm drainage.**

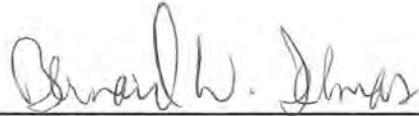
- (1) All lots shall be provided with adequate storm drainage connected to the storm drainage system of the City or other system approved by the City.
- (2) Where a public street is to be dedicated or improved by the applicant as a condition of preliminary approval, the applicant shall provide and dedicate any required storm drainage system in the street.
- (3) When ~~appropriate~~ required in accordance with Chapter 13.05 WMC, storm drainage facilities shall include suitable on-site detention and/or retention facilities.
- (4) Storm drainage shall be provided in accordance with Chapter ~~14.09~~ 13.05 WMC and standards and specifications approved by the City.
- (5) Easements shall be dedicated as provided in WMC 20.60.070.
- (6) Maintenance of storm drainage facilities shall be assured through the creation of a homeowners association or the recording of a shared maintenance agreement, and covenants shall be provided for maintenance in accordance with Chapter 13.05 WMC.

**Section 46. Severability.** Should any section, paragraph, sentence, clause, or phrase of this Ordinance be held invalid or unconstitutional by a court of competent jurisdiction, such invalidity or unconstitutionality shall not affect the validity or constitutionality of any other section, sentence, or phrase of this Ordinance.

**Section 47. Copy to Department of Commerce.** Pursuant to RCW 36.70A.106(3), the City Clerk is directed to send a copy of this ordinance to the State Department of Commerce for its files within ten days after adoption of this ordinance.

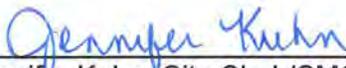
**Section 48. Effective date.** This Ordinance shall become effective December 1, 2016. The City Clerk is directed to publish a summary of this ordinance at the earliest possible publication date by publication of the ordinance title.

**ADOPTED BY THE CITY COUNCIL AND SIGNED IN AUTHENTICATION OF ITS  
PASSAGE THIS 1<sup>st</sup> DAY OF NOVEMBER, 2016.**



\_\_\_\_\_  
Bernard W. Talmas, Mayor

ATTEST/AUTHENTICATED:



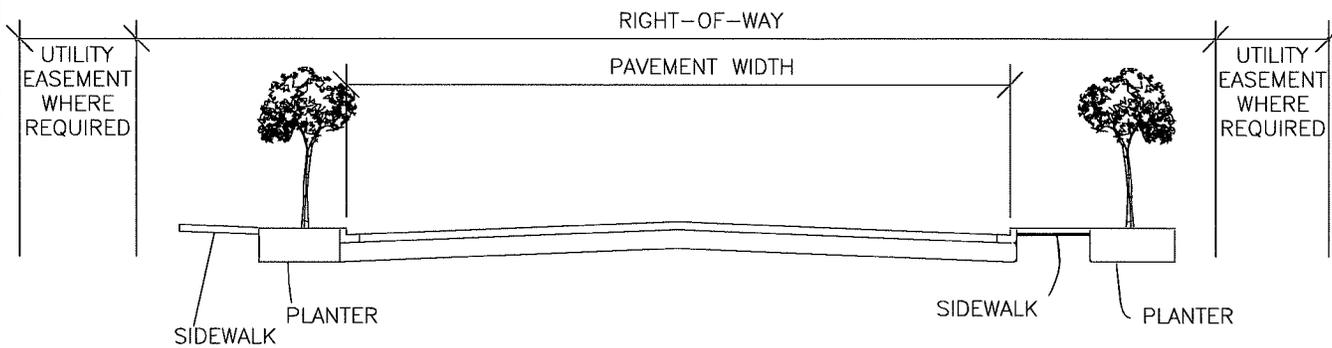
\_\_\_\_\_  
Jennifer Kuhn, City Clerk/CMC

APPROVED AS TO FORM:  
OFFICE OF THE CITY ATTORNEY



\_\_\_\_\_  
Jeffrey Ganson, City Attorney

PASSED BY THE CITY COUNCIL: 11-1-2016  
PUBLISHED: 11-7-2016  
EFFECTIVE DATE: 12-01-2016  
ORDINANCE NO. 634



TYPE OF STREET	RIGHT-OF-WAY WIDTH	PAVEMENT WIDTH	PARKING	BIKE LANES	STD. PLAN NUMBER	NOTES	PERMEABLE PAVEMENT ALLOWED
<u>PRIVATE STREET</u>							
1 & 2 LOTS	VARIES 10 TO 20	VARIES 10 TO 20	N/A	N/A	101	5, 6	YES
3 & 4 LOTS	20	20	NO	NO	101	5, 6	YES
COMMERCIAL	48	28	NO	NO	102A	5, 6	YES
<u>RESIDENTIAL STREET</u>							
LOW DENSITY	60	30	YES	NO	103A	1	NO
HIGH DENSITY	60	36	YES	NO	104A	2, 7	NO
<u>COLLECTOR</u>							
RESIDENTIAL	60	36	NO	YES	105A		NO
COMMERCIAL	60	36	YES	NO	106A		NO
<u>MINOR ARTERIAL</u>							
3 LANE	64	36	NO	NO	107A1		NO
3 LANE	74	46	NO	YES	107A2		NO
TOURIST DISTRICT STREET A	90	42	NO	NO	110A1		NO
TOURIST DISTRICT STREET B	90	58	NO	NO	110A2		NO
CENTRAL BUSINESS DISTRICT A	70	46	NO	YES	111A		NO
CENTRAL BUSINESS DISTRICT B	70	36	NO	NO	112A		NO
<u>PRINCIPAL ARTERIAL</u>							
3 LANE	64	36	NO	NO	108A1		NO
3 LANE	74	46	NO	YES	108A2		NO
5 LANE	100	60	NO	NO	109A1		NO
5 LANE	100	70	NO	YES	109A2		NO
TOURIST DISTRICT STREET A	90	42	NO	NO	110A1		NO
TOURIST DISTRICT STREET B	90	58	NO	NO	110A2		NO
CENTRAL BUSINESS DISTRICT A	70	46	NO	YES	111A		NO
CENTRAL BUSINESS DISTRICT B	70	36	NO	NO	112A		NO

NOTES:

- "LOW DENSITY RESIDENTIAL" STREETS ARE INTENDED TO SERVE AREAS WITH ZONING PRINCIPALLY CONSISTING OF LESS THAN R-4 CLASSIFICATION.
- "HIGH DENSITY RESIDENTIAL" STREETS ARE INTENDED TO SERVE AREAS WITH ZONING EQUAL TO OR GREATER THAN R-4 CLASSIFICATION.
- STREET CLASSIFICATIONS ARE DESIGNATED BY ORDINANCE IN THE CITY TRANSPORTATION PLAN OR THE CITY COMPREHENSIVE PLAN.
- PAVEMENT SECTION MUST BE DESIGNED USING AASHTO OR ASPHALT INSTITUTE DESIGN PROCEDURES.
- SEE SECTION 4.6 FOR DRIVEWAY CRITERIA. ACCESS EASEMENTS SHALL BE USED FOR ALL DRIVEWAYS SERVING 2 LOTS.
- PERMEABLE PAVEMENT IS ALLOWED FOR PRIVATE STREETS AND DRIVEWAYS, IN CONFORMANCE WITH STANDARD DETAIL 326.
- HIGH DENSITY RESIDENTIAL STREET PAVEMENT WIDTH MAY BE REDUCED TO 28 FEET WIDE, BY APPROVAL BY THE PUBLIC WORKS DIRECTOR.

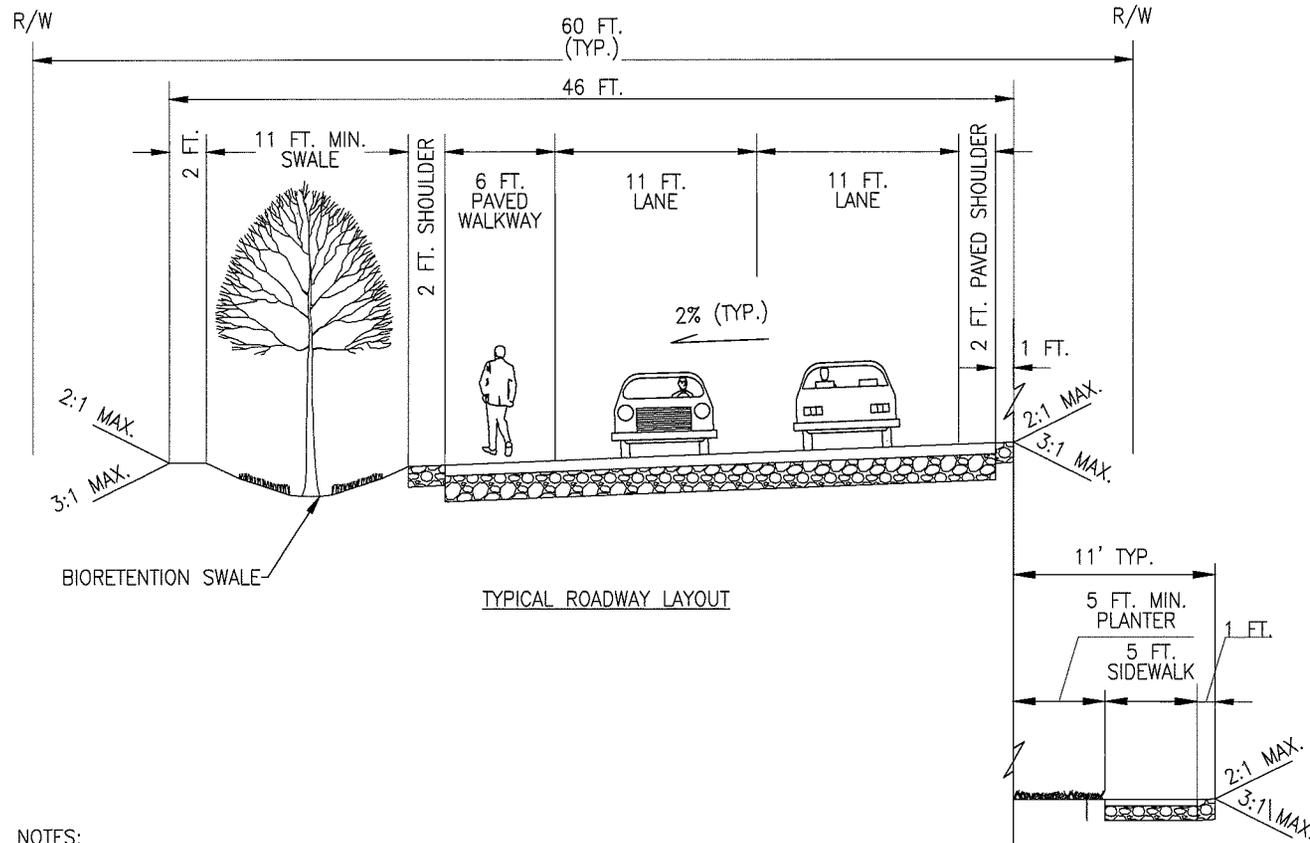
N.T.S.

City of Woodinville  
DEPARTMENT OF PUBLIC WORKS

TYPICAL ROADWAY  
SECTION

100  
revision date  
SEPT, 2016

# LOW DENSITY RESIDENTIAL STREETS



**NOTES:**

1. IN ADDITION TO THE 6 FT. WALKWAY, A 5 FT. SIDEWALK IS REQUIRED ALONG THE OPPOSITE SIDE OF THE STREET, SEPARATED FROM THE ROADWAY WITH A 5 FT. PLANTER STRIP OR BIORETENTION SWALE AT THE FOLLOWING LOCATIONS:
  - NE 195TH STREET, FROM 156TH AVENUE NE TO 164TH AVENUE NE
  - NE 195TH STREET, FROM 166TH AVENUE NE TO 168TH AVENUE NE
  - 168TH AVENUE NE, FROM NE WOODINVILLE DUVALL ROAD TO NE 195TH STREET.

**SIDEWALK ADDITION  
(SEE NOTE 1)**

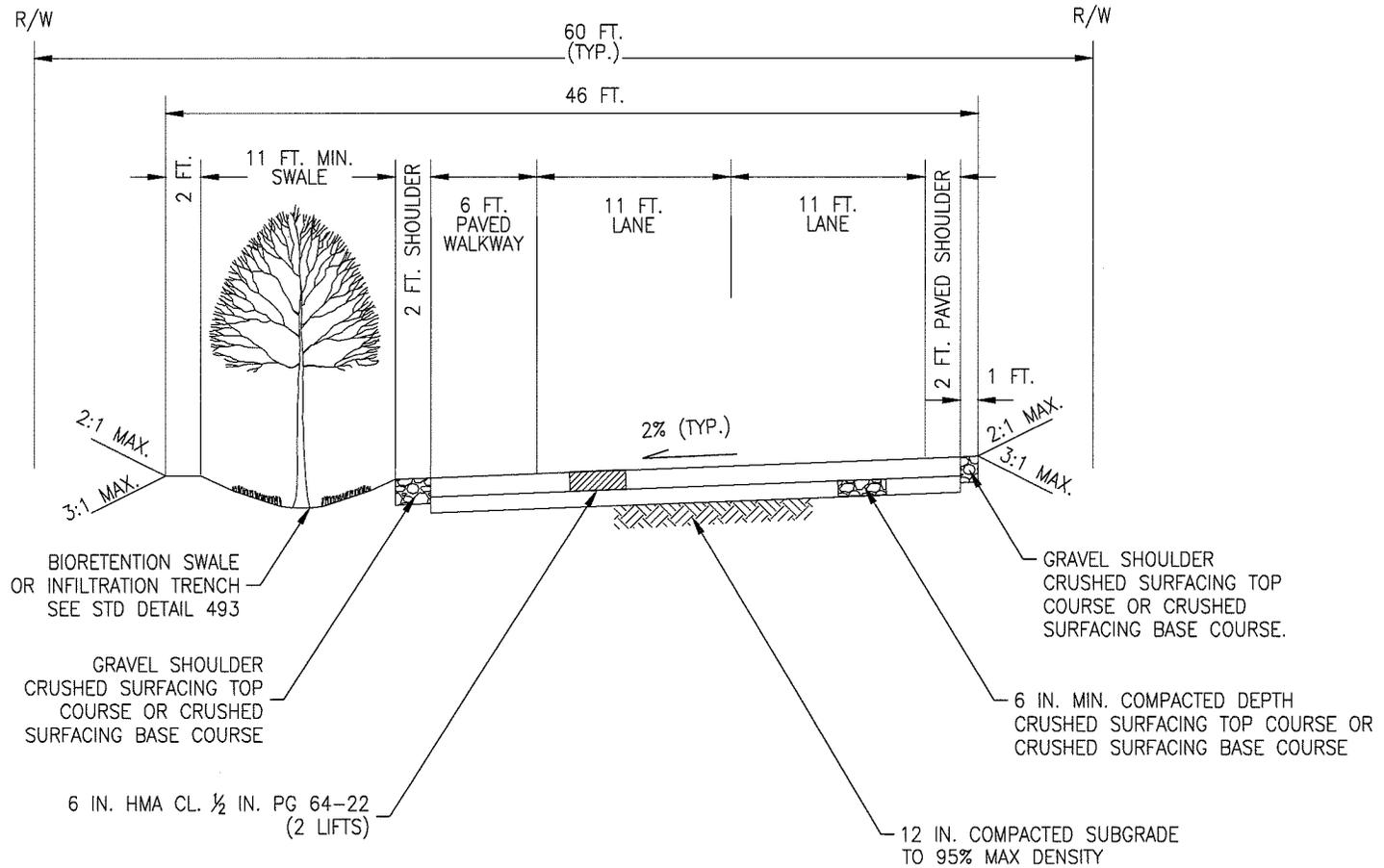
Ordinance No. 634  
N.T.

City of Woodinville  
DEPARTMENT OF PUBLIC WORKS

TYPICAL ILLUSTRATION  
LOW DENSITY  
RESIDENTIAL STREETS

103A  
revision date  
SEPT. 2016

# LOW DENSITY RESIDENTIAL STREETS



**NOTES:**

1. SITE SPECIFIC PAVEMENT DESIGNS ARE REQUIRED. PAVEMENT SECTION SHOWN IS MINIMUM REQUIRED.
2. SLOPE EASEMENTS MAY BE REQUIRED.

N.T. Ordinance No. 634

City of Woodinville

DEPARTMENT OF PUBLIC WORKS

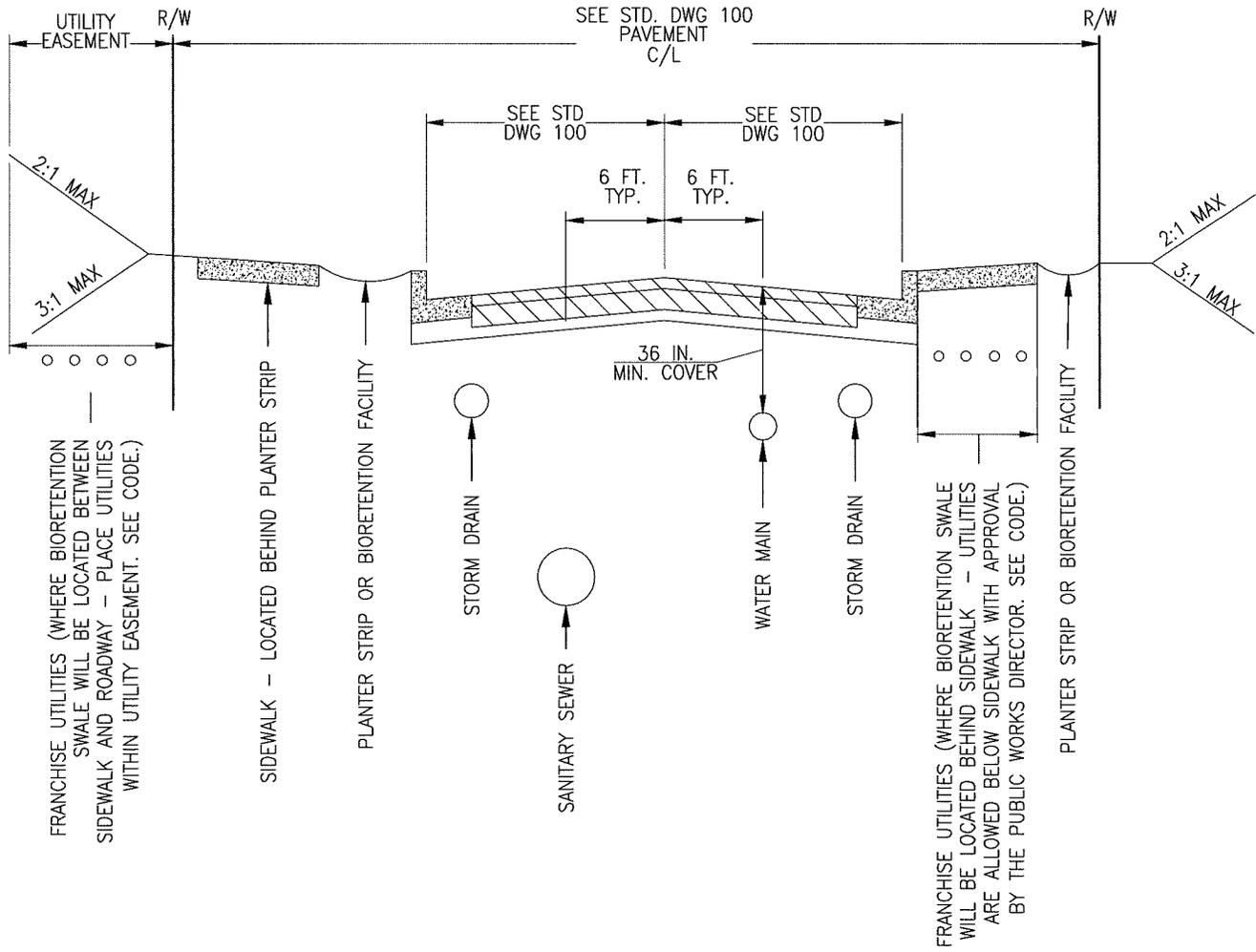
TYPICAL ROADWAY SECTION  
LOW DENSITY  
RESIDENTIAL STREETS

103B

revision date  
SEPT. 2016

PREFERRED  
ALTERNATIVE

SECONDARY  
ALTERNATIVE



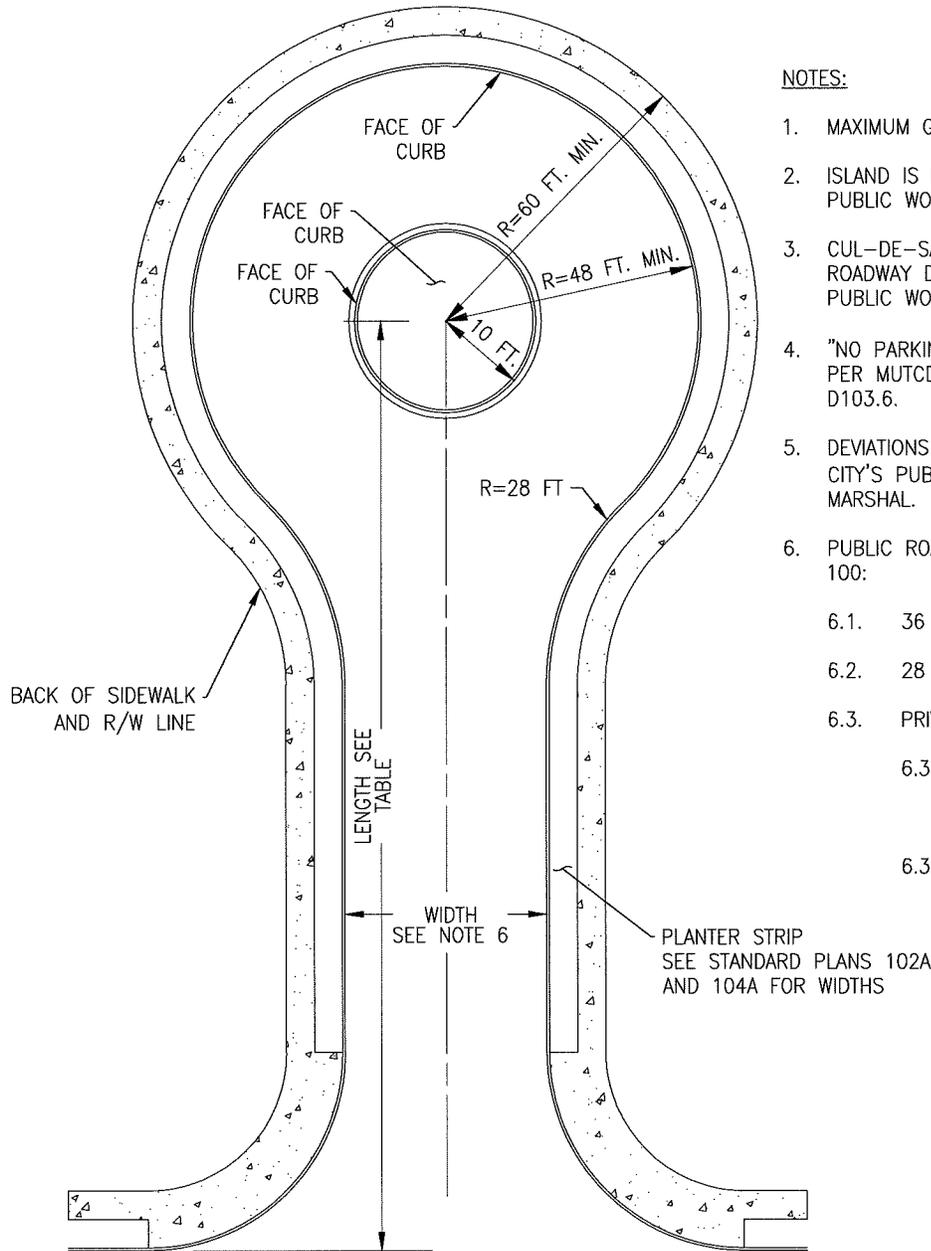
FRANCHISE UTILITIES (WHERE BIORETENTION SWALE WILL BE LOCATED BETWEEN SIDEWALK AND ROADWAY - PLACE UTILITIES WITHIN UTILITY EASEMENT. SEE CODE.)

FRANCHISE UTILITIES (WHERE BIORETENTION SWALE WILL BE LOCATED BEHIND SIDEWALK - UTILITIES ARE ALLOWED BELOW SIDEWALK WITH APPROVAL BY THE PUBLIC WORKS DIRECTOR. SEE CODE.)

NOTES:

1. A 5 FT. MIN. VERTICAL AND HORIZONTAL SEPARATION, OUTSIDE WALL TO OUTSIDE WALL IS REQUIRED BETWEEN ALL PUBLIC UTILITIES, AND BETWEEN A PUBLIC AND PRIVATE UTILITY.
2. MINIMUM SEPARATION REQUIREMENTS FROM PUBLIC UTILITIES APPLY WITHIN EASEMENTS AND PRIVATE PROPERTY.
3. FRANCHISE UTILITIES ARE ALLOWED UNDER CITY SIDEWALKS, BY APPROVAL FROM THE PUBLIC WORKS DIRECTOR. UTILITIES ARE NOT ALLOWED WITHIN PLANTER STRIPS OR BIORETENTION FACILITIES. UTILITY LATERALS THROUGH BIORETENTION FACILITIES CONNECTING TO PRIVATE PROPERTIES MAY BE APPROVED BY THE PUBLIC WORKS DIRECTOR IF SLEEVED.

N.T.S.



NOTES:

1. MAXIMUM GRADE ALLOWED IS 10%.
2. ISLAND IS REQUIRED UNLESS APPROVED BY PUBLIC WORKS DIRECTOR.
3. CUL-DE-SAC IS ACCEPTABLE ALTERNATIVE FOR ROADWAY DEAD END, PER APPROVAL BY PUBLIC WORKS DIRECTOR.
4. "NO PARKING" SIGNS SHALL BE INSTALLED PER MUTCD AND IFC, APPENDIX D, SECTION D103.6.
5. DEVIATIONS MUST BE APPROVED BY THE CITY'S PUBLIC WORKS DIRECTOR AND FIRE MARSHAL.
6. PUBLIC ROADWAY WIDTH PER STANDARD DETAIL 100:
  - 6.1. 36 FEET STANDARD.
  - 6.2. 28 FEET MINIMUM ALLOWED.
  - 6.3. PRIVATE STREETS:
    - 6.3.1. DEAD-END LENGTH IS 500 FEET LONG OR LESS - 20 FEET WIDE MINIMUM.
    - 6.3.2. DEAD-END LENGTH IS GREATER THAN 500 FEET LONG - 26 FEET WIDE MINIMUM.

LENGTH (FEET)	TURNAROUND REQUIRED
0-150	NONE REQUIRED
151-750	96-FOOT DIAMETER CUL-DE-SAC
OVER 750	APPROVAL REQUIRED BY PUBLIC WORKS DIRECTOR AND FIRE MARSHAL

N.T.S.

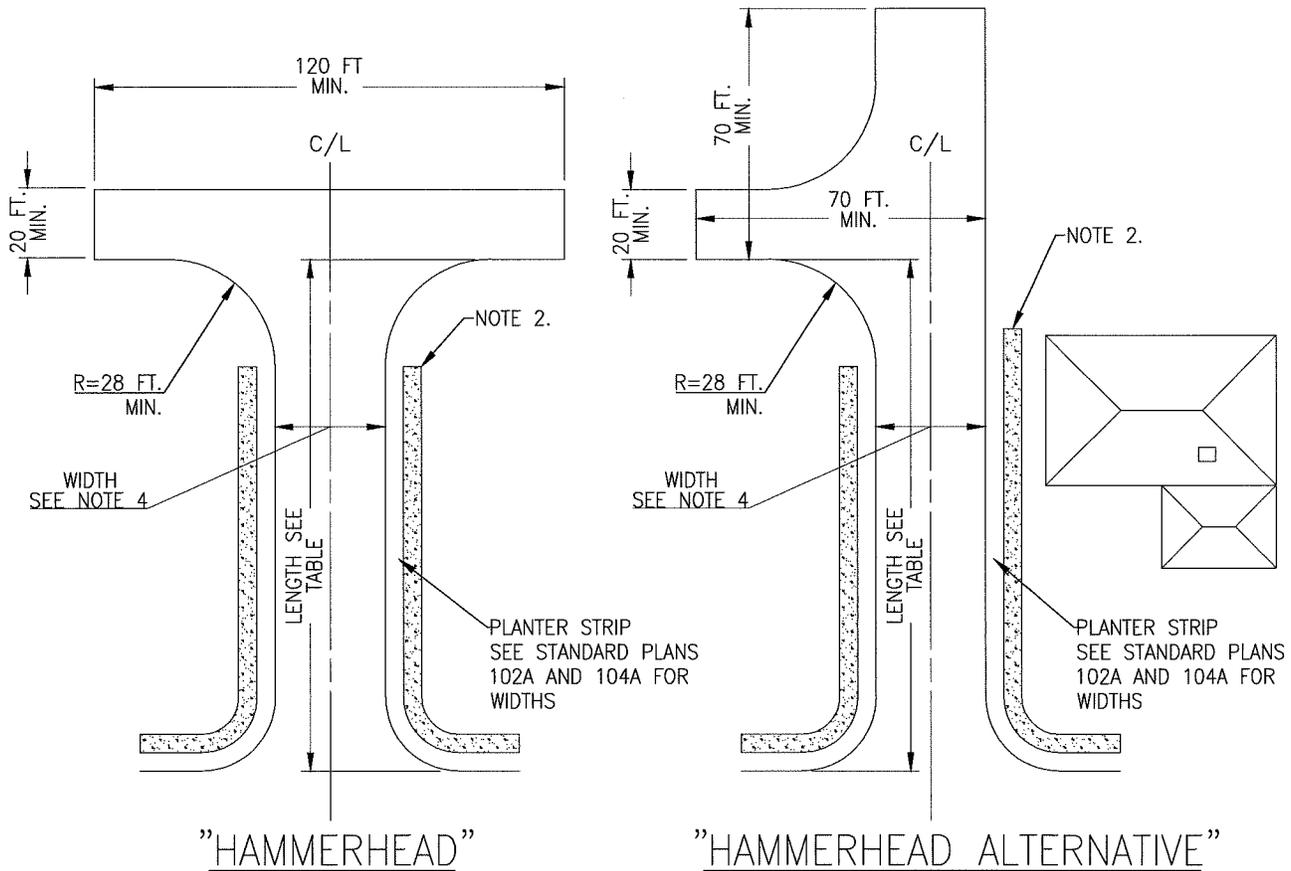
City of Woodinville

DEPARTMENT OF PUBLIC WORKS

TYPICAL CUL-DE-SAC  
RESIDENTIAL STREETS

314

revision date  
SEPT. 2016



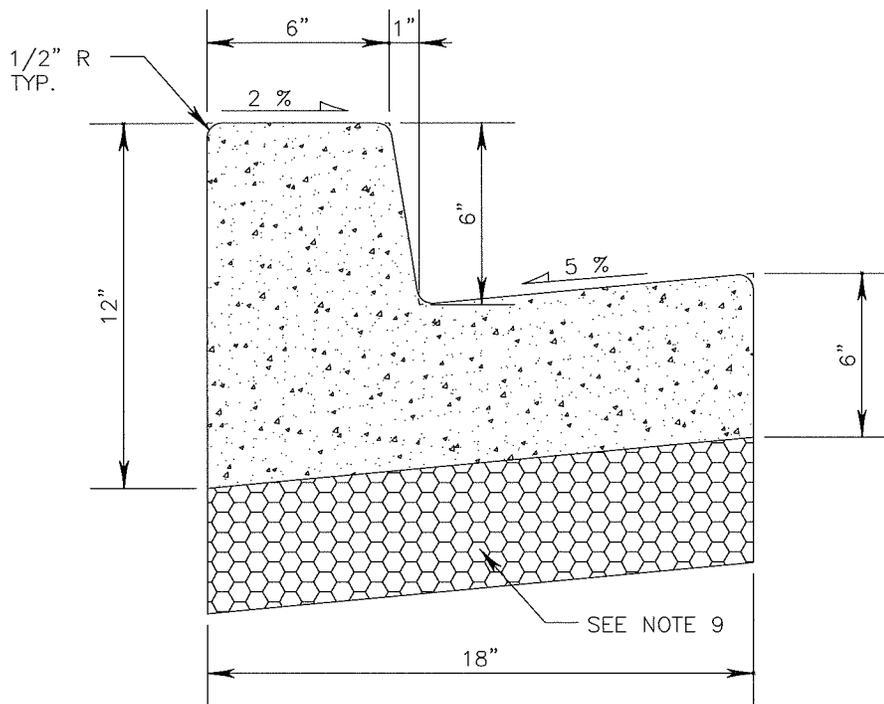
**NOTES:**

MAXIMUM GRADE ALLOWED IS 10%.

1. EXTEND SIDEWALK TO LAST HOUSE ON HAMMERHEAD OR TO PC OF HAMMERHEAD.
  2. NO PARKING SIGNS SHALL BE INSTALLED PER MUTCD AND IFC, APPENDIX D, SECTION D103.6.
  3. DEVIATIONS MUST BE APPROVED BY THE CITY'S PUBLIC WORKS DIRECTOR AND FIRE MARSHAL.
- PUBLIC ROADWAY WIDTH PER STANDARD DETAIL 100:
- 3.1. 36 FEET STANDARD.
  - 3.2. 28 FEET MINIMUM ALLOWED.
  - 3.3. PRIVATE STREETS:
    - 3.3.1. DEAD-END LENGTH IS 500 FEET LONG OR LESS - 20 FEET WIDE MINIMUM
    - 3.3.2. DEAD-END LENGTH IS GREATER THAN 500 FEET LONG - 26 FEET WIDE MINIMUM

LENGTH (FEET)	TURNAROUND REQUIRED
0-150	NONE REQUIRED
151-750	120-FOOT HAMMERHEAD
OVER 750	APPROVAL REQUIRED BY PUBLIC WORKS DIRECTOR AND FIRE MARSHAL

N.T.S.



TYPICAL SECTION

NOTES:

1. FORMS SHALL BE TRUE TO LINE AND GRADE AND SECURELY STAKED.
2. FULL DEPTH EXPANSION JOINTS SHALL BE PLACED ON 15 FOOT CENTERS.
3. THRU JOINTS SHALL BE PLACED ADJACENT TO CATCH BASINS, INLETS AT POINTS OF TANGENCY ON STREETS, AND AT ALLEY AND DRIVEWAY RETURNS. MAXIMUM SPACING SHALL BE 20 FT. PRE-MOLDED JOINT FILLER SHALL BE 1/2" WIDE AND CONFORM TO AASHTO DESIGN M213. DUMMY JOINTS SHALL BE PLACED EVERY 5 FT.
4. ALL JOINTS SHALL BE CLEAN AND EDGED.
5. CEMENT CONCRETE SHALL BE CLASS 3000 WITH 5% TO 6% AIR-ENTRAINMENT.
6. ONLY STEEL FORMS SHALL BE USED ON TANGENT SECTIONS. WOOD FORMS MAY BE USED ON CURVED SECTIONS.
7. FINISH SHALL BE LIGHT BROOM FINISH WITH SHINE JOINTS.
8. THE FINISHED CURB SHALL IMMEDIATELY BE SPRAYED WITH A TRANSPARENT CURING COMPOUND. CURB SHALL BE COVERED BY WATERPROOF PAPER OR PLASTIC MEMBRANE IN THE EVENT OF RAIN OR OTHER UNSUITABLE WEATHER. CURING TIME SHALL BE A MINIMUM OF 72 HOURS.
9. ALL CURB AND GUTTER SHALL BE PLACED ON A MIN OF 4" OF CRUSHED SURFACING TOP COURSE COMPACTED TO 95% OF MAXIMUM DRY DENSITY.
10. OPENINGS IN CURB AND GUTTER SECTION ARE ALLOWED TO PROVIDE CURB CUTS TO BIORETENTION OR DISPERSION BMPS, PER STANDARD DETAIL 320C AND 320D.

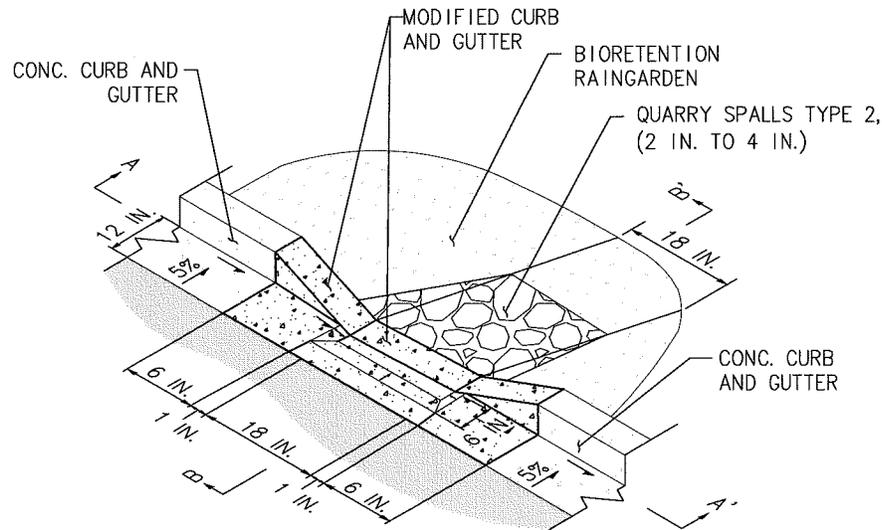
N.T.S.

City of Woodinville  
DEPARTMENT OF PUBLIC WORKS

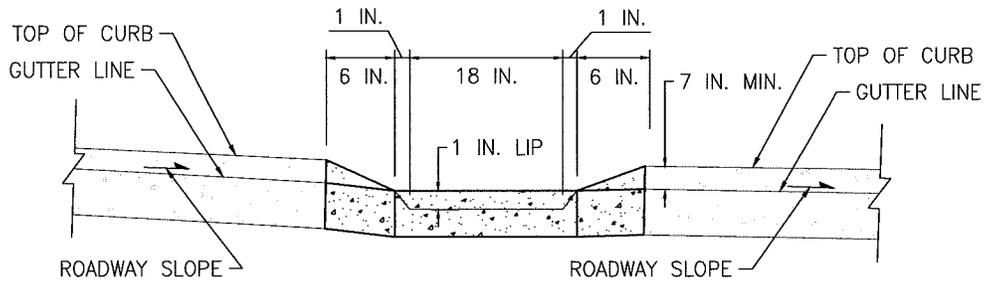
CEMENT CONCRETE  
CURB & GUTTER, TYPE A-1

320A

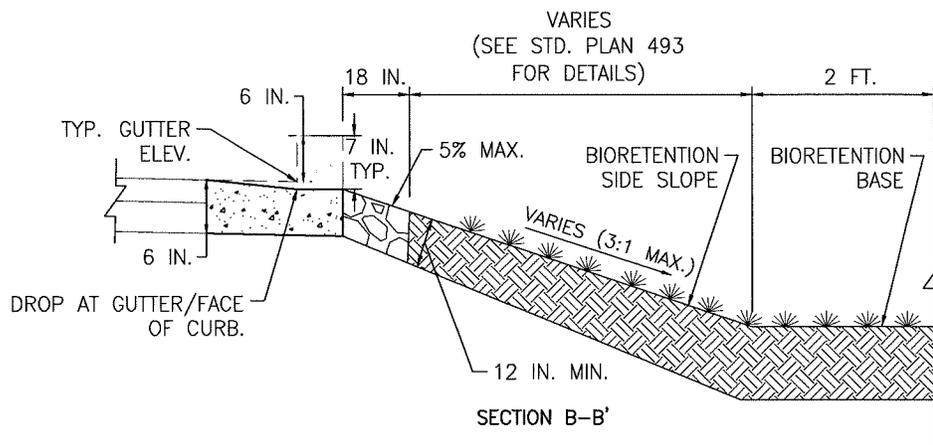
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SEPT. 2016



CURB CUT TO BIORETENTION FACILITY  
N.T.S.

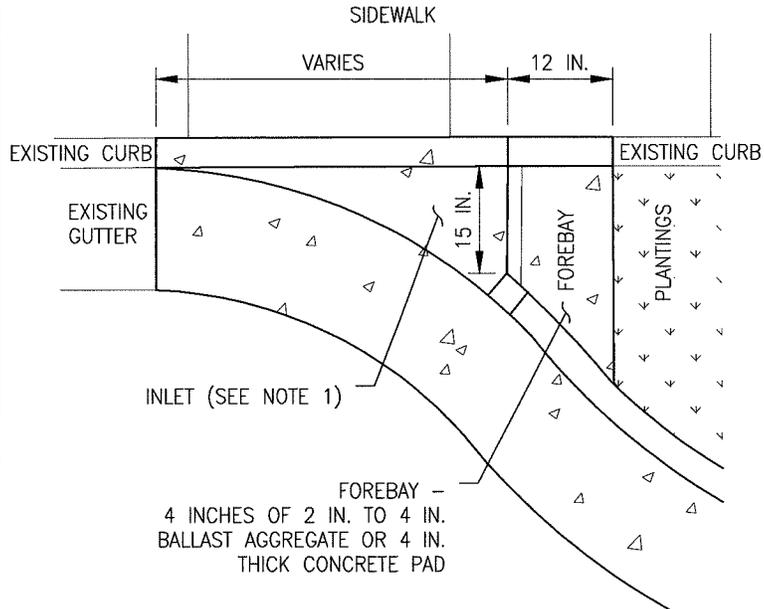


SECTION A-A'

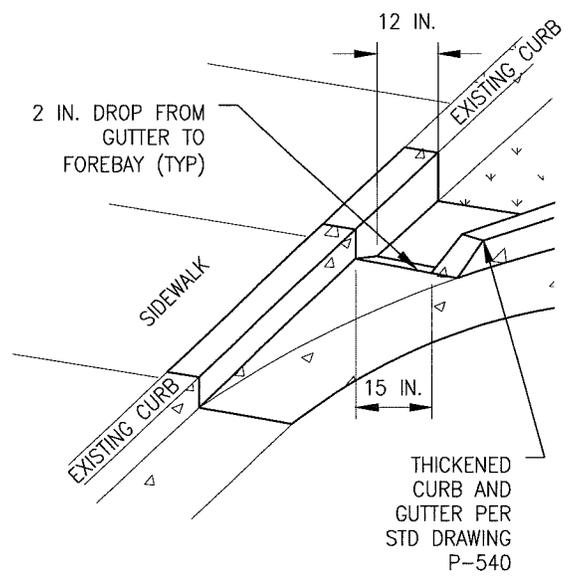


SECTION B-B'

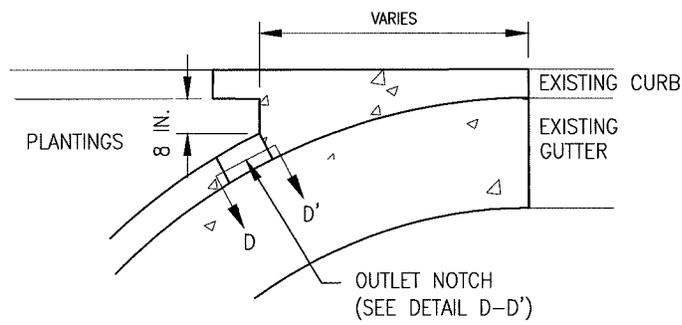
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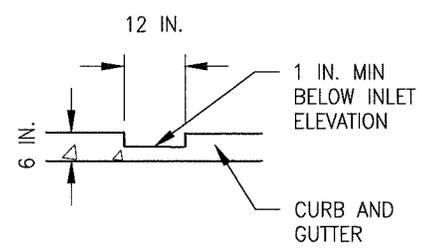
DETAIL A  
INLET PLAN VIEW



DETAIL B  
INLET ISOMETRIC VIEW



DETAIL C  
OUTLET CURB PLAN

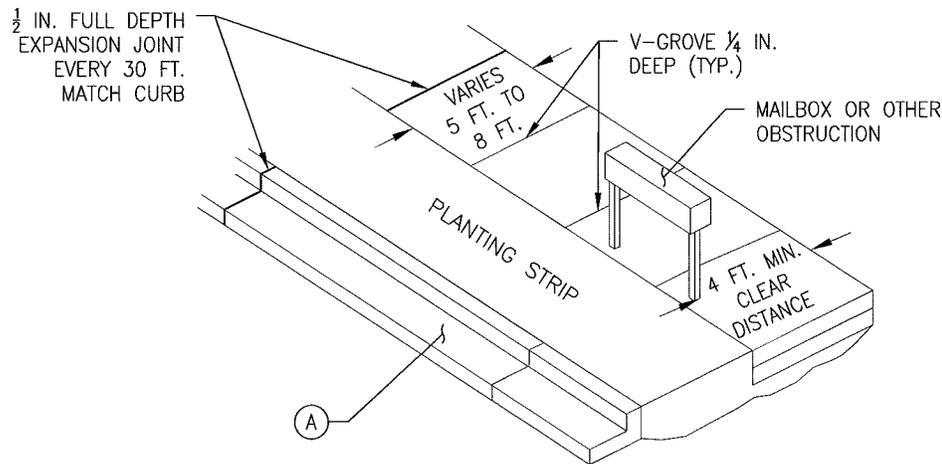


DETAIL D-D'  
OUTLET NOTCH

NOTES:

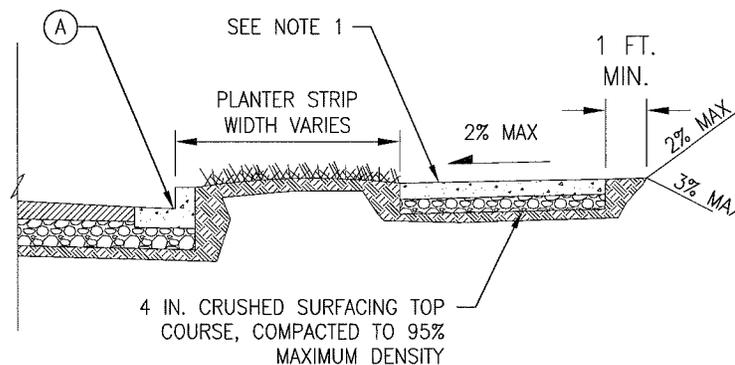
1. ADDITIONAL INLETS CAN BE ADDED IF NECESSARY (PREFERABLY IMMEDIATELY DOWNSTREAM OF EACH CHECK DAM TO MINIMIZE POTENTIAL BACKFLOW). ADDITIONAL INLETS ARE NOT RECOMMENDED FOR STREETS SLOPED <1%.
2. INLET MAY BE MODIFIED TO MAXIMIZE FLOW ENTRY TO STORMWATER FACILITY.

N.T.S.



(A) CONCRETE CURB AND GUTTER SEE STD PLAN 320A

PLAN VIEWS



TYPICAL SECTION

NOTES:

1. SIDEWALKS SHALL BE A MINIMUM OF 4 IN. THICK, AND SHALL BE CLASS 3000 CEMENT CONCRETE, WITH AIR ENTRAINMENT (MIN 4%, MAX 8%).
2. FULL EXPANSION JOINTS SHALL GENERALLY BE PLACED TO MATCH THOSE PLACED IN ADJACENT CURB & GUTTER, WITH MAXIMUM SPACING OF 20 FT., FINAL SPACING DETERMINATION SHALL BE DECIDED BY THE INSPECTOR IN THE FIELD.
3. SUBGRADE SHALL BE COMPACTED TO NOT LESS THAN 95% OF MAXIMUM DENSITY.
4. SIDEWALK SHALL BE AT LEAST 6 IN. THICK IN RESIDENTIAL DRIVEWAYS AND BEHIND ROLL-CURB AND 8 IN. FOR COMMERCIAL DRIVEWAYS.
5. THE FINISHED SIDEWALK SHALL BE SPRAYED WITH A TRANSPARENT, CURING COMPOUND COVERED BY WATERPROOF PAPER OR PLASTIC SHEETING IN THE EVENT OF RAIN OR OTHER INCLEMENT WEATHER. CURING SHALL BE FOR A MINIMUM OF 72 HOURS.
6. ALL JOINTS SHALL BE CLEANED AND EDGED WITH AN EDGER HAVING 1/4 IN. RADIUS.
7. SIDEWALK AND PLANTER STRIP WIDTHS SHALL CONFORM TO DIMENSIONS SHOWN IN APPROPRIATE STREET CROSS SECTION DETAIL OR AS APPROVED BY THE PUBLIC WORKS DIRECTOR.
8. WHEN CONSTRUCTED NEXT TO A BIORETENTION SWALE, SIDEWALKS MAY SLOPE IN EITHER DIRECTION TO PROVIDE SHEET FLOW TO THE BIORETENTION SWALE.
9. POROUS PAVEMENT USED FOR SIDEWALKS, PER STANDARD DETAIL 326, IS ALLOWED AS A LOW IMPACT DEVELOPMENT ALTERNATIVE, ON PRIVATE PROPERTY.

N.T.S.

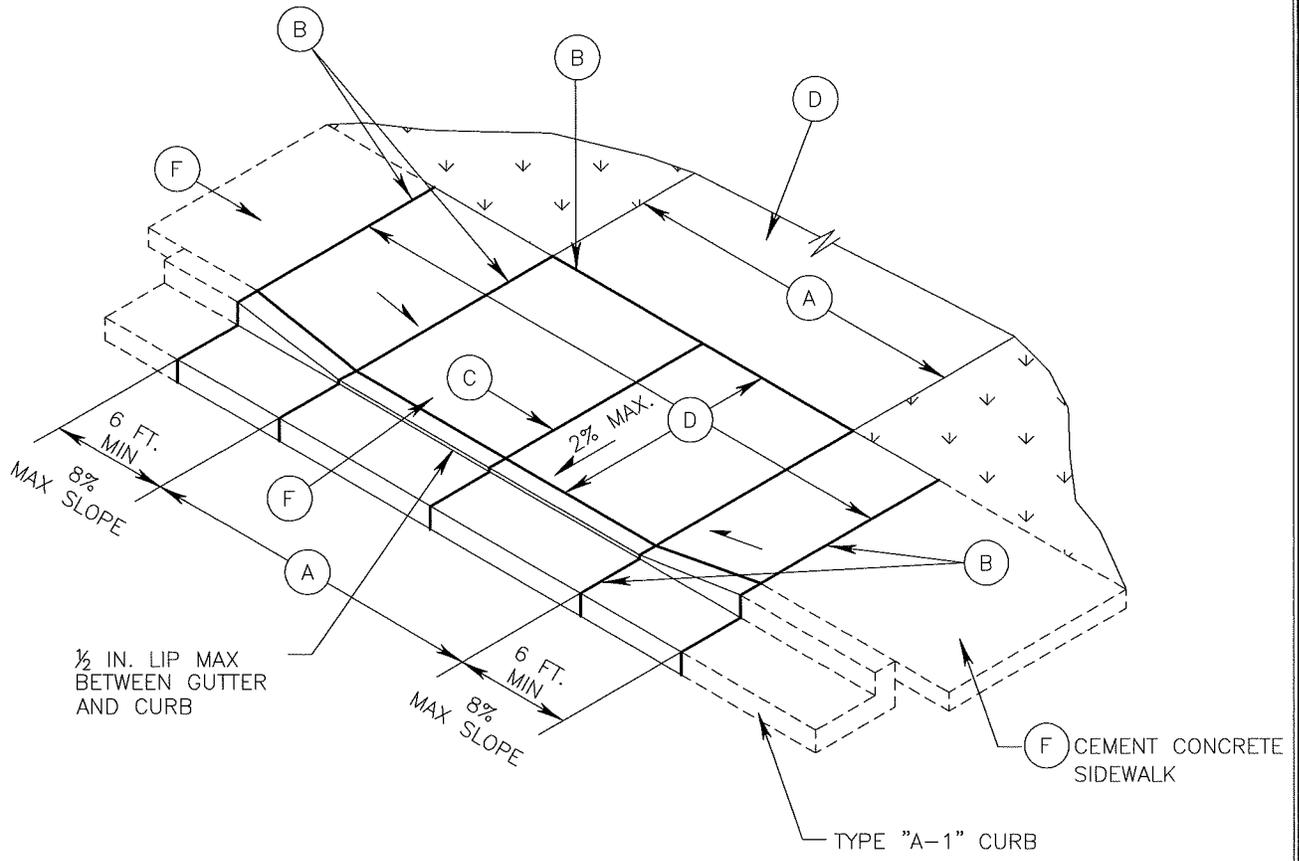
City of Woodinville

DEPARTMENT OF PUBLIC WORKS

CEMENT CONCRETE  
SIDEWALK DETAILS

321

revision date  
SEPT, 2016



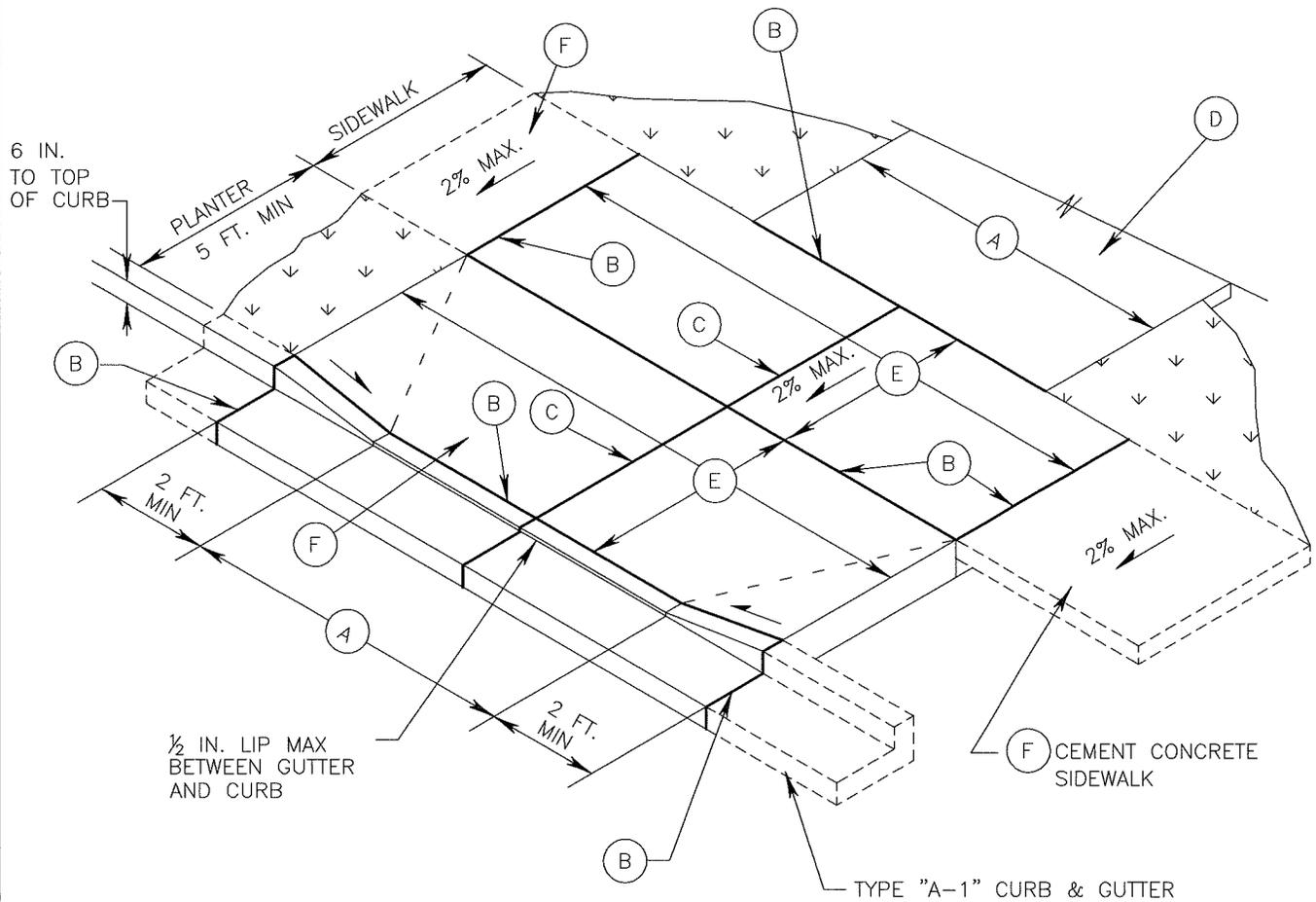
- (A) EQUALS WIDTH OF DRIVEWAY AT PROPERTY LINE. (10 FT. MIN.—14 FT. MAX. RESIDENTIAL AND 30 FT. MIN.—VAR. MAX. COMMERCIAL BASED ON TURNING MOVEMENTS FOR TURNING TRUCKS.)
- (B) 1/2 IN. WIDE FULL DEPTH EXPANSION JOINT.
- (C) FULL DEPTH EXPANSION JOINT IF (A) IS 15 FT. OR GREATER.
- (D) DRIVEWAY TO BE SURFACED WITH ASPHALT OR CONCRETE.
- (E) DRIVEWAY CEMENT CONCRETE SHALL BE A MINIMUM OF 6 IN. THICK FOR RESIDENTIAL AND 8 IN. THICK FOR COMMERCIAL AND IS TO BE PLACED ON A MINIMUM OF 4 IN. CRUSHED SURFACING TOP COURSE COMPACTED TO 95% MAXIMUM DENSITY, OVER A COMPACTED SUBGRADE.
- (F) PERMEABLE PAVEMENT IS NOT ALLOWED WITHIN CONCRETE APRON OR PUBLIC SIDEWALK.

N.T.S.

City of Woodinville  
DEPARTMENT OF PUBLIC WORKS

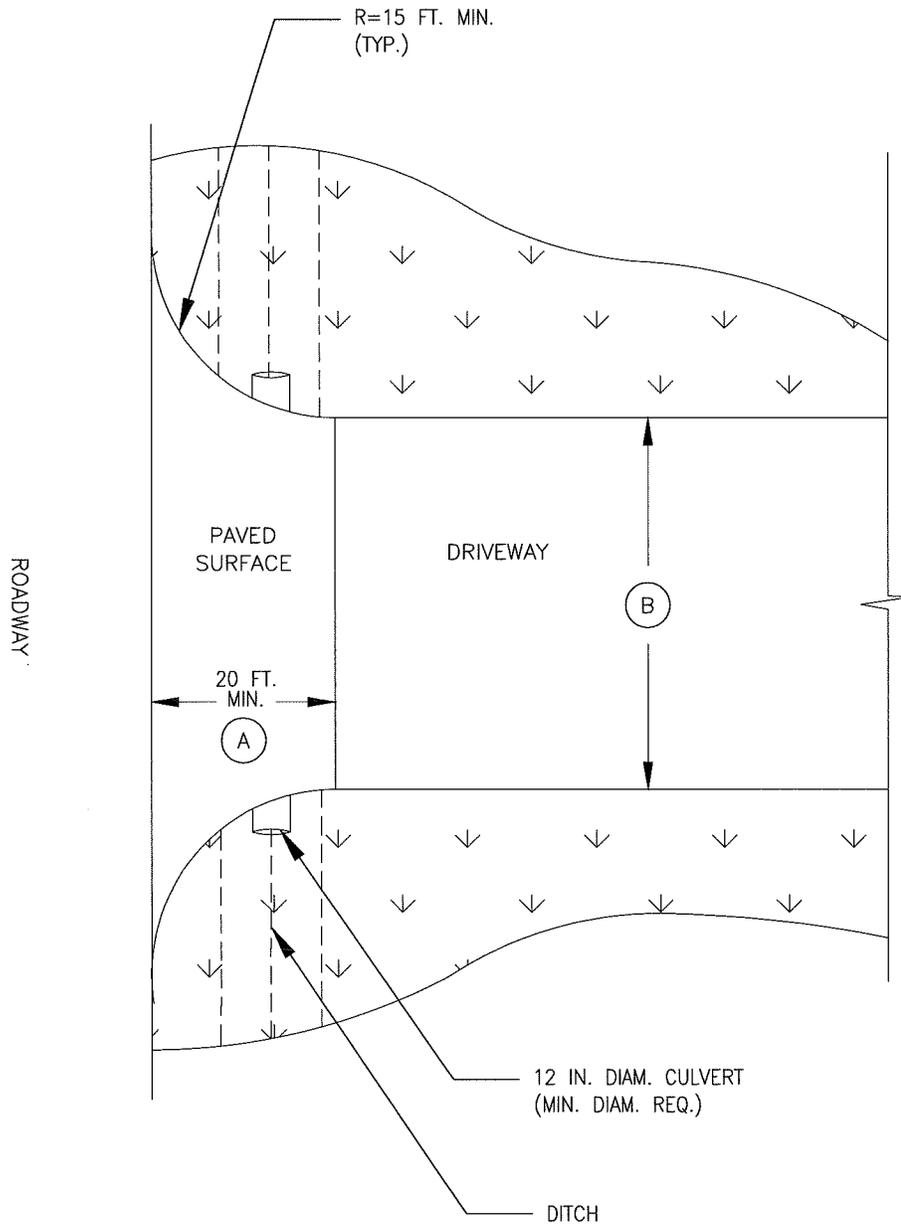
CEMENT CONCRETE  
DRIVEWAY TYPE 1

322  
revision date  
SEPT. 2016



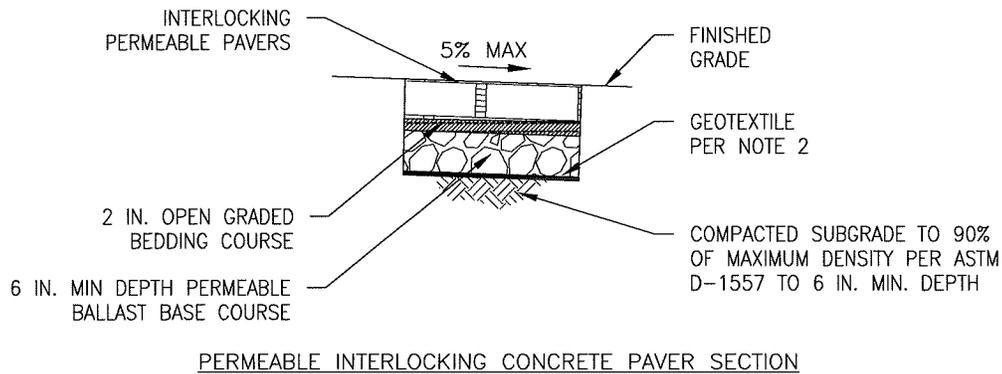
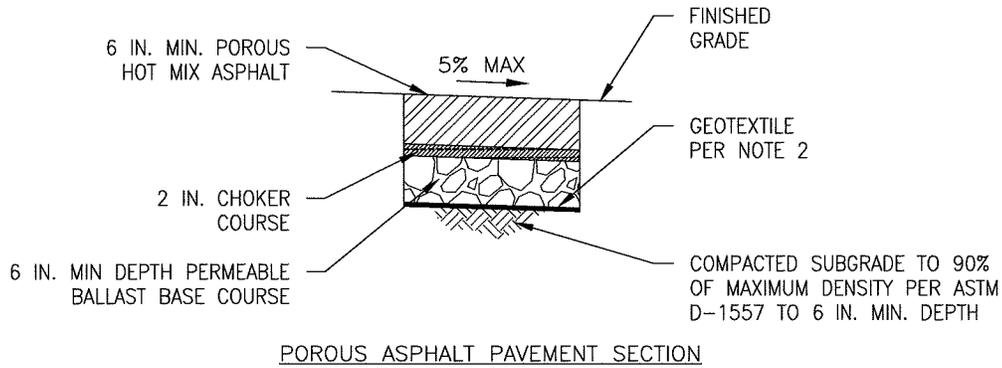
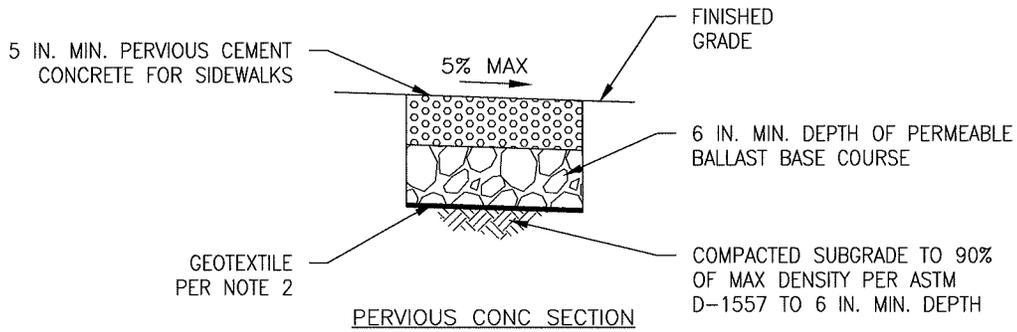
- (A) EQUALS WIDTH OF DRIVEWAY AT PROPERTY LINE. (10 FT. MIN.-14 FT. MAX. RESIDENTIAL AND 30 FT. MIN.-VAR. MAX. COMMERCIAL BASED ON TURNING MOVEMENTS FOR TURNING TRUCKS.)
- (B) 1/2 IN. WIDE FULL DEPTH EXPANSION JOINT.
- (C) FULL DEPTH EXPANSION JOINT IF (A) IS 15 FT. OR GREATER.
- (D) DRIVEWAY TO BE SURFACED WITH ASPHALT OR CONCRETE.
- (E) DRIVEWAY CEMENT CONCRETE SHALL BE A MINIMUM OF 6 IN. THICK FOR RESIDENTIAL AND 8 IN. THICK FOR COMMERCIAL AND IS TO BE PLACED ON A MINIMUM OF 4 IN. CRUSHED SURFACING TOP COURSE COMPACTED TO 95% MAXIMUM DENSITY, OVER A COMPACTED SUBGRADE.
- (F) PERMEABLE PAVEMENT IS NOT ALLOWED WITHIN CONCRETE APRON OR PUBLIC SIDEWALK.

N.T.S.



- (A) DRIVEWAY THROAT MUST BE PAVED 20 FEET BEYOND THE EDGE OF ROADWAY. TYPE OF PAVEMENT SURFACE IS UP TO THE DISCRETION OF THE PROPERTY OWNER. IF EXISTING DRIVEWAY IS GRAVEL, EXTEND ASPHALT PAVEMENT 20 FT. BEYOND EDGE OF ROADWAY.
- (B) WIDTH OF DRIVEWAY AT PROPERTY LINE:
  - RESIDENTIAL DRIVEWAYS: 10 FT. MIN. TO 14 FT. MAX.
  - COMMERCIAL DRIVEWAYS: 30 FT. MIN TO VARIES MAX., BASED ON TURNING MOVEMENTS FOR TURNING TRUCKS.
- (C) PAVED SURFACE SHALL BE A MINIMUM OF 4 IN. COMPACTED DEPTH HOT MIX ASPHALT OVER 6 IN. CRUSHED SURFACING TOP COURSE, WITHIN PUBLIC RIGHT OF WAY.

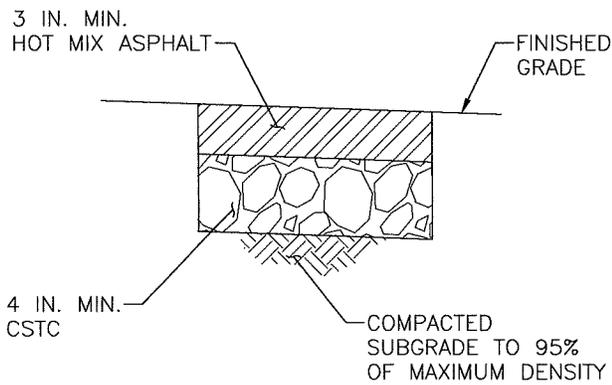
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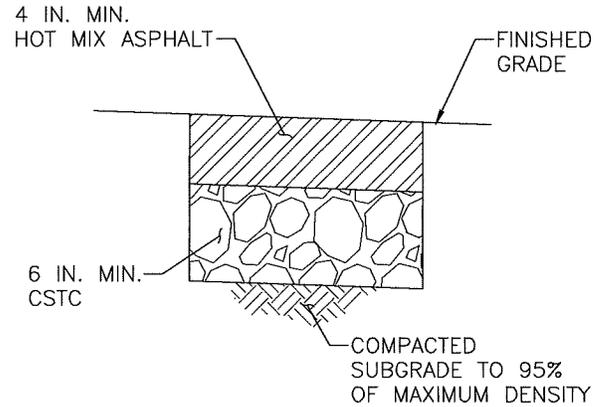
NOTES:

1. DEPTHS SHOWN FOR PAVEMENT SECTIONS ARE COMPACTED DEPTH.
2. SEPARATION GEOTEXTILE MAY BE ELIMINATED WITH RECOMMENDATION BY ENGINEER AND APPROVAL BY PUBLIC WORKS DIRECTOR.
3. PERMEABLE PAVEMENTS ARE ALLOWED ON PRIVATE PROPERTIES ONLY. PERMEABLE PAVEMENT IS NOT ALLOWED WITHIN CITY RIGHT OF WAY.
4. THE OWNER IS RESPONSIBLE FOR VERIFYING THE CONTINUED EFFECTIVENESS OF PERMEABLE PAVEMENTS. MAINTENANCE INCLUDING SEMI-ANNUAL WASHING AND VACTORING OF SEDIMENT AND DEBRIS FROM PERMEABLE PAVEMENTS SHALL BE REQUIRED. THE OWNER SHALL PROVIDE THE CITY WITH METHODS AND SCHEDULE FOR CLEANING PRIOR TO ACCEPTANCE OF THE PROJECT.

N.T.S.

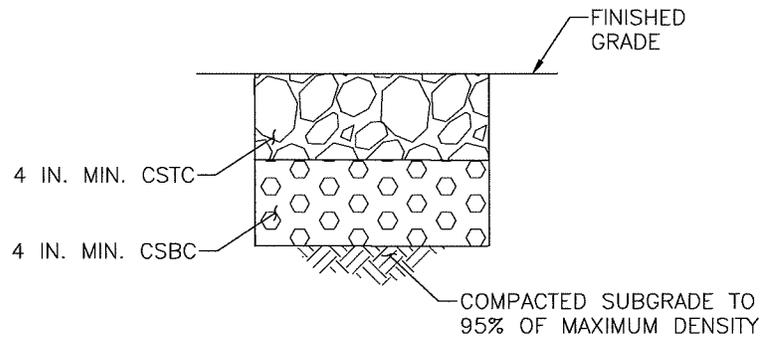


LIGHT TRAFFIC TYPICAL SECTION  
(PASSENGER AND MINIMAL TRUCK LOADING)



HEAVY TRAFFIC TYPICAL SECTION  
(CONTINUED TRUCK LOADING AND OCCASIONAL BUS LOADING)

\* AREAS OF HIGH BUS LOADING MAY REQUIRE  
ADDITIONAL ANALYSIS

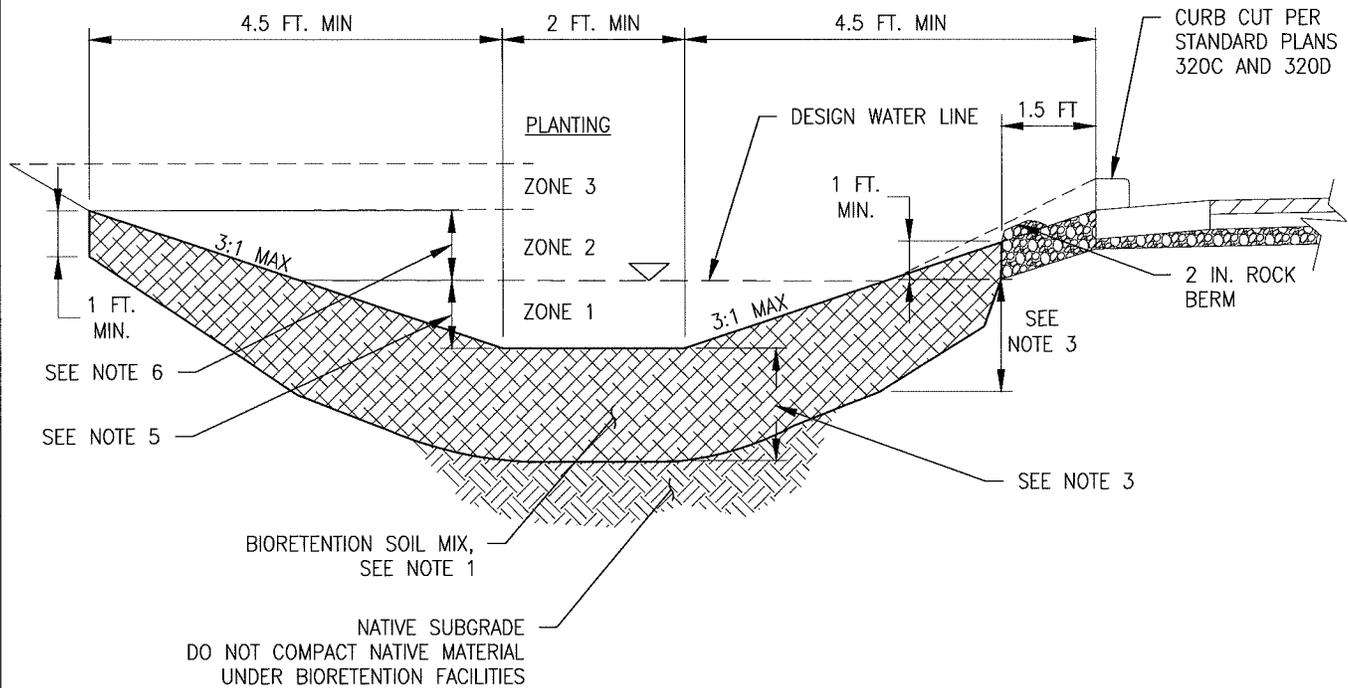


GRAVEL PARKING LOT TYPICAL SECTION  
(PASSENGER CAR AND MINIMAL TRUCK LOADING  
ON PRIVATE PROPERTY PER APPROVAL BY PUBLIC WORKS DIRECTOR)

NOTES:

1. DEPTHS SHOWN FOR PAVEMENT SECTIONS ARE COMPACTED DEPTH.
2. PERMEABLE PAVEMENT MAY BE USED ON PRIVATE PARKING LOTS, PER STANDARD DETAIL 326. PERMEABLE PAVEMENT CROSS SECTION AND DESIGN SHALL BE PREPARED BY A LICENSED ENGINEER FOR APPROVAL BY THE CITY. PERMEABLE PAVEMENT IS NOT ALLOWED WITHIN CITY RIGHT OF WAY.

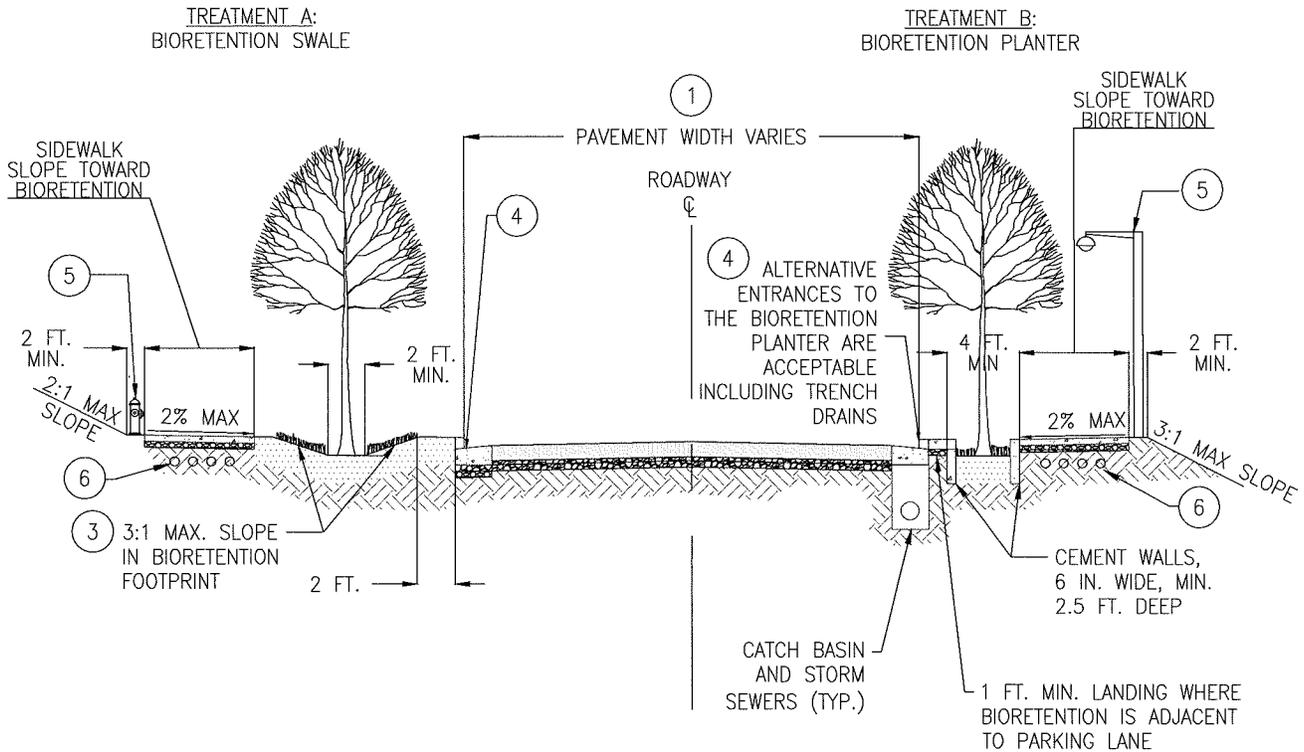
N.T.S.



**NOTES:**

1. BIORETENTION SOIL, COMPOSITION AND pH LEVELS SHALL MEET THE STANDARDS SET FORTH IN THE CURRENT ADOPTED KING COUNTY SURFACE WATER DESIGN MANUAL.
2. PLANTING SHALL CONSIST OF NATIVE SPECIES ABLE TO TOLERATE VARIABLE SOIL MOISTURE CONDITIONS, PONDING WATER FLUCTUATIONS, AND VARIABLE SOIL MOISTURE CONTENT. SEE CITY OF WOODINVILLE BIORETENTION PLANT LIST.
  - 2.1. ZONE 1 INCLUDES WATER TOLERANT PLANTS AND SHALL BE BELOW THE DESIGN WATER LEVEL.
  - 2.2. ZONE 2 INCLUDES SEMI-WATER TOLERANT PLANTS AND SHALL BE WITHIN THE FREEBOARD BETWEEN THE DESIGN WATER LEVEL AND THE TOP OF THE SWALE.
  - 2.3. ZONE 3 INCLUDES PLANTINGS LOCATED OUTSIDE THE LIMITS OF THE BIORETENTION SWALE.
3. AT LEAST 18 IN. OF BIORETENTION SOIL MIX IS REQUIRED BENEATH BOTTOM OF SWALE, AND ALONG SIDES UP TO THE DESIGN WATER LINE. A MINIMUM OF 12 IN. OF BIORETENTION SOIL IS REQUIRED AT THE EDGE OF THE SWALE.
4. COMPACT SUBSOILS MUST BE SCARIFIED AT LEAST 6 IN. BELOW THE AMENDED LAYER.
5. THE DESIGN WATER LEVEL SHALL BE BETWEEN 6 IN. AND 12 IN. ABOVE THE TOP OF THE BIORETENTION SWALE BASE.
6. THE DESIGN WATER LEVEL SHALL BE A MINIMUM 6 IN. BELOW TOP OF SWALE.
7. MAXIMUM LINEAR SLOPE OF BIORETENTION FACILITY IS 5% WITHOUT PRIOR APPROVAL BY THE PUBLIC WORKS DIRECTOR
8. THE BIORETENTION FACILITY IS A LOW IMPACT DEVELOPMENT ALTERNATIVE TO A STANDARD PLANTER STRIP

N.T.S.



NOTES:

1. THIS DRAWING ILLUSTRATES A TYPICAL ASPHALT CONCRETE ROAD SECTION WITH TWO ALTERNATIVES OF BIORETENTION PLANTER STRIPS. ROADWAY WIDTH AND SURFACING DESIGN FOR ARTERIALS AND COMMERCIAL ACCESS STREETS SHALL BE BASED ON STANDARD PLANS 100-192.
2. ROADWAY GRADES WHERE BIORETENTION IS ALLOWED:  
 MINIMUM: 0.5%  
 MAXIMUM: 5%
3. BIORETENTION SHALL HAVE 2 FT. MIN. BOTTOM WIDTH AND SWALE SHALL HAVE 3H:1V MAX. SIDE SLOPES. SEE STANDARD PLAN 493 FOR BIORETENTION DETAILS.
4. SEE STANDARD DETAILS 320A-320D FOR TYPICAL CURB AND GUTTER DETAILS AND CURB CUTS INTO BIORETENTION FACILITIES.
5. PREFERRED LOCATION FOR ABOVE GROUND UTILITIES BEHIND SIDEWALK.
6. UTILITIES ARE ALLOWED BELOW SIDEWALK OR WITHIN UTILITY EASEMENT, WHERE APPLICABLE, IN COMPLIANCE WITH STANDARD PLAN 302. NO UTILITIES ARE ALLOWED WITHIN BIORETENTION FACILITIES WITHOUT PRIOR APPROVAL BY THE PUBLIC WORKS DIRECTOR. UTILITY SERVICE LATERALS MUST BE SLEEVED THROUGH BIORETENTION FACILITIES.

N.T.S.





STATE OF WASHINGTON

DEPARTMENT OF COMMERCE

1011 Plum Street SE • PO Box 42525 • Olympia, Washington 98504-2525 • (360) 725-4000  
www.commerce.wa.gov

November 2, 2016

Jennifer Kuhn  
City Clerk  
City of Woodinville  
17301 - 133rd Avenue Northeast  
Woodinville, Washington 98072

Dear Ms. Kuhn:

Thank you for sending the Washington State Department of Commerce (Commerce) the following materials as required under RCW 36.70A.106. Please keep this letter as documentation that you have met this procedural requirement.

**City of Woodinville - Adopted ordinance: 2016 King County Surface Water Manual and low impact development standards; establishing chapter 13.05 of the Woodinville Municipal Code, repealing 14.06 and 14.09 of the Woodinville Municipal Code, revising standard details in the transportation infrastructure standards and specifications; amending chapters 12.09, 13.04, 20.06, 21.11, 21.22, 21.23, 21.26, 21.40, 21.43, 21.44, and 21.51 of the Woodinville Municipal Code; providing for severability; and providing for an effective date and summary publication by ordinance title only. These materials were received on November 02, 2016 and processed with the Material ID # 23051.**

**City of Woodinville - Adopted Ordinance No. 635 concerning grading regulations; adopting findings; adopting chapter 15.05 of the Woodinville Municipal Code; providing for severability; and providing for an effective date and summary publication by ordinance title only. These materials were received on November 02, 2016 and processed with the Material ID # 23052.**

We have forwarded a copy of this notice to other state agencies.

If this submitted material is an adopted amendment, then please keep this letter as documentation that you have met the procedural requirement under RCW 36.70A.106.

If you have submitted this material as a draft amendment, then final adoption may occur no earlier than December 31, 2016. Please remember to submit the final adopted amendment to Commerce within ten (10) days of adoption.

If you have any questions, please contact Growth Management Services at [reviewteam@commerce.wa.gov](mailto:reviewteam@commerce.wa.gov), or call Dave Andersen (509) 434-4491.

Sincerely,

Review Team  
Growth Management Services