



Staff Report to Hearing Examiner

Exhibit 1

Development Services Department
425-489-2754 • 17301 133rd Avenue NE • Woodinville, WA 98072
Desk Hours • Monday – Thursday 7:30am – 5:00pm • Friday 7:30am – 4:00pm

PROJECT NAME: NE 145th Street Walkway Critical Area Exception

FILE NUMBER: SEP10019

PROJECT DESCRIPTION: Critical area exception for public sidewalk within public right-of-way on NE 145th Street encroaching on stream buffer for unnamed Type 4 stream

DATE OF REPORT: August 19, 2010

DATE OF HEARING: August 26, 2010

APPLICANT: Thomas E. Hansen, PE, Public Works Director
City of Woodinville

CONTACT: Matt Ellis, EIT, Engineer I, City of Woodinville
425-877-2296
matte@ci.woodinville.wa.us

PROPERTY OWNER: Public right-of-way

LOCATION OF PROPOSAL: NE 145th Street right-of-way between 138th Avenue NE to Woodinville Redmond Road

ASSESSOR'S PARCEL NUMBER(S): N/A

CURRENT USE: Public right-of-way

PROPERTY SIZE: N/A

CURRENT ZONING (Adjacent property): Residential, 4 units per acre, and Industrial

COMPREHENSIVE PLAN DESIGNATION: Low Density Residential, Industrial

FIRE SERVICE: Woodinville Fire and Rescue

WATER & SEWER SERVICE: Woodinville Water District

SCHOOL DISTRICT: Northshore School District, Lake Washington School District

STAFF RECOMMENDATION: STAFF RECOMMENDS THAT THE HEARING EXAMINER APPROVE WITH CONDITIONS THE PROPOSED CRITICAL AREA EXCEPTION

STAFF CONTACT: Erin Martindale, Senior Planner *EMM HWH*
425-877-2283
erinm@ci.woodinville.wa.us

Project Description

Location:	Project is located within existing public right-of-way on NE 145 th Street, within the West Ridge and Tourist District neighborhoods.								
Site/Area Description:	The project location is currently used as public right-of-way for street purposes. There is a railroad crossing, owned by the Port of Seattle, that crosses NE 145 th Street within the project limits. The roadway slopes up to the west. There is an unnamed Type 4 stream along the project's northern edge.								
Surrounding Land Uses/Zoning:	<table> <tr> <td>North:</td> <td>Vacant, Railroad, Tavern / Low Density Residential, Industrial with Tourist District Overlay</td> </tr> <tr> <td>South:</td> <td>Single-Family Residential, Production Winery / Low Density Residential, Industrial with Tourist District Overlay</td> </tr> <tr> <td>West:</td> <td>Vacant, Single-Family Residential / Low Density Residential</td> </tr> <tr> <td>East:</td> <td>Production Winery / Industrial with Tourist District Overlay</td> </tr> </table>	North:	Vacant, Railroad, Tavern / Low Density Residential, Industrial with Tourist District Overlay	South:	Single-Family Residential, Production Winery / Low Density Residential, Industrial with Tourist District Overlay	West:	Vacant, Single-Family Residential / Low Density Residential	East:	Production Winery / Industrial with Tourist District Overlay
North:	Vacant, Railroad, Tavern / Low Density Residential, Industrial with Tourist District Overlay								
South:	Single-Family Residential, Production Winery / Low Density Residential, Industrial with Tourist District Overlay								
West:	Vacant, Single-Family Residential / Low Density Residential								
East:	Production Winery / Industrial with Tourist District Overlay								

Background

As part of the 2010 budget, a walkway along the north side of NE 145th Street is authorized for construction, between 138th Avenue NE and SR 202. The project scope includes construction of curb, gutter, and 5 foot concrete sidewalk, and a retaining wall with hand rail that will support the sidewalk. The project length is approximately 400 feet.

During project design, it was determined that the ditch along the roadway is a Type 4 stream as defined in Woodinville Municipal Code (WMC) 21.24.370. A Type 4 stream has a standard 50 foot wide buffer under WMC 21.24.380, measured from the ordinary high water mark. The buffer requirement is allowed under WMC 21.24.380 to be administratively reduced to 35 feet with buffer enhancement. Under the proposal, the walkway will be constructed within the buffer of this stream, within two feet of the ordinary high water mark of the stream; therefore administrative buffer reduction is insufficient. WMC 21.24.080(1) allows for a critical area exception for a public agency project to construct improvements within the buffer (closer than 35 feet). Within the project area, there is one driveway access to a King County stormwater facility, which will be maintained. The proposed retaining wall will be located above the banks of the stream.

The City of Woodinville Public Works Department submitted a complete application for a SEPA Determination and Critical Area Exception on June 2, 2010. A Notice of Complete Application was sent on June 28, 2010. A Notice of Application issued on July 5, 2010, with a comment period through July 21, 2010. A SEPA Determination of Nonsignificance was issued on August 9, 2010, with a comment period through August 23, 2010.

This project requires a SEPA Determination and Critical Area Exception from the City of Woodinville. Final design will require a Hydraulic Project Approval (HPA) Permit from the Washington State Department of Fish and Wildlife, and a construction permit from the Port of Seattle for work within railroad right-of-way. Buffer enhancement is proposed on and off-site, pursuant to WMC 21.24.400.

A critical area exception is required to be processed per WMC 2.30, Appeal Procedures. Per WMC 21.24.380, the Hearing Examiner holds a closed record hearing to review the recommendation from the Development Services Director on critical area exceptions. A public notice is not provided; the applicant and any appellants

are informed of the meeting date. There are no appellants for this application, and the Public Works Department was informed of the meeting date.

Comprehensive Plan

The public walkway proposal, with conditions, complies with the following applicable Comprehensive Plan Goals and Policies. The following goals are stated with the appropriate policies that apply to this development.

Community Development GOAL CD 4: To create pedestrian friendly environments in Woodinville.

CD 4.4 Promote and plan for pedestrian/bicycle connections to and through residential neighborhoods.

Transportation GOAL T-6: To promote non-motorized travel and ensure its safety, convenience, and comfort.

T-6.1 Actively promote the use of bicycle and pedestrian transportation as viable alternatives to motorized transportation.

T-6.12 Plan for a continuous non-motorized transportation system that provides Woodinville's citizens and visitors safe and direct access to the City's schools, employment, housing, shopping and recreation areas.

Zoning Code

In accordance with the consistency test outlined in the Growth Management Act (RCW 36.70B.040), prior to making a decision or recommendation on an application, the City must consider whether a project meets the adopted development regulations and/or Comprehensive Plan policies. The subject property is located in the Residential 4 units per Acre and Industrial zones and the following standards apply:

Regulation	Requirement	Submitted
Critical areas:	<p>Protect critical areas, including wetlands, streams, steep slopes, and fish and wildlife habitat areas.</p> <p>There is an unnamed Type 4 stream within a ditch along the north side of NE 145th Street. WMC 21.24.380 requires a 50 foot buffer on Type 4 streams, except that a 35 foot buffer may be administratively allowed through a buffer reduction/enhancement plan. See the section below on critical area exceptions where a buffer is reduced below the required amounts for public agency projects.</p>	<p>Buffer impacts are expected as part of this project. The buffer between the proposed improvements and the ordinary high water mark will be less than two feet at its narrowest point.</p> <p>Per the Mitigation Concept Memorandum, there will be approximately 1,200 square feet of buffer impact as part of this project. The buffer is currently acting as the shoulder to NE 145th Street, and consists of pavement, gravel, and/or sparsely vegetated conditions. The buffer proposed to be impacted is degraded and provides little functional benefit.</p> <p>Buffer mitigation is proposed to be completed along the banks of Woodin Creek at Woodin Creek Park and consists of 1 to 1 ratio of buffer enhancement using a variety of native trees, shrubs and groundcover appropriate for upland</p>

		<p>areas. Any changes to the mitigation plan are subject to approval by the Development Services Director.</p>
<p>Critical Area Exception Criteria:</p>	<p>WMC 21.24.080 requires a critical area exception to meet these criteria:</p> <ol style="list-style-type: none"> 1. There is no other practical alternative to the proposed development with less impact on the sensitive area. 2. The proposal minimizes the impact on critical areas. <p>Critical area exceptions are not allowed for regional retention/detention facilities within some types of high functioning stream and wetland buffers.</p>	<ul style="list-style-type: none"> • The proposed walkway project is warranted in order to provide a safe pedestrian path between the residential neighborhood to the north and west of the site, and Woodinville-Redmond Road (which connects to other pedestrian facilities and the Sammamish River Trail). There are two access points off of the hillside on the west side of the City of Woodinville. This connection provides a critical pedestrian connection for the community. • Placing the sidewalk on the south side of the street would require two crossings, with crosswalks and/or other control or protection measures, one at the intersection with 138th Way NE, and another at the intersection with SR 202 to connect to the existing network. This would place pedestrians in a more dangerous and less convenient location than the north side of the roadway. • The project design will not impact the stream within the ordinary high water mark. • The walkway is designed so that pedestrians will be walking on a designated, improved path, instead of traveling directly adjacent to the stream. • There is a Type 3 stream on the south side of the roadway, and if the sidewalk were located there (the other alternative), the buffer for that stream would be impacted. • Some replacement replanting will occur on-site, on the north side of the stream. • Temporary and permanent erosion control measures will be installed, including: <ul style="list-style-type: none"> ▪ Temporary: Straw Wattles within the stream and along the banks ▪ Permanent: Jute matting along the bank; seeding and willow saplings

		<p>planted between the sidewalk and ordinary high water mark of the stream; larger trees along the north bank of the stream to provide shading for the stream.</p> <ul style="list-style-type: none"> • This project is not for a regional stormwater facility.
<p>Drainage:</p>	<p>The drainage plan shall utilize the criteria of the 2005 King County Surface Water Design Manual.</p>	<p>Currently, stormwater sheet flows from the crown of the roadway into the stream, from Station 10+50 to Station 11+65. The project design will prevent stormwater from entering the stream along the new sidewalk section. A catch basin will be installed at Station 12+00, downstream of the open channel of the stream. All stormwater sheet flowing from the crown of the roadway will be collected within this catch basin, and directed into the stream, where the stream turns the corner and runs north, paralleling the railroad tracks, at Station 12+15.</p> <p>Downhill of the stream, an additional catch basin will be installed along the north side of NE 145th Street, at Station 13+65. Collected stormwater will be piped across the road, and enter an existing catch basin which connects to the Type-3 stream on the south side of NE 145th Street.</p> <p>No water quality improvements are proposed, beyond the plantings along the stream, as part of this project, as the additional impervious surface is non-pollution generating sidewalk.</p>

Agency Review

Environmental Review: As the lead agency the City of Woodinville issued a Determination of Nonsignificance under Washington Administrative Code 197-11-340(2) on August 9, 2010. No appeals were filed and the Determination stands as issued.

Notice: Notice of this application has been provided in accordance with the provisions of WMC Title 17. This project was circulated for review and comment on July 5, 2010, by publishing the Notice of Application in the newspaper of record; mailing a copy of the Notice to property owners within 500 feet of the project and interested agencies; and posting the Notice at the site and at the official locations for City Notices.

Agency Comments:

Agencies with comments:

- City of Woodinville Building Department
- City of Woodinville Police Department
- Woodinville Fire and Rescue
- Port of Seattle
- Washington State Department of Fish and Wildlife
- King County

Public Comment:

No written public comment letters have been received in regard to this project.

Determination of Consistency

Revised Code of Washington 36.70B.040 – Determination of Consistency and WMC 17.13.100 requires that a proposed project shall be reviewed for consistency with a local government’s development regulations during project review by consideration of:

1. Type of land use;
2. Level of development, such as units per acre or other measures of density;
3. Infrastructure, including public facilities and services needed to serve the development; and
4. The characteristics of the development, such as development standards.

Based on the above analysis, and with the proposed conditions listed below, staff finds that the NE 145th Street Walkway has met the requirements of the City of Woodinville 1999 Infrastructure Standards, 2009 Comprehensive Plan, and Woodinville Municipal Code. The public walkway project has, also, made appropriate provisions for the public health, safety, and general welfare by:

1. Providing for storm drainage improvements;
2. Improving the site with public pedestrian facilities; and
3. Protection of critical areas through off-site buffer mitigation.

Staff Recommendation

The proposed project was found to be consistent with and meet the intent of the Woodinville Comprehensive Plan and applicable development regulations; therefore, the Development Services Director recommends **APPROVAL** of the NE 145th Street Walkway Critical Area Exception (SEP10019), subject to the following conditions:

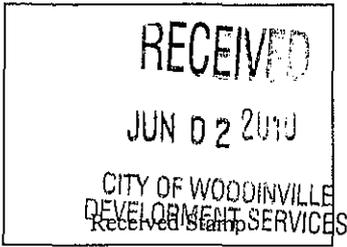
1. All work shall proceed largely in conformance with the approved plans and supplemental reports. Minor modifications to the approved plans, as established in WMC 17.09.020(6), may be authorized by the Public Works and Development Services Directors.
2. The buffer mitigation plan is approved as submitted on June 29, 2010 and described in the Conceptual Mitigation Memorandum and Monitoring Plan prepared by Otak. Any proposed changes shall be reviewed and approved by the Development Services Director prior to doing the changes work. All mitigation work shall be completed prior to finalizing the walkway project, or within the next planting season.
3. All required state, federal and other permits shall be obtained prior to beginning construction.

4. A copy of the traffic control plan shall be provided to the Woodinville Police Department for review and comment prior to the start of construction.
5. The contractor shall notify the Woodinville Fire Marshall a minimum of 48 hours in advance of any and all road closures or water shut-offs.

Exhibit List

- Exhibit 1 Staff Report
- Exhibit 2 Application forms received June 2, 2010
- Exhibit 3 Plans received June 29, 2010 prepared by Otak
- Exhibit 4 Notice of Application issued July 5, 2010
- Exhibit 5 SEPA Determination issued August 9, 2010 and SEPA checklist dated June 2, 2010
- Exhibit 6 Mitigation Concept Memorandum dated May 7, 2010 prepared by Otak
- Exhibit 7 Agency Comments Received
- Exhibit 8 Illustrative diagram and pictures of site
- Exhibit 9 Email from City Attorney on Critical Area Exception Process dated June 17, 2010

File #	SEP10019
Appl. Type	
TRC III Date	
Fee paid	
Date Rec'd	6/2/10



City of Woodinville
Department of Planning & Community
Development

GENERAL APPLICATION FORM

GENERAL INFORMATION:

Name of Development/Project: NE 145 th Street Walkway (PW09-0170)
Applicant Name: City of Woodinville Public Works Department
Applicant Address: 17301 133 rd Avenue NE
Phone Number: 425-489-2700 ext. 2291
Description of Proposed Action: Install a new walkway along NE 145 th St, from 138 th Way NE to Woodinville-Redmond Rd NE. This project will include the following <ul style="list-style-type: none"> • Installation of approximately 440-LF of new Sidewalk along the north side of NE 145th St. • 120-LF of sidewalk will abut an existing Type 4 Stream and will be within the 50-ft Buffer Zone • Crossing of the railroad track on NE 145th St, 200-ft east of Woodinville-Redmond Rd NE • Installing a 130-ft retaining wall along the north side of NE 145th St.

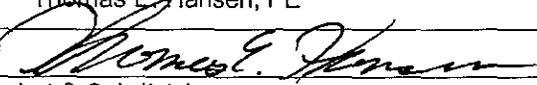
OTHER PERMITTING INFORMATION:

Are you applying for a consolidated permit review? <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO (Consolidated Permit Reviews require all applications be submitted concurrently.)
If yes, what other permits/applications are you submitting at this time?

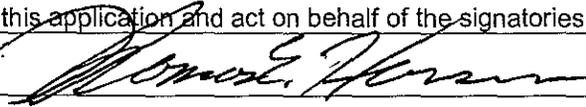
PROPERTY INFORMATION:

Location of Subject Property: Adjacent to 14508 Woodinville-Redmond Rd 98072				
Legal Description: The SE ¼ of the SE ¼ of the SW ¼ of Sec. 15, T26N, R5E & the SW ¼ of the SW ¼ of the SE ¼ of Sec. 15, T26N, R5E				
Tax Parcel Number: Adjacent to 1529200490, 1526059023, 1526059031, 2226059086	SE ¼ of the SW 1/4	Sec. 15	Twn.:26N	Range:5E
Size (ac/sq ft): Approx. 0.25 Acre	Comp. Plan Designation: New Sidewalk and Retaining Wall within the Right-of-Way of NE 145 th St			Zone: Public Right of Way, & Crossing RR ROW
Current Use: 2-lane paved roadway with minimal shoulder for pedestrians.				
Are there Sensitive Areas on Property? Yes, The project is located within an identified potential High Erosion Area. A 75-ft Type 3 Stream Buffer is located on the south side of NE 145 th St, for a small creek. A Type 4 Stream is located along 120-ft of the proposed sidewalk. The proposed project will be within the 50-ft buffer of the Type 4 Stream, and within the 75-ft buffer of the Type 3 Stream. See Attached GIS Map				

**AUTHORIZATION TO FILE:
SIGNATURE OF ALL PERSONS WITH AN INTEREST IN THE PROPERTY**

Name Thomas E. Hansen, PE	Name
Signature 	Signature
Tax No. or Lot & Subdivision	Tax No. or Lot & Subdivision
<input type="checkbox"/> Owner <input type="checkbox"/> Contract Purchaser <input type="checkbox"/> Option Purchaser (Owners signature also required) Option Expiration Date	<input type="checkbox"/> Owner <input type="checkbox"/> Contract Purchaser <input type="checkbox"/> Option Purchaser (Owners signature also required) Option Expiration Date

CERTIFICATION:

I certify that the information and exhibits herewith submitted are true and correct to the best of my knowledge and that I am to file this application and act on behalf of the signatories of the above authorization.	
Signature 	Date 6/2/10

CITY OF WOODINVILLE

EXHIBIT 3
PAGE 1 OF 9

NE 145th STREET SIDEWALK June 2010, 90% Submittal

CITY OF WOODINVILLE

MAYOR CHARLES E. PRICE
DEPUTY MAYOR BERNIE TALMAS

COUNCIL MEMBERS

JEFF GLICKMAN
PAULETTE BAUMAN
SCOTT HAGEMAN
SUSAN BOUNDY-SANDERS
LIZ ASPEN

CITY MANAGER

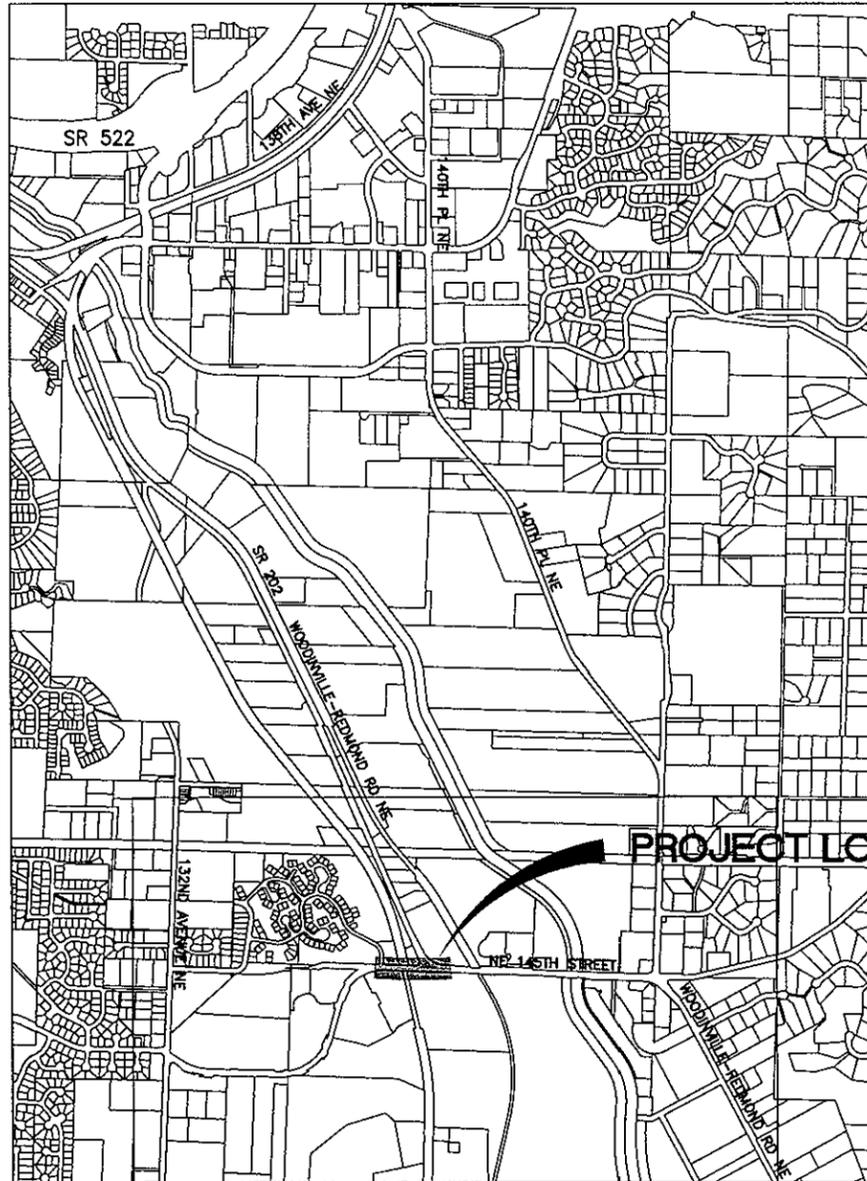
RICHARD A. LEAHY

PUBLIC WORKS DIRECTOR

THOMAS E. HANSEN, P.E.

PROJECT MANAGER

MATT ELLIS



PROJECT LOCATION

VICINITY MAP
NTS



SHEET NO.	SHEET TITLE & DESCRIPTION
1	COVER SHEET
2	RIGHT-OF-WAY, SURVEY CONTROL PLAN
3	TESC AND DEMOLITION PLAN
4	SIDEWALK PLAN AND PROFILE
5	RETAINING WALL PLAN AND PROFILE
6	RETAINING WALL TYPICAL SECTION
7	TYPICAL SECTION AND DETAILS
8	PAVEMENT MARKING PLAN
9	BUFFER MITIGATION AT WOODIN CREEK PARK

APPROVED FOR CONSTRUCTION

DATE

RECEIVED

JUN 29 2010

CITY OF WOODINVILLE
DEVELOPMENT SERVICES

Preliminary-Not for Construction

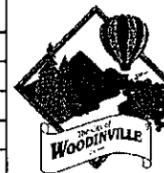
CALL TWO (2) DAYS
BEFORE YOU DIG
1-800-424-5555



10230 NE Potato Dr #400
Edmond, Washington 98033
Phone: (425) 822-4444
Fax: (425) 827-9577
WEB: WWW.OTAK.COM



NO.	REVISION	DATE	BY	CK
1				
2				
3				
4				
5				



CITY OF WOODINVILLE
17301 133rd AVE NE
WOODINVILLE, WA 98072
PHONE: (425) 489-2700
FAX: (425) 489-2705

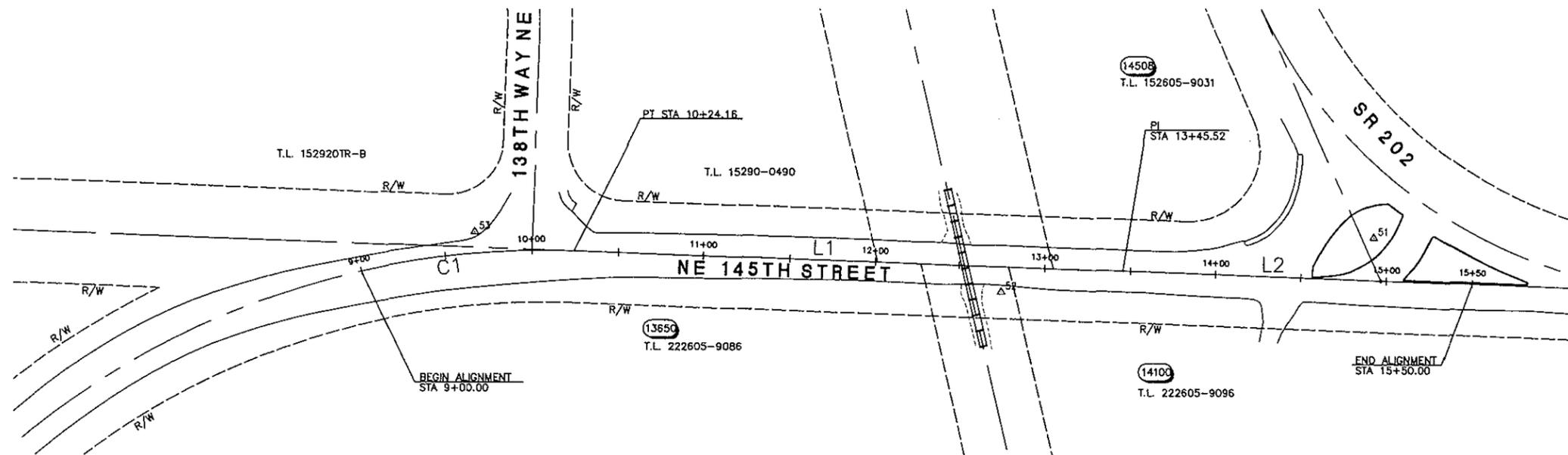
PROJECT INFORMATION

NE 145TH STREET SIDEWALK

SHEET TITLE:

COVER SHEET

DATE: JUNE 2010	CHECKED BY: LM
DESIGNED BY: TMC	PROJECT NO.: 314220
DRAWN BY: CMF	SCALE:
SHEET 1 OF 9	
DRAWING NO.:	



SURVEY MAPPING NOTES

- HORIZONTAL DATUM: WASHINGTON COORDINATE SYSTEM NORTH ZONE (NAD 83/91)
- VERTICAL DATUM: N.A.V.D. 88
- HORIZONTAL CONTROL WAS ESTABLISHED BY A COMBINATION OF FIELD TRAVERSE AND RTK GPS WITH AN ACCURACY THAT MEETS OR EXCEEDS WAC 332-130-090. VERTICAL CONTROL WAS ESTABLISHED BY RTK GPS AND TRIG. LEVELS.
- THE COORDINATES AND ELEVATIONS OF CONTROL POINTS SHALL BE VERIFIED BY THE CONTRACTOR'S SURVEYOR PRIOR TO BEGINNING CONSTRUCTION. DISTANCES, STATIONING & COORDINATES ASSOCIATED WITH THIS DRAWING ARE GRID. TO CONVERT TO GROUND MULTIPLY BY A COMBINED SCALE FACTOR (CSF) OF 1.0003908.
- BEFORE BEGINNING CONSTRUCTION, THE CONTRACTOR SHALL VERIFY THAT EXISTING CONDITIONS ARE AS INDICATED IN THE PLANS AND SPECIFICATIONS.
- ALL LOCATIONS OF EXISTING UTILITIES SHOWN HEREON HAVE BEEN ESTABLISHED BY FIELD SURVEY OR OBTAINED FROM AVAILABLE RECORDS AND SHOULD THEREFOR BE CONSIDERED APPROXIMATE ONLY AND NOT NECESSARILY COMPLETE. IT IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO INDEPENDENTLY VERIFY THE ACCURACY OF ALL UTILITY LOCATIONS SHOWN AND THE FURTHER DISCOVER AND AVOID ANY OTHER UTILITIES NOT SHOWN HEREON WHICH MAY BE AFFECTED BY THE IMPLEMENTATION OF THIS PLAN. UTILITIES WHICH ARE NOT ABANDONED OR REMOVED SHALL BE PROTECTED, SUPPORTED, OR MAINTAINED DURING CONSTRUCTION. THE CONTRACTOR SHALL CONTACT THE UNDERGROUND UTILITIES LOCATIONS SERVICE (1-800-424-5555) AT LEAST 48 HOURS PRIOR TO CONSTRUCTION. THE OWNER AND THE ENGINEER SHALL BE CONTACTED IMMEDIATELY IF A CONFLICT EXISTS.

HORIZONTAL CONTROL TABLE

STATION	NORTHING	EASTING	LENGTH (FT)	BEARING	RADIUS	DELTA
9+00.00	270127.86	1315229.61				
C1			124.16		477.47	14°53'59"
10+24.16	270139.41	1315352.88				
L1			321.36	S87°54'17"E		
13+45.52	270127.66	1315674.03				
L2			204.48	S87°53'17"E		
15+50.00	270120.13	1315878.36				

SURVEY CONTROL

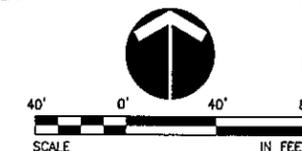
POINT NUMBER	NORTHING	EASTING	ELEVATION	DESCRIPTION
51	270146.94	1315820.98	68.69	PK NAIL W/ WASHER
52	270115.67	1315603.18	95.21	REBAR AND CAP
53	270150.45	1315295.83	114.90	REBAR AND CAP

CALL TWO (2) DAYS
BEFORE YOU DIG
1-800-424-5555

RECEIVED

JUN 29 2010

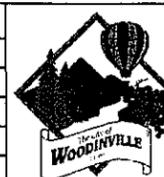
CITY OF WOODINVILLE
DEVELOPMENT SERVICES



Preliminary--Not for Construction



NO.	REVISION	DATE	BY	CK
1				
2				
3				
4				
5				



CITY OF WOODINVILLE
17301 133rd AVE NE
WOODINVILLE, WA 98072
PHONE: (425) 489-2700
FAX: (425) 489-2705

PROJECT INFORMATION
NE 145TH STREET SIDEWALK

SHEET TITLE:
RIGHT-OF-WAY
SURVEY CONTROL
PLAN

DATE: JUNE 2010	CHECKED BY: LM
DESIGNED BY: TMC	PROJECT NO.:
DRAWN BY: CMF	SCALE:
SHEET 2 OF 9	
DRAWING NO.:	

TESC AND DEMOLITION NOTES

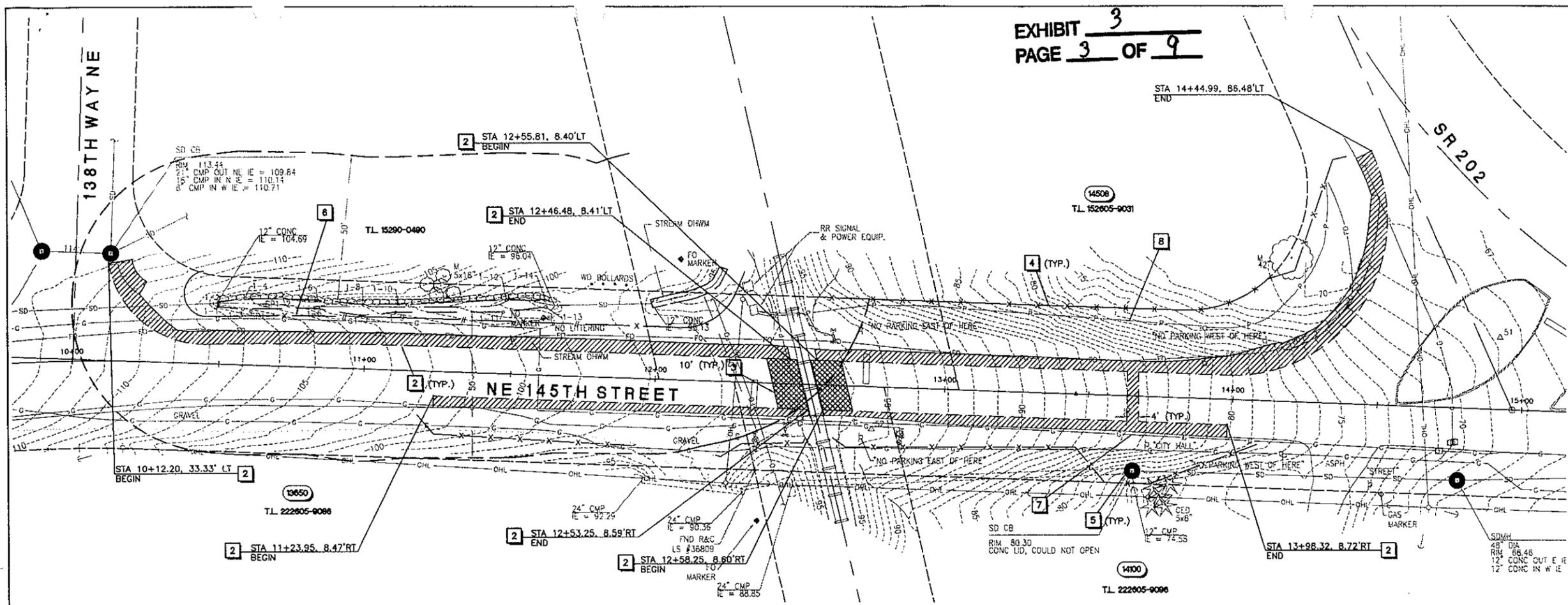
- 1 CONSTRUCTION CENTERLINE, SEE SHEET 2 FOR DETAILS.
- 2 SAWCUT, AND REMOVE EXISTING PAVEMENT, SIDEWALK, AND CURB LIMITS PER PLAN.
- 3 PLANE EXISTING PAVEMENT PER DETAIL ON SHEET 6.
- 4 INSTALL SILT FENCE PER WSDOT STD PLAN I-30.10-00.
- 5 INSTALL INLET PROTECTION PER WSDOT STD PLAN I-40.20-00.
- 6 INSTALL COMBINATION SILT FENCE/HIGH VISIBILITY FENCE PER WSDOT STD PLAN I-30.10-00 AND I-10.10-01.
- 7 POTHOLE PROPOSED STORM AND EXISTING UTILITY CROSSING.
- 8 EXISTING UTILITY TO BE RELOCATED BY OTHERS.

GENERAL TESC NOTES

1. CATCH BASIN INLET PROTECTION SHALL BE PROVIDED AND MAINTAINED AT ALL EXISTING AND PROPOSED CATCH BASINS WITHIN THE PROJECT LIMIT PRIOR TO AND FOR THE DURATION OF CONSTRUCTION OPERATIONS. PROPOSED CATCH BASINS AND PROTECTION MEASURES NOT SHOWN ON TESC PLAN FOR CLARIFICATION.
2. ALL EXISTING TREES ARE TO REMAIN, UNLESS NOTED OTHERWISE. THE CONTRACTOR SHALL NOT REMOVE ANY TREES WITHIN THE WORKING LIMITS OF THE PROJECT NOT IDENTIFIED FOR REMOVAL WITHOUT THE APPROVAL OF THE ENGINEER.
3. SILT FENCE LOCATIONS SHOWN ARE APPROXIMATE AND SHALL BE FIELD VERIFIED AND ADJUSTED TO ACCOMMODATE WORK SCHEDULE AND FIELD CONDITIONS.

LEGEND

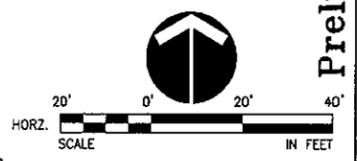
-  PAVEMENT, SIDEWALK, AND CURB REMOVAL
-  PAVEMENT PLANING
-  STORM DRAIN INLET PROTECTION
-  SILT FENCE
-  COMBINATION SILT FENCE/HIGH VISIBILITY CONSTRUCTION FENCE



RECEIVED

JUN 29 2010

CITY OF WOODINVILLE
DEVELOPMENT SERVICES



CALL TWO (2) DAYS
BEFORE YOU DIG
1-800-424-5555

Preliminary-Not for Construction

Plotfile: Jun 29, 2010 - 3:55pm K:\projects\31400\314220\Draw\03.dwg Layout Name: C3

otak
Incorporated
10200 NE Polaris Dr #400
Bellevue, Washington 98003
Phone: (425) 822-4444
FAX: (425) 827-9077
WEB: WWW.OTAK.COM

LORI B. MCFARLAND
STATE OF WASHINGTON
11231
PROFESSIONAL ENGINEER

NO.	REVISION	DATE	BY	CK
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3				
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5				



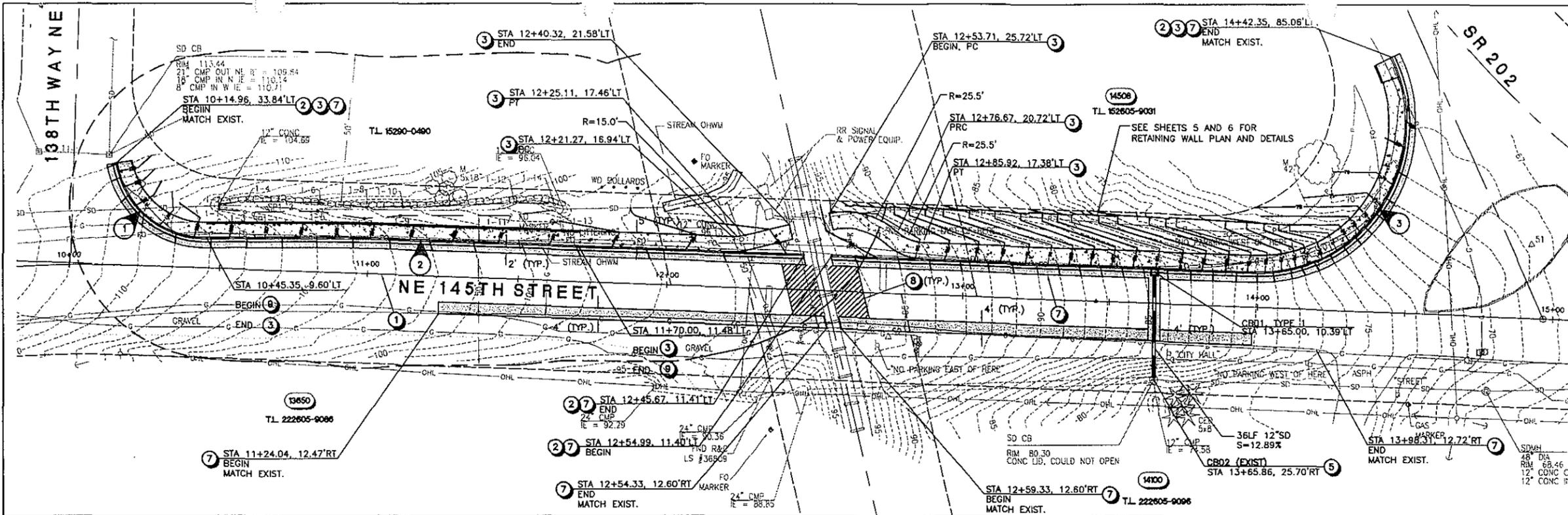
CITY OF WOODINVILLE
17301 133rd AVE NE
WOODINVILLE, WA 98072
PHONE: (425) 489-2700
FAX: (425) 489-2705

PROJECT INFORMATION
NE 145TH STREET SIDEWALK

SHEET TITLE:
TESC AND DEMOLITION

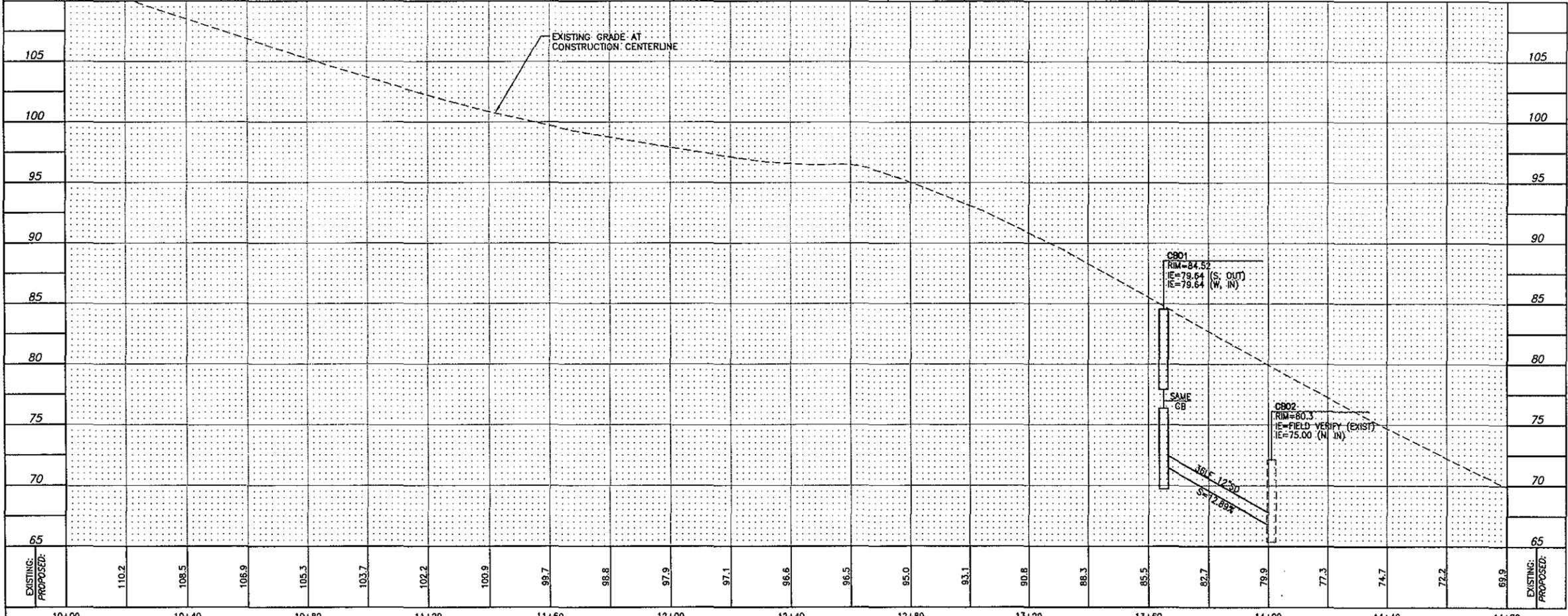
DATE: JUNE 2010	CHECKED BY: LM
DESIGNED BY: TMC	PROJECT NO.: 314220
DRAWN BY: CMF	SCALE:
SHEET 3 OF 9	
DRAWING NO.:	

LIST
No: 1
Med
:DN030
:DR500
:DR500
:DB190
:DR220
:J
:EAL
:D6450
:DU630

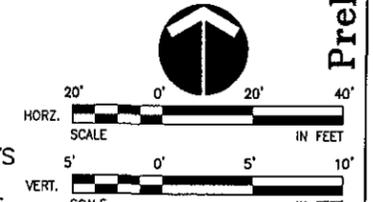


- CONSTRUCTION NOTES**
- 1 CONSTRUCTION CENTERLINE, SEE SHEET 2 FOR DETAILS.
 - 2 INSTALL CEMENT CONCRETE CURB AND GUTTER TYPE A-1 PER COW STD. DETAIL NO. 340.
 - 3 INSTALL CEMENT CONCRETE SIDEWALK PER COW STD. DETAIL NO. 350.
 - 4 INSTALL CEMENT CONCRETE EXTRUDED CURB PER COW STD. DETAIL NO. 341.
 - 5 CONNECT TO EXISTING DRAINAGE STRUCTURE.
 - 6 INSTALL CEMENT CONCRETE CURB RAMP TYPE 4A PER WSDOT STD PLAN F-40.16-00.
 - 7 RECONSTRUCT ASPHALT PAVEMENT PER TYPICAL ROADWAY SECTION ON SHEET 7.
 - 8 REPAIR PAVEMENT PER PAVEMENT PLANING DETAIL ON SHEET 7.
 - 9 INSTALL SIDEWALK PER BACK OF WALK-WETLAND AREA DETAIL ON SHEET 7.

EXHIBIT 3
PAGE 4 OF 9



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DEVELOPMENT SERVICES



CALL TWO (2) DAYS
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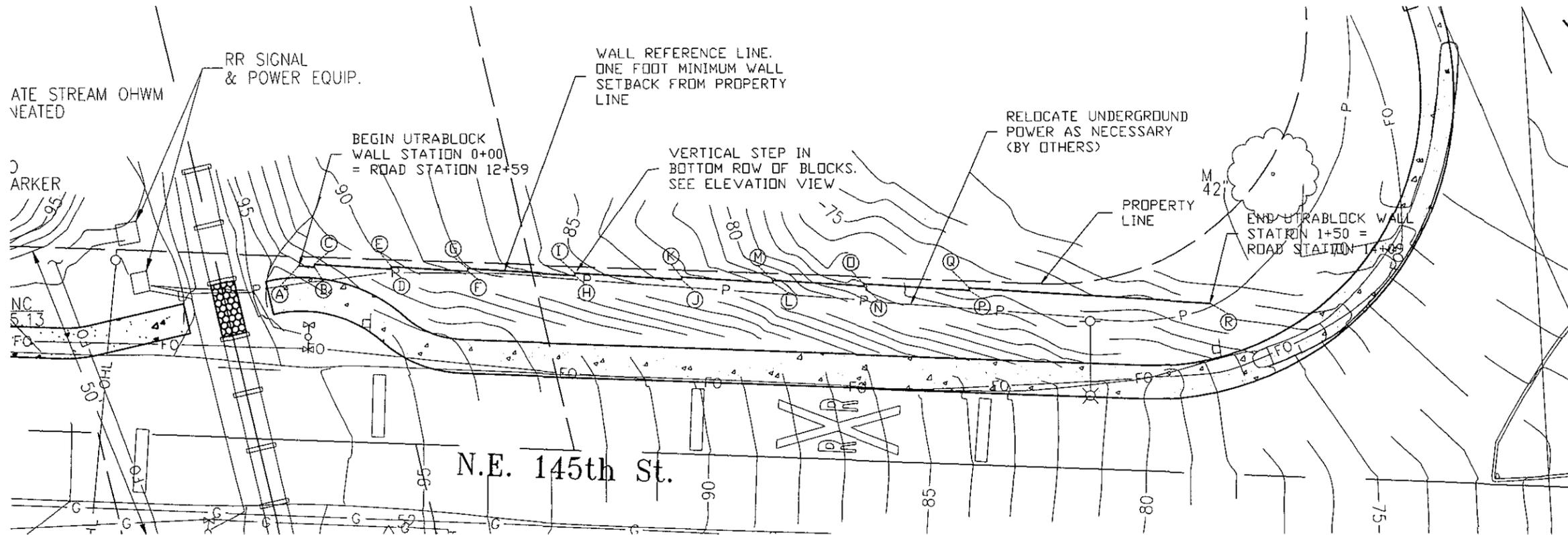
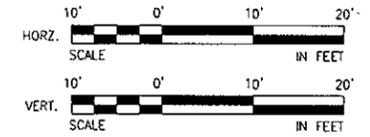


CITY OF WOODINVILLE
17301 133rd AVE NE
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PHONE: (425) 489-2700
FAX: (425) 489-2705

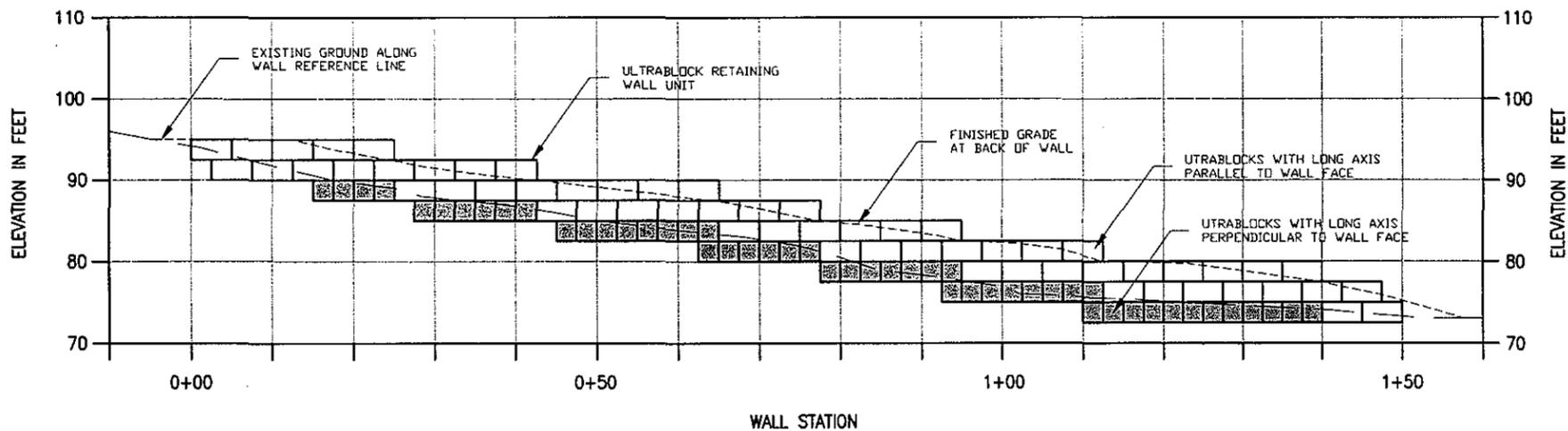
PROJECT INFORMATION
NE 145TH STREET SIDEWALK

SHEET TITLE: SIDEWALK PLAN AND PROFILE		DATE: JUNE 2010	CHECKED BY: LM
DESIGNED BY: TMC	PROJECT NO.: 314220	DRAWN BY: CMF	SCALE:
SHEET 4 OF 9		DRAWING NO.:	

Preliminary - Not for Construction



PLAN VIEW



ELEVATION VIEW

WALL STATION	POINT IDENTIFICATION	NORTHING	EASTING	ELEVATION (FT)
	A			
	B			
	C			
	D			
	E			
	F			
	G			
	H			
	I			
	J			
	K			
	L			
	M			
	N			
	O			
	P			
	Q			
	R			

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JUN 29 2010

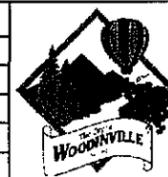
CITY OF WOODINVILLE
DEVELOPMENT SERVICES

CALL TWO (2) DAYS
BEFORE YOU DIG
1-800-424-5555

Terracon
Consulting Engineers and Scientists

21905 64th Avenue W., Ste 100 Mountlake Terrace, WA 98043
PH. (425) 771-3304 FAX. (425) 771-3549

NO.	REVISION	DATE	BY	CK
1				
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CITY OF WOODINVILLE
17301 133rd AVE NE
WOODINVILLE, WA 98072
PHONE: (425) 489-2700
FAX: (425) 489-2705

PROJECT INFORMATION

NE 145TH STREET SIDEWALK

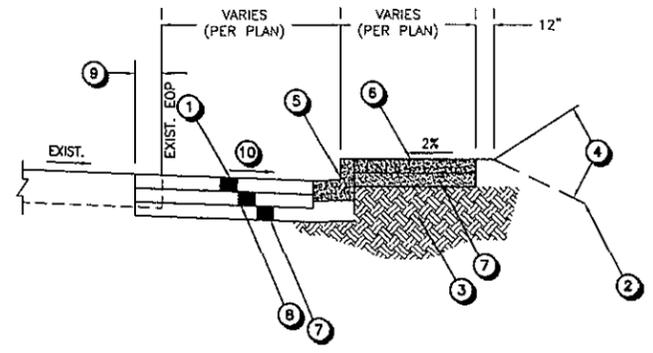
SHEET TITLE:

RETAINING WALL
PLAN AND PROFILE

DATE:	CHECKED BY:
JUNE 2010	JBT
DESIGNED BY:	PROJECT NO.:
JPG	81105046
DRAWN BY:	SCALE:
JPG	AS SHOWN
SHEET 5 OF 6	
DRAWING NO.:	

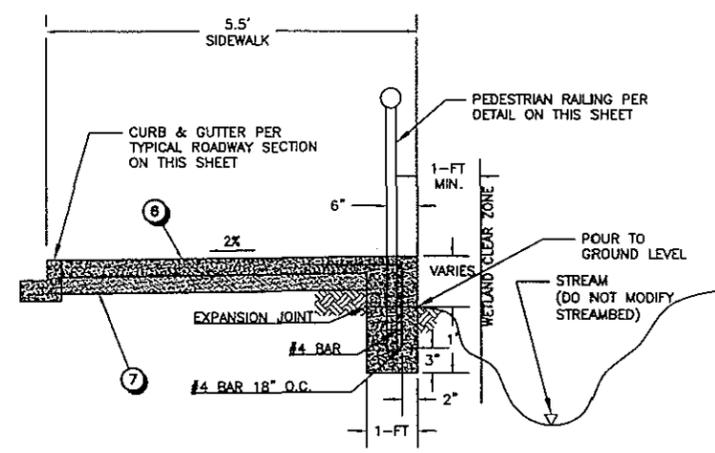
60 Percent Preliminary - Not for Construction

LIST
Scale: 1
Sheet
BLK
SCALE

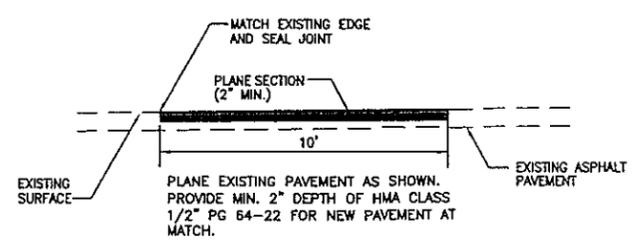


- 1 3" HMA, CLASS 1/2" PG 64-22
- 2 BLOCK WALL, LOCATION PER PLAN.
- 3 SUBGRADE COMPACTED TO 95% OF MAXIMUM DENSITY PER ASTM D-1557. SUBGRADE TO CONSIST OF UNDISTURBED NATIVE MATERIALS OR STRUCTURAL FILL. STRUCTURAL FILL MATERIAL TO CONSIST OF SUITABLE ON-SITE MATERIALS OR GRAVEL BORROW AS DESCRIBED IN SPECIFICATIONS.
- 4 FINISHED GRADE NOT STEEPER THAN 2H:1V UNLESS NOTED OTHERWISE; MATCH EXISTING GRADE.
- 5 CEMENT CONCRETE CURB AND GUTTER, CURB TYPE PER PLAN.
- 6 CEMENT CONCRETE SIDEWALK, LOCATION AS SPECIFIED ON PLANS.
- 7 4" CRUSHED SURFACING TOP COURSE.
- 8 5" ASPHALT TREATED BASE.
- 9 SAWCUT 24" MIN. FROM EDGE OF EXISTING PAVEMENT, UNLESS OTHERWISE SHOWN ON PLAN.
- 10 MATCH EXISTING ROADWAY CROSS-SLOPE UNLESS OTHERWISE SHOWN ON PLAN.

TYPICAL ROADWAY SECTION
NOT TO SCALE



BACK OF WALK - WETLAND AREA
NOT TO SCALE



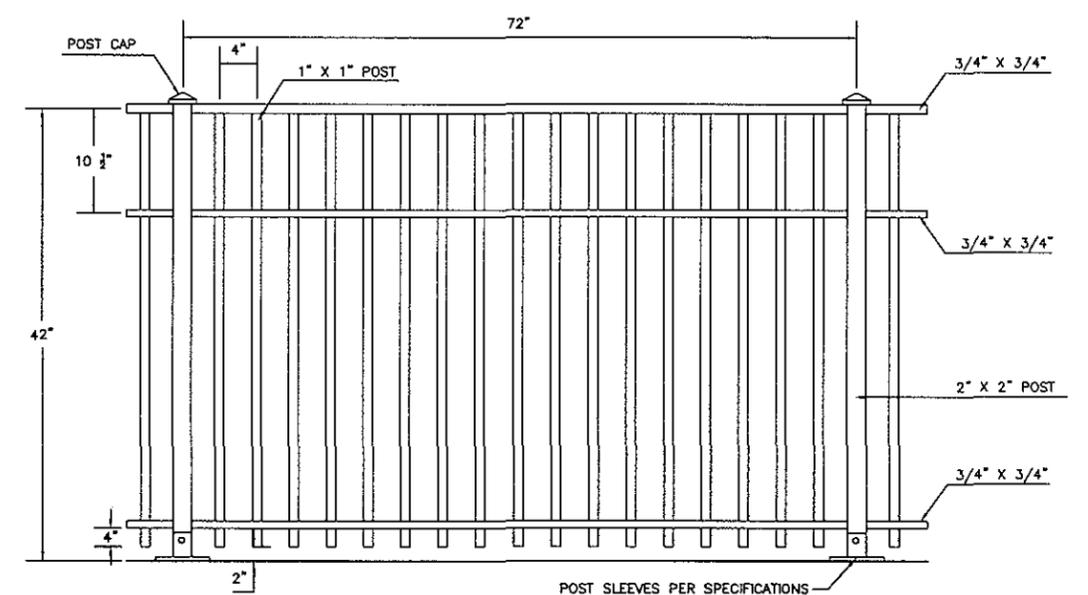
PAVEMENT PLANING AND PATCHING
NOT TO SCALE

CURB RETURN			
PC STA	10+15.0, 33.8'LT	FL	113.07
1/4 Δ		FL	111.13
1/2 Δ		FL	109.88
3/4 Δ		FL	109.03
PRC STA	10+45.4, 9.6'LT	FL	108.12
Δ	81°54'54"		
R	30.0'		
L	42.9'		

CURB RETURN			
PC STA	10+45.4, 9.6'LT	FL	108.12
1/4 Δ		FL	106.58
1/2 Δ		FL	105.00
3/4 Δ		FL	103.50
PT STA	11+18.9, 11.5'LT	FL	102.10
Δ	03°07'27"		
R	1350.0'		
L	73.6'		

CURB RETURN			
PC STA	13+98.3, 11.3'LT	FL	80.17
1/4 Δ		FL	75.17
1/2 Δ		FL	70.42
3/4 Δ		FL	68.22
PT STA	14+42.4, 85.1'LT	FL	67.60
Δ	118°25'25"		
R	50.0'		
L	103.3'		

EXHIBIT 3
PAGE 7 OF 9



NOTE:
SEE SPECIFICATIONS FOR FINISHING REQUIREMENTS AND ADDITIONAL INFORMATION.

HAND RAIL DETAIL
NOT TO SCALE

GENERAL NOTES

- 1. ALL DEPTHS SHOWN ARE MINIMUM COMPACTED DEPTHS.
- 2. SEE ROADWAY AND DRAINAGE PLANS FOR LAYOUT.
- 3. THE FINISHED GRADE CONTOURS SHOWN CORRESPOND TO FINISHED PAVEMENT GRADES AND FINISHED TRANSITION GRADES. SPOT ELEVATIONS SHOWN ARE TO TOP OF PAVEMENT OR FLOWLINE UNLESS OTHERWISE NOTED.
- 4. ALL COMPACTION SHALL BE 95% OF MAXIMUM DENSITY PER ASTM D-1557.

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JUN 29 2010

CITY OF WOODINVILLE
DEVELOPMENT SERVICES

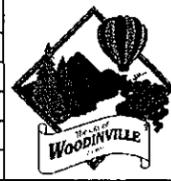
CALL TWO (2) DAYS
BEFORE YOU DIG
1-800-424-5555

Preliminary - Not for Construction

Project: 314220\314220.dwg\07.dwg User: edomb Date: Jun 28, 2010 10:33:59am



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CITY OF WOODINVILLE
17301 133rd AVE NE
WOODINVILLE, WA 98072
PHONE: (425) 489-2700
FAX: (425) 489-2705

PROJECT INFORMATION
NE 145TH STREET SIDEWALK

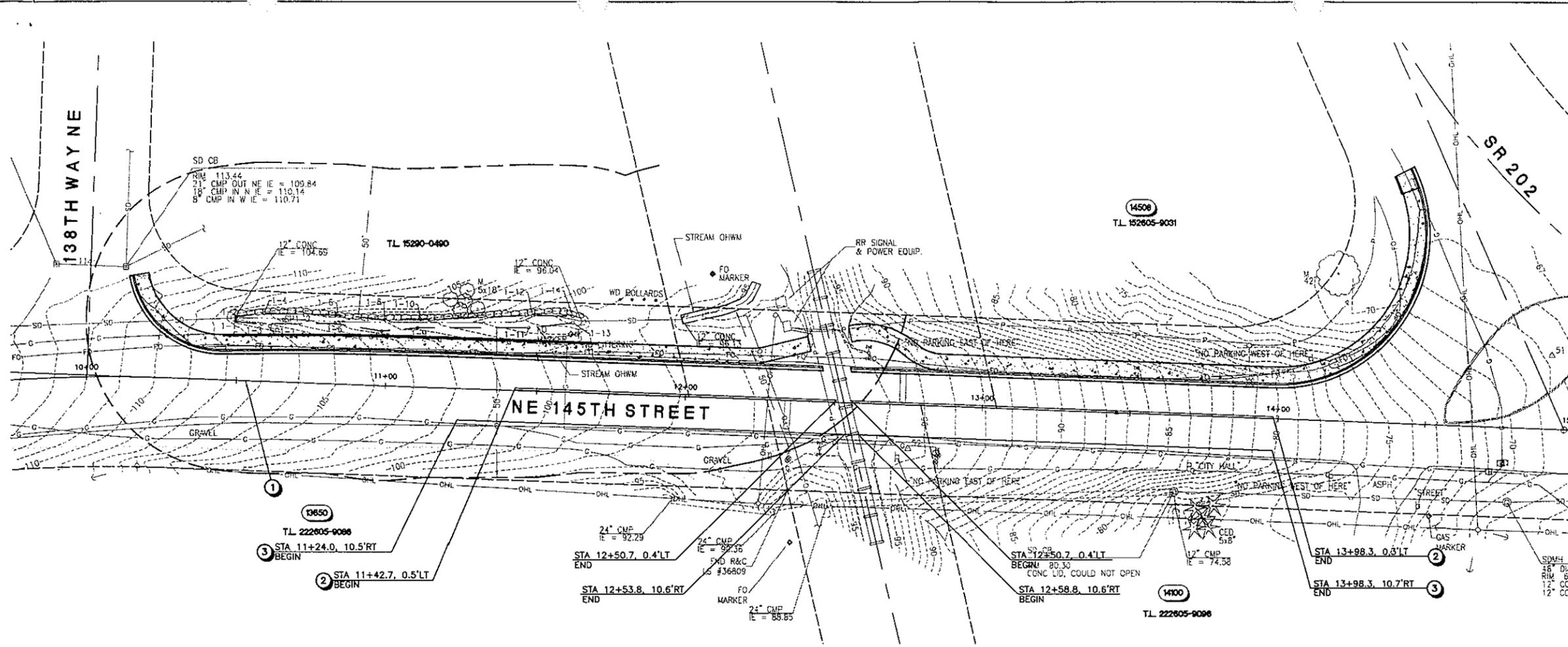
SHEET TITLE:
TYPICAL SECTION AND DETAILS

DATE: JUN 2010	CHECKED BY: LM
DESIGNED BY: TMC	PROJECT NO: 314220
DRAWN BY: CMF	SCALE:
SHEET 7 OF 9	
DRAWING NO.:	

CONSTRUCTION NOTES

- ① CONSTRUCTION CENTERLINE. SEE SHEET 2 FOR DETAILS.
- ② DOUBLE YELLOW CENTERLINE PER WSDOT STD PLAN M-20.10-01.
- ③ WHITE EDGE LINE PER WSDOT STD PLAN M-20.10-01.

EXHIBIT **3**
PAGE **8** OF **9**

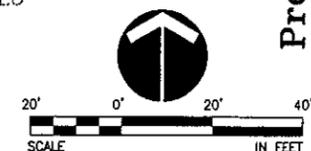


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BEFORE YOU DIG
1-800-424-5555

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JUN 29 2010

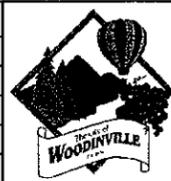
CITY OF WOODINVILLE
DEVELOPMENT SERVICES



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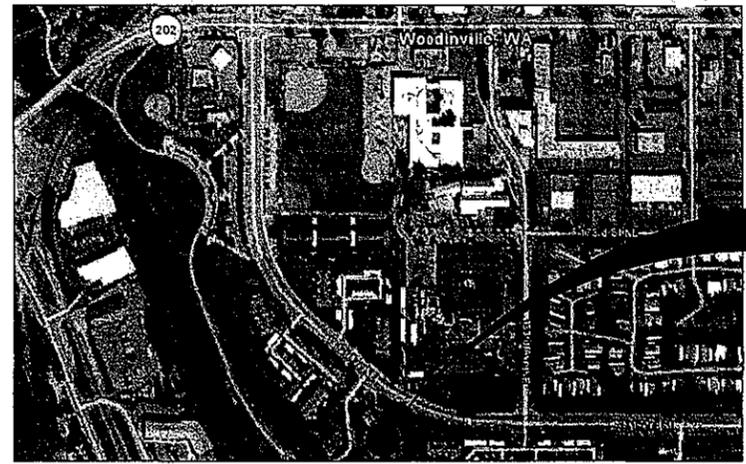
CITY OF WOODINVILLE
17301 133rd AVE NE
WOODINVILLE, WA 98072
PHONE: (425) 489-2700
FAX: (425) 489-2705

PROJECT INFORMATION
NE 145TH STREET SIDEWALK

SHEET TITLE:
PAVEMENT MARKING PLAN AND DETAILS

DATE: JUNE 2010	CHECKED BY: LM
DESIGNED BY: TMC	PROJECT NO.: 314220
DRAWN BY: CMF	SCALE:
SHEET 8 OF 9	
DRAWING NO.:	

Plotfile: Jun 28, 2010 - 3:35pm K:\project\31400\314220\Draw\CB.dwg Layout Name: CB



PROJECT SITE:
13201 NE 171ST STREET

PLANTING SCHEDULE

TREES					
SCIENTIFIC NAME	COMMON NAME	SIZE	SPACING	QUANTITY	
ABIES GRANDIS	GRAND FIR	2 GAL	8 FT O.C.	3	
PICEA SITCHENSIS	SITKA SPRUCE	2 GAL	8 FT O.C.	3	
PINUS CONTORTA VAR CONTORTA	SHORE PINE	2 GAL	8 FT O.C.	7	
PSEUDOTSUGA MENZIESII	DOUGLAS FIR	2 GA	8 FT O.C.	8	
THUJA PUCATA	WESTERN RED CEDAR	2 GAL	8 FT O.C.	4	
SHRUBS					
SCIENTIFIC NAME	COMMON NAME	SIZE	SPACING	QUANTITY	
ACER CIRCINATUM	VINE MAPLE	2 GAL	4 FT O.C.	5	
HOLODISCUS DISCOLOR	OCEAN SPRAY	1 GAL	4 FT O.C.	5	
MAHONIA AQUIFOLIUM	TALL OREGON GRAPE	1 GAL	4 FT D.C.	5	
PHILADELPHUS LEWISII	MOCK ORANGE	1 GAL	4 FT O.C.	10	
PHYSOCARPUS CAPITATUS	PACIFIC NINEBARK	1 GAL	4 FT O.C.	5	
RHAMNUS PURSHIANA	CASCARA	1 GAL	4 FT O.C.	5	
ROSA NUTKANA	NOOTKA ROSE	1 GAL	4 FT O.C.	16	
ROSA PISOCARPA	WILD CLUSTERED ROSE	1 GAL	4 FT O.C.	8	
RUBUS PARVIFLORUS	THIMBLEBERRY	1 GAL	4 FT O.C.	12	
RUBUS SPECTABILIS	SALMONBERRY	1 GAL	4 FT O.C.	5	
SALIX SITCHENSIS	SITKA WILLOW	1 GAL	4 FT O.C.	5	
SYMPHORICARPOS ALBUS	SNOWBERRY	1 GAL	4 FT O.C.	10	

REED CANARYGRASS CONTROL AND PLANT INSTALLATION SCHEDULE

REED CANARYGRASS (RCG) SHALL BE CONTROLLED BEFORE PLANTS ARE INSTALLED. USE A COMBINATION OF MOWING, HERBICIDE APPLICATION, AND TILLING ACCORDING TO THE SCHEDULE LISTED BELOW. RED-OSIER DOGWOOD AND ASPEN SHALL BE PROTECTED FROM MOWING, HERBICIDE APPLICATION, AND TILLING. RCG WITHIN 5-FEET OF RED-OSIER DOGWOOD AND ASPEN SHALL BE DUG OUT BY HAND INSTEAD OF BEING SPRAYED AND TILLED. PLANTS SHALL BE INSTALLED THIS FALL, ONCE THE RAINY SEASON HAS BEGUN.

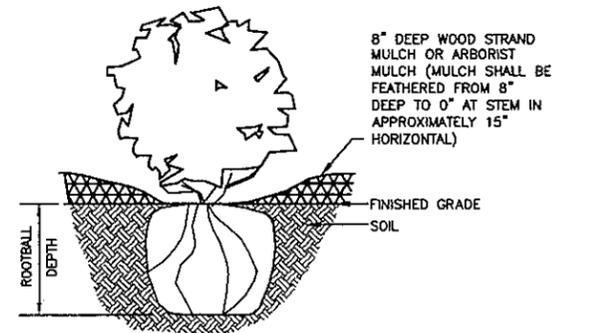
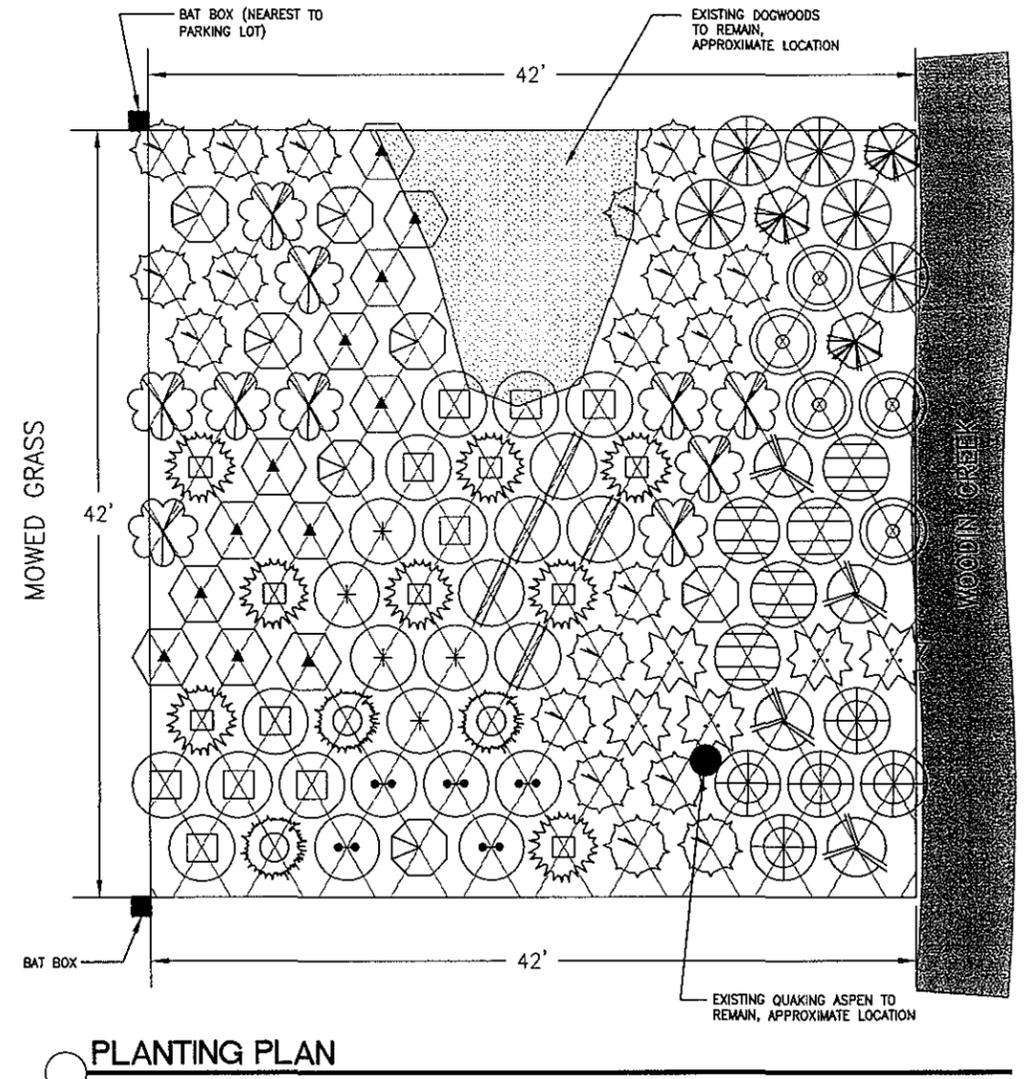
*ONLY HERBICIDES APPROVED FOR USE IN AQUATIC AREAS (E.G. RODEO®, AQUAMASTER®) MAY BE USED. LICENSED APPLICATORS WITH ENDORSEMENTS FOR AQUATIC PEST CONTROL SHALL APPLY HERBICIDES.

Approximate Schedule	
TARGET DATE	Action
July 1 (or earlier)	Mow RCG in planting area to approximately 3 inches or shorter.
July 22 (approximately 3 weeks after mowing)	When RCG is 6 to 10 inches tall, apply herbicide*.
August 19 (approximately 4 to 5 weeks after application)	Re-apply herbicide* to RCG resprouts.
September 2 (at least 2 weeks after reapplication)	Till planting area to break up thatch.
At least one week after tilling	Apply 8 inches of arborist mulch to portions of planting area that will not flood in the winter. This can be done either before or after plant installation.
Mid-October (once rains have started)	Install plants.

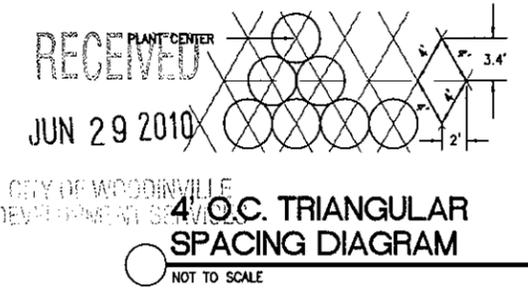
RECOMMENDED PERFORMANCE STANDARDS

SURVIVAL: THERE SHALL BE A MINIMUM OF 80 PERCENT SURVIVAL OF INSTALLED PLANTS DURING THE MONITORING PERIOD.

INVASIVES: THERE SHALL BE NO MORE THAN 10 PERCENT COVER BY NON-NATIVE INVASIVE/AGGRESSIVE PLANTS IN THE PLANTING AREA DURING THE MONITORING PERIOD. NON-NATIVE INVASIVE/AGGRESSIVE PLANT SPECIES INCLUDE: REED CANARYGRASS (PHALARIS ARUNDINACEA); HIMALAYAN AND EVERGREEN BLACKBERRIES (RUBUS ARMENIACUS AND R. LACINIATUS); SCOT'S BROOM (CYTISUS SCOPARIUS); FIELD BINDWEED (CONVOLVULUS ARVENSIS) AND MORNING GLORY (CALYSTEGIA SEPIUM); BITTERSWEET NIGHTSHADE (SOLANUM DULCAMARA); ETC.



TREE AND SHRUB PLANTING DETAIL
NOT TO SCALE



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10/23/2010 10:35:59am K:\project\31400\314220\Draw\13.dwg Layout Name: L1
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CITY OF WOODINVILLE
17301 133rd AVE NE
WOODINVILLE, WA 98072
PHONE: (425) 489-2700
FAX: (425) 489-2705

PROJECT INFORMATION
NE 145TH STREET SIDEWALK
OFF-SITE MITIGATION

SHEET TITLE:
BUFFER MITIGATION
AT WOODIN CREEK
PARK

DATE: JUN 2010	CHECKED BY: LM
DESIGNED BY: TLE	PROJECT NO.: 314220
DRAWN BY: TLE	SCALE: PER GRAPHIC
SHEET 9 OF 9	
DRAWING NO.:	



NOTICE OF APPLICATION
City of Woodinville

EXHIBIT 4
PAGE 1 OF 11

Development Services Department
425-489-2754 • 17301 133rd Avenue NE • Woodinville, WA 98072
Desk Hours • Monday – Thursday 7:30am – 5:00pm • Friday 7:30am – 4:00pm

Project Name: NE 145th Street Walkway

Application: On June 2, 2010, the City of Woodinville submitted an application for a SEPA Determination and Critical Areas Exception to the City of Woodinville. The application was deemed complete on June 28, 2010. This application and all supporting documents are available at City Hall for public viewing under File Number SEP10019.

Project Description: Installation of a new walkway along NE 145th Street, from 138th Way NE to Woodinville-Redmond Road NE. The project includes installation of approximately 440 linear feet of sidewalk along the north side of NE 145th Street, potential crossing of the railroad track on NE 145th Street, and installation of a 130 foot long retaining wall. SEPA is required due to the presence of an unnamed stream.

Project Location: NE 145th Street Right-of-Way between 138th Way NE and Woodinville-Redmond Road NE

Environmental Documents prepared or available for the Project: SEPA Checklist, Mitigation Concept Memorandum

Permits included in the application and, if applicable, a list of any studies requested under RCW 36.70B.070 or RCW 36.70B.090 (including any required State and Federal permits): SEPA Determination, Critical Area Exception

Other permits not included in the application to the extent known by the City of Woodinville: State or federal permits, as applicable

Applicable Policies and Requirements: The project will be reviewed for consistency with the following policies, standards, and regulations:

- | | |
|--|--|
| <input checked="" type="checkbox"/> Woodinville Comprehensive Plan | <input type="checkbox"/> Multi-family Design Guidelines |
| <input checked="" type="checkbox"/> Woodinville Municipal Code | <input type="checkbox"/> Shoreline Master Plan |
| <input type="checkbox"/> Community Urban Forestry Plan | <input type="checkbox"/> Transportation Improvement Plan |
| <input type="checkbox"/> International Building Code | <input checked="" type="checkbox"/> Transportation Infrastructure Standards and Specifications |
| <input type="checkbox"/> Industrial Design Guidelines | <input checked="" type="checkbox"/> Applicable State and Federal regulations |
| <input type="checkbox"/> Downtown Little Bear Creek Corridor Master Plan | |

Comment Period: The application, supporting documents, and studies are available for review at the City of Woodinville, 17301 133rd Avenue NE, Woodinville, WA 98072. Contact: Erin Martindale, Project Manager, at (425) 489-2754, Ext. 2283. The public is invited to comment on the project by submitting written comments to the Development Services Department at the above address or by emailing the Project Manager at July 21, 2010 by 4:00 p.m. on the 'End of Comment Period' date noted below.

Date of Application: June 2, 2010

NOTICE OF APPLICATION
City of Woodinville

EXHIBIT 4
PAGE 2 OF 11

Development Services Department

425-489-2754 • 17301 133rd Avenue NE • Woodinville, WA 98072

Desk Hours • Monday – Thursday 7:30am – 5:00pm • Friday 7:30am – 4:00pm

Date of Notice of Complete Application: June 28, 2010

Date Notice of Application Issued: July 5, 2010

End of Comment Period: July 21, 2010

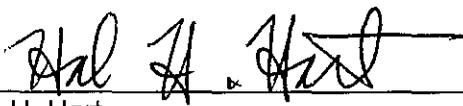
Closed Record Hearing: The Woodinville Hearing Examiner will hold a closed record hearing on the critical area exception, where he will approve, approve with conditions, or deny the proposal. The date of the hearing has not yet been determined.

Appeals: The final decision on this project is appealable to the City Hearing Examiner. An appeal must be filed within 14 days after the final decision on the project is issued. Appellants must be a party of record. To receive additional information on appeals for this application, please contact the Project Manager listed below.

Contact Person: Erin Martindale, Project Manager

Phone Number: (425) 489-2754, Ext. 2283

Email address: erinm@ci.woodinville.wa.us

Signature:  Date: July 5, 2010
Hal H. Hart

Methods of Notice:

Published

Posted: 1) In-House, 2) Post Office & 3) Website

Post Site

Mailed: Applicant, Property Owners within 500', Parties of Record



The Woodinville Weekly | The Northlake News | The Valley View
 13342 NE 175th Street | P.O. Box 587 | Woodinville, WA 98072
 p. 425.483.0606 | f. 425.486.7593
 www.nwnews.com

EXHIBIT 4
 PAGE 4 OF 11

AFFIDAVIT OF PUBLICATION

State of Washington }
 County of King }

Julie Boselly, being first duly sworn on oath
 deposes and says that she is the publisher of The
 Woodinville Weekly, a legal newspaper by order of
 the Superior Court of King County. That the
 annexed is a true copy of PN-NOTICE OF APP /
 WALKWAY as it was published in regular issues
 (and not in supplement form) of said newspaper
 once a week for 1 week(s)

beginning on the 5 day of JULY, 2010
 and ending on the 5 day of JULY, 2010

both dates inclusive and that such newspaper was
 regularly distributed to its subscribers during all of
 said period. That the amount of the fee charged for
 each publication is \$77.00 at the rate of \$11.00 per
 column inch for each insertion. The sum total for all
 publications is \$77.00.

Julie Boselly
 Julie Boselly

Subscribed and sworn to before me this 7th
 day of July, 2010.

Karin L. Hopper
 Karin L. Hopper

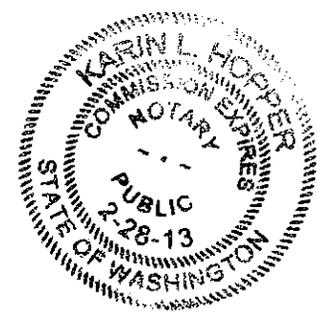
Notary Public in and for the State of Washington.
 Residing at Woodinville, Washington.
 My Commission Expires: 2/28/2013

**City of Woodinville
 Notice of Application Summary**

Project Name: NE 145th Street Walkway
Applicant: City of Woodinville
Application Date: June 2, 2010
Project Description: Installation of a new walkway along north side of NE 145th Street from 138th Way NE to Woodinville-Redmond Road NE, as well as construction of a retaining wall.
Location: NE 145th Street right-of-way.

Environmental documents prepared for the proposal: Environmental Checklist, Mitigation Concept Memorandum. The application will be reviewed for consistency with Woodinville Comprehensive Plan, Municipal Code, and Infrastructure Standards. Required approvals include a SEPA Determination and Critical Area Exception. The public is invited to comment on the project by submitting written comments to the Planning Department at the above address by 4:00 p.m. on Wednesday, July 21, 2010. Upon completion of project review, the City will issue a SEPA Determination and the proposed application will be approved, approved with conditions, or denied. The Hearing Examiner will hold a closed record hearing on the critical area exception. You may request a copy of the final decision on the project in writing. There is no appeal of this project at this time; however appeals of project decisions shall be filed in accordance with WMC 17.07-17.17. The complete Notice of Application includes further information concerning your rights to receive notice and participate in any required hearings for the project and your appeal rights. You may review the complete Notice of Application and the project application at City Hall. To obtain a complete Notice of Application or to provide comments, contact the Project Manager, Erin Martindale at (425) 877-2283 or erinm@ci.woodinville.wa.us

Published July 5th, 2010



1529200220

LAU MAGDALENE
14637 138TH WAY NE
WOODINVILLE, WA 98072

1529200430

MAGUIRE VIRGINIA J
14805 137TH LN NE
WOODINVILLE, WA 98072

1529200140

MIYAHIRA ROBERT N+DARLENE J
13618 NE 146TH LN
WOODINVILLE, WA 98072

1529200170

NEUBERGER LAUREN R
13602 NE 146TH LN
WOODINVILLE, WA 98072

1526059038

NOVELTY HILL PROPERTIES LLC
14710 WOODINVILLE-REDMOND RD
WOODINVILLE, WA 98072

1529200200

OTTESON JUDY A
14645 138TH WAY NE
WOODINVILLE, WA 98072

1529200250

PENDLETON CHRISTOPHER M
14632 138TH AVE NE
WOODINVILLE, WA 98072

1526059042

REDHOOK ALE BREWERY INC
14066 NE 145TH ST
WOODINVILLE, WA 98072

1529200370

SATTERFIELD CHARLES D
14820 137TH LN NE
WOODINVILLE, WA 98072

1530900240

SCHUMACHER SHANNAN LEIGH+MA
13517 NE 148TH ST
WOODINVILLE, WA 98072

1530900460

LIEN JEAN T
14626 136TH PL NE
WOODINVILLE, WA 98072

1530900480

MERRITT LISA W
14614 136TH PL NE
WOODINVILLE, WA 98072

1529200360

MORRILL ROGER K+WAMBACH MAR
14816 137TH LN NE
WOODINVILLE, WA 98072

1529200210

NI XUDONG+REN JUNJUN
14643 138TH WAY NE
WOODINVILLE, WA 98072

1529200090

NOVOTNY BERTHA
13625 NE 146TH LN
WOODINVILLE, WA 98072

1530900500

PAGANO LOUIS M+KRISTI M
13439 NE 146TH ST
WOODINVILLE, WA 98072

1530900230

POWERS CRAIG C
14604 135TH CT NE
WOODINVILLE, WA 98072

1530900220

REES C THEODORA+JOHN T
14606 135TH CT NE
WOODINVILLE, WA 98072

1529200440

SAVILLE JANET & STANLEY
14803 137TH LN NE
WOODINVILLE, WA 98072

1526059055

SEATTLE CITY OF
PO BOX 34018
SEATTLE, WA 98124

1529200340

LONG BRENDA L
14810 137TH LN NE
WOODINVILLE, WA 98072

1530900520

MILLER JOHN&SALWA H EL-ET
13433 NE 146TH ST
WOODINVILLE, WA 98072

2226059064

MUELLER MICHAEL J
13611 NE 145TH ST
WOODINVILLE, WA 98072

1526059096

NOVELTY HILL PROPERTIES LLC
1000 2ND AVE #3700
SEATTLE, WA 98104

1530900450

ORRIS VICTOR E+M ANN
13516 NE 148TH ST
WOODINVILLE, WA 98072

1529200040

PARKES EILEN M
13613 NE 146TH LN
WOODINVILLE, WA 98072

1526059121

REDHOOK ALE BREWERY INC
1000 2ND AVE #3700
SEATTLE, WA 98104

1530900470

ROSS CATHERINE R
14624 136TH PL NE
WOODINVILLE, WA 98072

1530900200

SCHULTZ ROBERT J & MARY S
14622 135TH CT NE
WOODINVILLE, WA 98072

1529200160

SHINODA MASAHIKO+TAKAKO
13604 NE 146TH LN
WOODINVILLE, WA 98072

1526059019

ASCENTIA WINE ESTATES LLC
14030 NE 145TH ST
WOODINVILLE, WA 98072

1529200050

BOHL MICHAEL J & SALLY J
13615 NE 146TH LN
WOODINVILLE, WA 98072

2226059100

BRAMBLE BUMP LLC
14404 137TH PL NE
WOODINVILLE, WA 98072

1529200120

CARSON PAUL N
13626 NE 146TH LN
WOODINVILLE, WA 98072

1529200080

DUFFIELD MICHAEL J
13623 NE 146TH LN
WOODINVILLE, WA 98072

1529200130

GIOANNI FABIEN B
13624 NE 146TH LN
WOODINVILLE, WA 98072

1529200100

GRIFFIN MICHAEL W+HELEN H
13627 NE 146TH LN
WOODINVILLE, WA 98072

1530900530

HAGEN ALBERT J+TAMI D
13431 NE 146TH ST
WOODINVILLE, WA 98072

1529200180

HUMPHREY RONALD L JR+AYAKO
14649 138TH WAY NE
WOODINVILLE, WA 98072

2226059085

JORGENSEN WILLIAM ALAN+JEAN
14313 137TH PL NE
WOODINVILLE, WA 98072

1529200150

BERGER ANNA
13616 NE 146TH LN
WOODINVILLE, WA 98072

1529200260

BOHNE ROGER L+JOAN P KELLEH
14634 138TH AVE NE
WOODINVILLE, WA 98072

1529200010

BUNTTING LEROY R
13502 NE 146TH ST
WOODINVILLE, WA 98072

1529200350

DE ARAUJO MARCELO+JANICE AL
14814 137TH LN NE
WOODINVILLE, WA 98072

1530900440

FISHER JANE A+WILLIAM G
13514 NE 148TH ST
WOODINVILLE, WA 98072

1529200270

GORD ROBERT & RANDELL L
14636 138TH AVE NE
WOODINVILLE, WA 98072

1530900140

GRIFFITHS LARRY M
14601 135TH CT NE
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1530900210

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14620 135TH CT NE
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ISHII LINDA L
13621 NE 146TH LN
WOODINVILLE, WA 98072

1529200310

KIDD GEOFFREY
14802 137TH LN NE
WOODINVILLE, WA 98072

1526059023

PAYNE THOMAS
403 GARFIELD ST. #20
TACOMA, WA 98444

1529200190

BRADY MICHAEL D+LIBAO JUNE
14647 138TH WAY NE
WOODINVILLE, WA 98072

1529200110

BUPP MARTHA M
13629 NE 146TH LN
WOODINVILLE, WA 98072

1529200420

DUDSIC JEFFREY A+LO-CHI LIN
14815 137TH LN NE
WOODINVILLE, WA 98072

1529200280

GILMAN TIMOTHY T
14638 138TH WAY NE
WOODINVILLE, WA 98072

1529200230

GRICHEL DIETMAR F
14628 138TH AVE NE
WOODINVILLE, WA 98072

1530900250

HADLEY ROBERT
13515 NE 148TH ST
WOODINVILLE, WA 98072

1529200240

HUBER LOIS K
14630 138TH AVE NE
WOODINVILLE, WA 98072

1529200030

JOHNSON BRETT
13611 NE 146TH LN
WOODINVILLE, WA 98072

1529200490

KING COUNTY
500 4TH AVE
SEATTLE, WA 98104

1530900150

SLOAN LAWRENCE N+WESTBROOK
14603 135TH CT NE
WOODINVILLE, WA 98072

2226059076

STIMSON LANE WINE & SPIRITS
PO BOX 1976
WOODINVILLE, WA

1529200060

TREGIDGA JOHN D
13619 NE 146TH LN
WOODINVILLE, WA 98072

1529200290

VISSE MICHAEL A+LISA A
14640 138TH WAY NE
WOODINVILLE, WA 98072

2226059011

WERTHERMER M J
14312 132ND NE
WOODINVILLE, WA 98072

1529200020

YOUNG DIANNE M
13609 NE 146TH LN
WOODINVILLE, WA 98072

2226059086

STIMSON LANE WINE & SPIRITS
13650 NE 145TH ST
WOODINVILLE, WA 98072

1529200300

TEMPLETON RANDALL S+LAURA
HADLEY
14642 138TH AVE NE
WOODINVILLE, WA 98072

1526059016

UREN NICK & KATHERINE
PO BOX 38
WOODINVILLE, WA 98072

2226059006

WASHINGTON TRUST BANK
601 UNION ST #4747
SEATTLE, WA 98101

1529200330

WEST CHRISTIAN J+LAURIE L K
14808 137TH LN NE
WOODINVILLE, WA 98072

2226059092

STIMSON LANE WINE & SPIRITS
14111 NE 115TH ST
WOODINVILLE, WA 98034

1530900510

TRAPP CAROL
13437 NE 146TH ST
WOODINVILLE, WA 98072

1526059031

~~UREN NICK+KATHERINE~~ Dup
14508 WOODINVILLE-REDMOND RD
WOODINVILLE, WA 98072

1529200320

WATTERS ROBERT C+PHYLLIS J
14804 137TH LN NE
WOODINVILLE, WA 98072

1530900490

WOJCIECHOWSKI ANDRZEJ L
14612 136TH PL NE
WOODINVILLE, WA 98072

Department of Transportation
Lamin Pazooki
InoKing Area, MS 240
PO Box 330310
Seattle, WA 98133-9710

Port of Seattle
P.O. Box 1209
Seattle, WA 98111

Woodinville Water District
17238 NE Woodinville Duvall Road
Woodinville, WA 98072

King County DDES
Land Use Services Division
100 Oakesdale Avenue SW
Renton, WA 98055-1219

Department of Ecology
Peg Plumber, Environmental Review
PO Box 47703
Olympia, WA 98504-7703

Department of Fish and Wildlife
Ginger Holser
16018 Mill Creek Blvd
Mill Creek, WA 98012

*Agencies mailed to
7/2/10*



AFFIDAVIT OF POSTING
City of Woodinville

EXHIBIT 4
PAGE 10 OF 11

Development Services Department
425-489-2754 • 17301 133rd Avenue NE • Woodinville, WA 98072
Desk Hours • Monday – Thursday 7:30am – 5:00pm • Friday 7:30am – 4:00pm

City of Woodinville/Public Works
Applicant Name

SEP10019
File Number

I understand that WMC 17.11.030 Application Requirements/Notice Methods of Woodinville Municipal Code of the City of Woodinville requires the City to post the notice at official City posting locations.

Type of Notice: Notice of Application

Date Issued: July 5, 2010

End of Comment Period: July 21, 2010

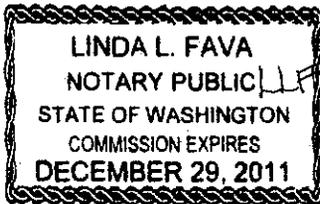
I certify that on July 2, 2010 the above-referenced Notice, in accordance with applicable requirements and guidelines, were posted at the City of Woodinville official posting locations, including City Hall and the Post Office.

State of Washington
County of King

Jennifer L. Kuhn
AFFIANT

Jennifer Kuhn
Print Name

Subscribed and Sworn to me this 6th day of July, 2010.



Linda L. Fava

Notary Public for the State of Washington,
residing at Woodinville, Washington.
My Commission expires Dec. 29, 2011

This affidavit must be properly completed upon this posting of the required **Notice** and returned to the Development Services Department.

Return to:
City of Woodinville
Development Services
17301 133rd Avenue NE
Woodinville, WA 98072



AFFIDAVIT OF POSTING
City of Woodinville

EXHIBIT 4
PAGE 11 OF 11

Development Services Department
425-489-2754 • 17301 133rd Avenue NE • Woodinville, WA 98072
Desk Hours • Monday – Thursday 7:30am – 5:00pm • Friday 7:30am – 4:00pm

City of Woodinville/Public Works
Applicant Name

SEP10019
File Number

I understand that WMC 17.11.030 Application Requirements/Notice Methods of Woodinville Municipal Code of the City of Woodinville requires me to post the property.

Type of Notice: ~~Determination of Non-Significance~~ Notice of Application

Date Issued: July 5, 2010

End of Comment Period: July 21, 2010

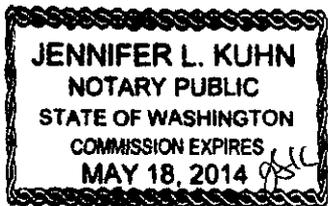
I certify that on 7/05/2010 the above-referenced Notice, in accordance with applicable requirements and guidelines, were posted on the property located at so as to be clearly seen from each right-of-way providing vehicular access to the property.

State of Washington
County of King

Pat Burghardt 7/6/10
AFFIANT

Pat Burghardt
Print Name

Subscribed and Sworn to me this 6th day July, 2010.



Jennifer L Kuhn
Jennifer L Kuhn
Notary Public for the State of Washington,
residing at Woodinville, Washington.
My Commission expires May 18, 2014

This affidavit must be properly completed upon this posting of the required **Notice** and returned to the Development Services Department.

Return to:
City of Woodinville
Development Services
17301 133rd Avenue NE
Woodinville, WA 98072

CITY OF WOODINVILLE
DETERMINATION OF NONSIGNIFICANCE
PROJECT: NE 145th Street Walkway

Threshold Determination: Determination of Nonsignificance
Date of Issuance: August 9, 2010
File Number: SEP10019
Applicant: City of Woodinville
Proposal Location: NE 145th Street Right-of-Way between 138th Way NE and
Woodinville-Redmond Road NE
S/T/R: Section 22 Township 26 Range 5
Proposal Description: Installation of a new walkway along NE 145th Street, from 138th
Way NE to Woodinville-Redmond Road NE. The project includes
installation of approximately 440 linear feet of sidewalk along the
north side of NE 145th Street, potential crossing of the railroad track
on NE 145th Street, and installation of a 130 foot long retaining wall.
SEPA is required due to the presence of an unnamed stream.
Lead Agency: City of Woodinville

NOTE: This determination does not constitute approval of the proposal. This proposal will be reviewed for compliance with SEPA Determination Review Procedures.

Threshold Determination:

The lead agency for this proposal has determined that it does not have a probable significant adverse impact on the environment. An Environmental Impact Statement (EIS) is not required under RCW 43.21C.030(2)(c). This decision was made after review of a completed environmental checklist dated May 14, 2010, and other information on file with the lead agency. This information is available to the public on request.

COMMENTS AND APPEALS:

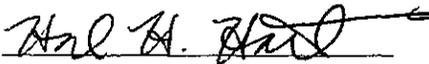
This DNS is issued under WAC 197-11-340(2); the lead agency will not act on this proposal for 15 days from the signature date below.

Any interested party may submit written comments on this determination. Written comments or appeals must be received in the City of Woodinville, Development Services Department **before 4:00 P.M. on August 23, 2010.**

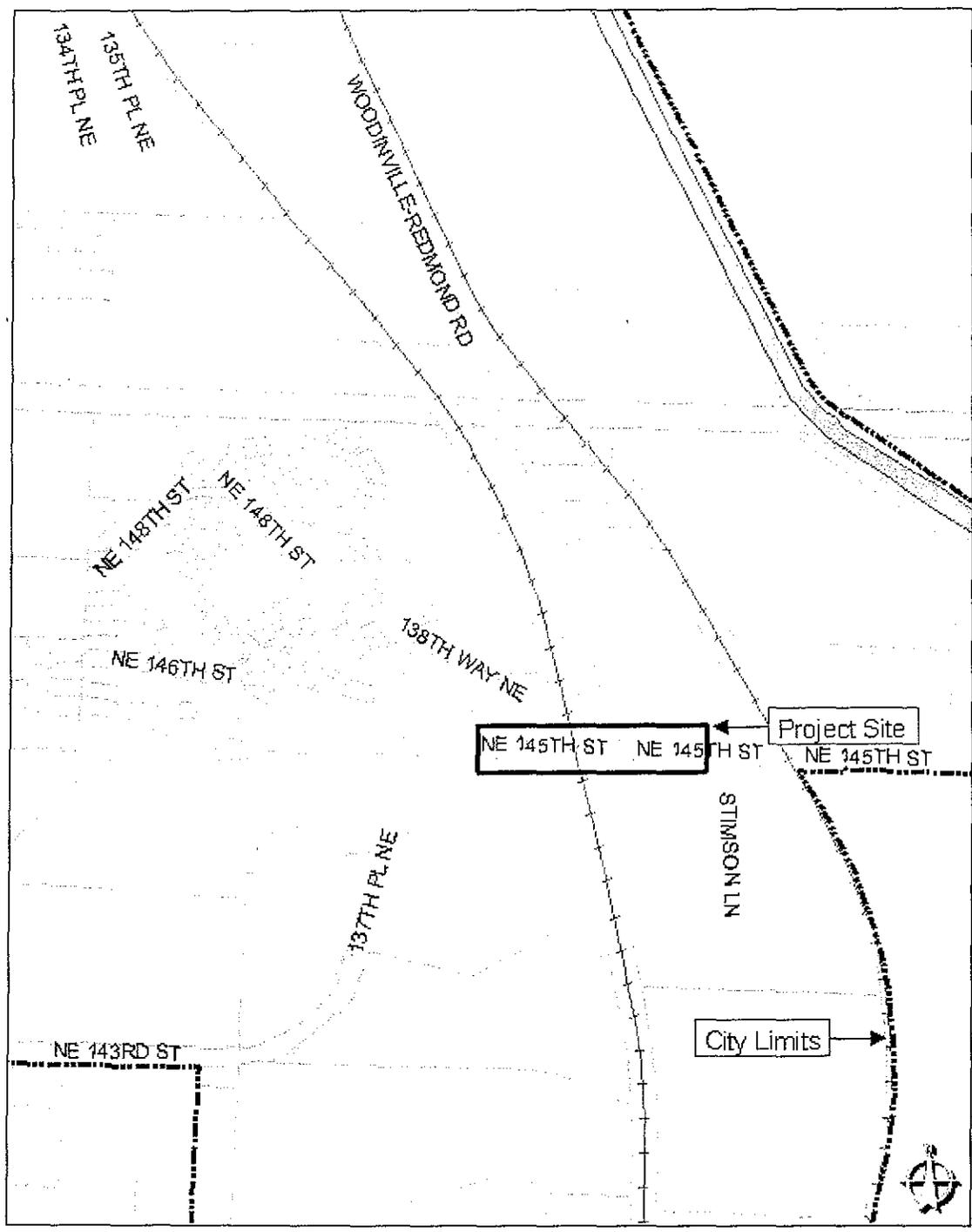
Any appeal shall state with specificity the reasons why the determination should be reversed. **All appeals must be accompanied by a non-refundable filing fee.** Comments or appeals should be addressed to the responsible official designated below.

If you have any questions, please call Project Planner, Erin Martindale at (425) 877-2283 or erinm@ci.woodinville.wa.us.

SEPA OFFICIAL: Hal H. Hart
POSITION/TITLE: City of Woodinville SEPA Official
ADDRESS: 17301 133rd Avenue NE
Woodinville, WA 98072

SIGNATURE:  DATE: August 9, 2010

CITY OF WOODINVILLE
DETERMINATION OF
NONSIGNIFICANCE
PROJECT: NE 145th Street
Walkway
File Numbers: SEP10019





The Woodinville Weekly | The Northlake News | The Valley View
 13342 NE 175th Street | P.O. Box 587 | Woodinville, WA 98072
 p. 425.483.0606 | f. 425.486.7593
 www.nwnnews.com

AFFIDAVIT OF PUBLICATION

State of Washington }
 County of King }

Julie Boselly, being first duly sworn on oath deposes and says that she is the publisher of The Woodinville Weekly, a legal newspaper by order of the Superior Court of King County. That the annexed is a true copy of PN-DETERM. SEP10019 as it was published in regular issues (and not in supplement form) of said newspaper once a week for 1 week(s)

beginning on the 9 day of AUG, 2010
 and ending on the 9 day of AUG, 2010

both dates inclusive and that such newspaper was regularly distributed to its subscribers during all of said period. That the amount of the fee charged for each publication is \$110.00 at the rate of \$11.00 per column inch for each insertion. The sum total for all publications is \$110.00.

Julie Boselly
 Julie Boselly

Subscribed and sworn to before me this 11th
 day of August, 2010.

Karin L. Hopper
 Karin L. Hopper
 Notary Public in and for the State of Washington.
 Residing at Woodinville, Washington.
 My Commission Expires: 2/28/2013

CITY OF WOODINVILLE
DETERMINATION OF NONSIGNIFICANCE
PROJECT: NE 145th Street Walkway

Threshold Determination: Determination of Nonsignificance
Date of Issuance: August 9, 2010
File Number: SEP10019
Applicant: City of Woodinville
Proposal Location: NE 145th Street Right-of-Way between 138th Way NE and Woodinville-Redmond Road NE
S/T/R: Section 22, Township 26, Range 6
Proposal Description: Installation of a new walkway along NE 145th Street, from 138th Way NE to Woodinville-Redmond Road NE. The project includes installation of approximately 440 linear feet of sidewalk along the north side of NE 145th Street, potential crossing of the railroad track on NE 145th Street, and installation of a 130-foot long retaining wall. SEPA is required due to the presence of an unnamed stream.
Lead Agency: City of Woodinville
NOTE: This determination does not constitute approval of the proposal. This proposal will be reviewed for compliance with SEPA Determination Review Procedures.
Threshold Determination: The lead agency for this proposal has determined that it does not have a probable significant adverse impact on the environment. An Environmental Impact Statement (EIS) is not required under RCW 43.21C.030(2)(c). This decision was made after review of a completed environmental checklist dated May 14, 2010, and other information on file with the lead agency. This information is available to the public on request.
COMMENTS AND APPEALS: This DNS is issued under WAC 197-11.340(2); the lead agency will not act on this proposal for 15 days from the signature date below. Any interested party may submit written comments on this determination. Written comments or appeals must be received in the City of Woodinville Development Services Department before 4:00 P.M. on August 23, 2010. Any appeal shall state with specificity the reasons why the determination should be reversed. All appeals must be accompanied by a non-refundable filing fee. Comments or appeals should be addressed to the responsible official designated below.
 If you have any questions, please call Project Planner, Erin Martindale at (425) 877-2283 or erinm@ci.woodinville.wa.us.

SEPA OFFICIAL: Hal H. Hart
POSITION/TITLE: City of Woodinville SEPA Official
ADDRESS: 17301 199th Avenue, NE
 Woodinville, WA 98072
 Published August 9th, 2010



AFFIDAVIT OF POSTING
City of Woodinville

EXHIBIT 5
PAGE 4 OF 23

Development Services Department
425-489-2754 • 17301 133rd Avenue NE • Woodinville, WA 98072
Desk Hours • Monday – Thursday 7:30am – 5:00pm • Friday 7:30am – 4:00pm

City of Woodinville/Public Works
Applicant Name

SEP10019
File Number

I understand that WMC 17.11.030 Application Requirements/Notice Methods of Woodinville Municipal Code of the City of Woodinville requires me to post the property.

Type of Notice: Determination of Nonsignificance

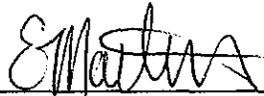
Date Issued: August 9, 2010

End of Appeal Period: Before 4:00 pm - August 23, 2010

End of Comment Period: Before 4:00 pm - August 23, 2010

I certify that on **August 9, 2010** the above-referenced Notice, in accordance with applicable requirements and guidelines were posted on the property located at NE 145th St right-of-way between 138th Way NE and Woodinville-Redmond Road NE, so as to be clearly seen from each right-of-way providing vehicular access to the property.

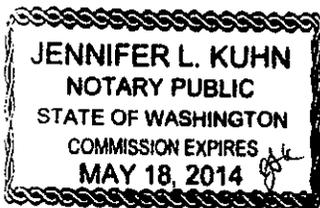
State of Washington
County of King

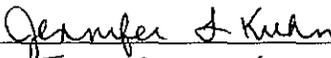


AFFIANT

Erin Martindale, Senior Planner
Print Name

Subscribed and Sworn to me this 9th day, of August, 2010.





Jennifer L. Kuhn
Notary Public for the State of Washington,
residing at Woodinville, Washington.
My Commission expires May 18, 2014

This affidavit must be properly completed upon this posting of the required **Notice** and returned to the Development Services Department.

Return to:
City of Woodinville
Development Services
17301 133rd Avenue NE
Woodinville, WA 98072



AFFIDAVIT OF POSTING
City of Woodinville

EXHIBIT 5
PAGE 5 OF 23

Development Services Department
425-489-2754 • 17301 133rd Avenue NE • Woodinville, WA 98072
Desk Hours • Monday – Thursday 7:30am – 5:00pm • Friday 7:30am – 4:00pm

City of Woodinville/Public Works
Applicant Name

SEP10019
File Number

I understand that WMC 17.11.030 Application Requirements/Notice Methods of Woodinville Municipal Code of the City of Woodinville requires the City to post the notice at official City posting locations.

Type of Notice: ~~Notice of Application~~ Determination of Nonsignificance

Date Issued: August 9, 2010

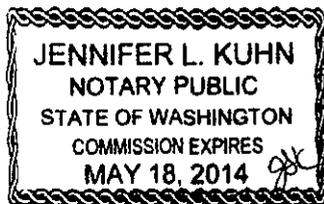
End of Comment Period: Before 4:00 pm on August 23, 2010

I certify that on August 6, 2010 the above-referenced Notice, in accordance with applicable requirements and guidelines, were posted at the City of Woodinville official posting locations, including City Hall and the Post Office.

State of Washington
County of King

Nancy Brandt
AFFIANT
Nancy Brandt
Print Name

Subscribed and Sworn to me this 10th day of August, 2010.



Jennifer L Kuhn
Jennifer L Kuhn
Notary Public for the State of Washington,
residing at Woodinville, Washington.
My Commission expires May 18, 2014

This affidavit must be properly completed upon this posting of the required **Notice** and returned to the Development Services Department.

Return to:
City of Woodinville
Development Services
17301 133rd Avenue NE
Woodinville, WA 98072

DNV Mailing List - 1/11/00

EXHIBIT 5
PAGE 7 OF 23

1526059019
ASCENTIA WINE ESTATES LLC
14030 NE 145 ST
WOODINVILLE WA 98072

1529200150
BERGER ANNA
13616 NE 146 LN
WOODINVILLE WA 98072

1526059023
PAYNE THOMAS
403 GARFIELD ST #20
TACOMA WA 98444

1529200050
BOHL MICHAEL J & SALLY J
13615 NE 146 LN
WOODINVILLE WA 98072

1529200260
BOHNE ROGER L + JOAN P KELLEH
14634 138 AVE NE
WOODINVILLE WA 98072

1529200190
BRADY MICHAEL D + LIBAO JUNE
14647 138 WAY NE
WOODINVILLE WA 98072

2226059100
BRAMBLE BUMP LLC
14404 137 PL NE
WOODINVILLE WA 98072

1529200010
BUNTTING LEROY R
13502 NE 146 ST
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1529200110
BUPP MARTHA M
13629 NE 146 LN
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DE ARAUJO MARCELO + JANICE AL
14814 137 LN NE
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DUDSIC JEFFREY A + LO-CHI LIN
14815 137 LN NE
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DUFFIELD MICHAEL J
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WOODINVILLE WA 98072

1530900440
FISHER JANE A + WILLIAM G
13514 NE 148 ST
WOODINVILLE WA 98072

1529200280
GILMAN TIMOTHY T
14638 138 WAY NE
WOODINVILLE WA 98072

1529200130
GIOANNI FABIEN B
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1529200270
GORD ROBERT & RANDELL T
14636 138 AVE NE
WOODINVILLE WA 98072

1529200230
GRICHEL DIETMAR F
14628 138 AVE NE
WOODINVILLE WA 98072

1529200100
GRIFFIN MICHAEL W + HELEN H
13627 NE 146 LN
WOODINVILLE WA 98072

1530900140
GRIFFITHS LARRY M
14601 135 CT NE
WOODINVILLE WA 98072

1530900250
HADLEY ROBERT
13515 NE 148 ST
WOODINVILLE WA 98072

1530900530
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WOODINVILLE WA 98072

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13621 NE 146 LN
WOODINVILLE WA 98072

1529200030
JOHNSON BRETT
13611 NE 146 LN
WOODINVILLE WA 98072

2226059085
JORGENSEN WILLIAM ALAN + JEAN
14313 137 PL NE
WOODINVILLE WA 989072

1529200310
KIDD GEOFFREY
14802 137 LN NE
WOODINVILLE WA 98072

1529200490
KING COUNTY
500 4TH AVE
SEATTLE WA 98104

1529200220
LAU MAGDALENE
14637 138 WAY NE
WOODINVILLE WA 98072

1530900460
LEIN JEAN T
14626 136 PL NE
WOODINVILLE WA 98072

1529200340
LONG BRENDA L
14810 137 LN NE
WOODINVILLE WA 98072

1529200430
MAGUIRE VIRGINIA J
14805 137 LN NE
WOODINVILLE WA 98072

1530900480
MERRITT LISA W
14614 136 PL NE
WOODINVILLE WA 98072

1530900520
MILLER JOHN & SALWA H EL-ET
13433 NE 146 ST
WOODINVILLE WA 98072

1529200140
MIYAHIRA ROBERT N + DARLENE J
13618 NE 146 LN
WOODINVILLE WA 98072

1529200360
MORRILL ROGER K + WAMBACH MAR
14816 137 LN NE
WOODINVILLE WA 98072

2226059064
MUELLER MICHAEL J
13611 NE 145 ST
WOODINVILLE WA 98072

1529200170
NEUBERGER LAUREN R
13602 NE 146 LN
WOODINVILLE WA 98072

1529200210
NI XUDONG + REN JUNJUN
14643 138 WAY NE
WOODINVILLE WA 98072

1526059096
NOVELTY HILL PROPERTIES LLC
1000 2ND AVE #3700
SEATTLE WA 98104

1526059038
NOVELTY HILL PROPERTIES LLC
14710 WOODINVILLE-REDMOND RD
WOODINVILLE WA 98072

1529200090
NOVOTNY BERTHA
13625 NE 146 LN
WOODINVILLE WA 98072

1530900450
ORRIS VICTOR E + M ANN
13516 NE 148 ST
WOODINVILLE WA 98072

1529200200
OTTESON JUDY A
14645 138 WA7 NE
WOODINVILLE WA 98072

1530900500
PAGANO LOUIS M + KRISTI M
13439 NE 146 ST
WOODINVILLE WA 98072

1529200040
PARKES EILEN M
13613 NE 146 LN
WOODINVILLE WA 98072

1529200250
PENDLETON CHRISTOPHER M
14632 138 AVE NE
WOODINVILLE WA 98072

1530900230
POWERS CRAIG C
14604 135 CT NE
WOODINVILLE WA 98072

1526059121
REDHOOK ALE BREWERY INC
1000 2ND AVE #3700
SEATTLE WA 98104

1526059042
REDHOOK ALE BREWERY INC
14066 NE 145 ST
WOODINVILLE WA 98072

1530900220
REES C THEODORA + JOHN T
14606 135 CT NE
WOODINVILLE WA 98072

1530900470
ROSS CATHERINE R
14624 136 PL NE
WOODINVILLE WA 98072

1529200370
SATTEFIELD CHARLES D
14820 137 LN NE
WOODINVILLE WA 98072

1529200440
SAVILLE JANET & STANLEY
14803 137 LN NE
WOODINVILLE WA 98072

1530900200
SCHULTZ ROBERT J & MARY S
14622 135 CT NE
WOODINVILLE WA 98072

1530900240
SCHUMACHER SHANNAN LEIGH + MA
13517 NE 148 ST
WOODINVILLE WA 98072

1526059055
SEATTLE CITY OF
PO BOX 34018
SEATTLE WA 98124

1529200160
SHINODA MASAHIKO + TAKAKO
13604 NE 146 LN
WOODINVILLE WA 98072

1530900150
SLOAN LAWRENCE N + WESTBROOK
14603 135 CT NE
WOODINVILLE WA 98072

2226059086
STIMSON LANE WINE & SPIRITS
13650 NE 145 ST
WOODINVILLE WA 98072

2226059092
STIMPSON LANE WINE & SPIRITS
14111 NE 115 ST
WOODINVILLE WA 98072

2226059076
STIMSON LANE WINE & SPIRITS
PO BOX 1976
WOODINVILLE WA 98072

1529200300
TEMPLETON RANDALL S + LAURA
HADLEY
14642 138 AVE NE
WOODINVILLE WA 98072

1530900510
TRAPP CAROL
13437 NE 146 ST
WOODINVILLE WA 98072

1529200060
TREGIDGA JOHN D
13619 NE 146 LN
WOODINVILLE WA 98072

1526059016
UREN NICK & KATHERINE
PO BOX 38
WOODINVILLE WA 98072

1529200290
VISSE MICHAEL A + LISA A
14640 138 WAY NE
WOODINVILLE WA 98072

2226059006
WASHINGTON TRUST BANK
601 UNION ST #4747
SEATTLE WA 98101

1529200320
WATTERS ROBERT C + PHYLLIS J
14804 137 LN NE
WOODINVILLE WA 98072

2226059011
WERTHEIMER M J
14312 132 NE
WOODINVILLE WA 98072

1529200330
WEST CHRISTIAN J + LAURIE L K
14808 137 LN NE
WOODINVILLE WA 98072

1530900490
WOJCIECHOWSKI ANDRZEJ L
14612 136 PL NE
WOODINVILLE WA 98072

1529200020
YOUNG DIANNE M
13609 NE 146 LN
WOODINVILLE WA 98072

Department of Transportation ✓
Ramin Pazooki
SnoKing Area, MS 240
PO Box 330310
Seattle, WA 98133-9710

Port of Seattle ✓
P.O. Box 1209
Seattle, WA 98111

Woodinville Water District ✓
17238 NE Woodinville Duvall Road
Woodinville, WA 98072

1-Copy
DNS

King County DDES ✓
Land Use Services Division
900 Oakesdale Avenue SW
Renton, WA 98055-1219

Department of Ecology ✓
Peg Plumber, Environmental Review
PO Box 47703
Olympia, WA 98504-7703

Department of Fish and Wildlife
Ginger Holser
16018 Mill Creek Blvd
Mill Creek, WA 98012

SEPA Unit
PO Box 47703
Olympia WA 98504-7703
1-Copy DNS & 1-Copy SEPA Checklist

EXHIBIT 5
PAGE 10 OF 23

Mailed 8/9/10 SML.

Agency List

1 of 1

WAC 197-11-960 Environmental checklist.

ENVIRONMENTAL CHECKLIST

Purpose of checklist:

The State Environmental Policy Act (SEPA), chapter 43.21C RCW, requires all governmental agencies to consider the environmental impacts of a proposal before making decisions. An environmental impact statement (EIS) must be prepared for all proposals with probable significant adverse impacts on the quality of the environment. The purpose of this checklist is to provide information to help you and the agency identify impacts from your proposal (and to reduce or avoid impacts from the proposal, if it can be done) and to help the agency decide whether an EIS is required.

Instructions for applicants:

This environmental checklist asks you to describe some basic information about your proposal. Governmental agencies use this checklist to determine whether the environmental impacts of your proposal are significant, requiring preparation of an EIS. Answer the questions briefly, with the most precise information known, or give the best description you can.

You must answer each question accurately and carefully, to the best of your knowledge. In most cases, you should be able to answer the questions from your own observations or project plans without the need to hire experts. If you really do not know the answer, or if a question does not apply to your proposal, write "do not know" or "does not apply." Complete answers to the questions now may avoid unnecessary delays later.

Some questions ask about governmental regulations, such as zoning, shoreline, and landmark designations. Answer these questions if you can. If you have problems, the governmental agencies can assist you.

The checklist questions apply to all parts of your proposal, even if you plan to do them over a period of time or on different parcels of land. Attach any additional information that will help describe your proposal or its environmental effects. The agency to which you submit this checklist may ask you to explain your answers or provide additional information reasonably related to determining if there may be significant adverse impact.

Use of checklist for nonproject proposals:

Complete this checklist for nonproject proposals, even though questions may be answered "does not apply." IN ADDITION, complete the SUPPLEMENTAL SHEET FOR NONPROJECT ACTIONS (part D).

For nonproject actions, the references in the checklist to the words "project," "applicant," and "property or site" should be read as "proposal," "proposer," and "affected geographic area," respectively.

A. BACKGROUND

1. Name of proposed project, if applicable:
NE 145th Street Walkway (PW09-0170)
2. Name of applicant: City of Woodinville
3. Address and phone number of applicant and contact person:

Main Contact:

Thomas E. Hansen, PE
Public Works Director
17301 133rd Avenue NE
Woodinville, WA 98072
425-877-2291

Alternate Contact:

Matthew Ellis, Engineer 1
17301 133rd Avenue NE
Woodinville, WA 98072
425-877-2296

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DEVELOPMENT SERVICES

- 4. Date checklist prepared: June 1, 2010
- 5. Agency requesting checklist: City of Woodinville
- 6. Proposed timing or schedule (including phasing, if applicable):
 Design Completion: Summer 2010
 Construction Begin: Summer 2010
 Construction Completion: Fall 2010

7. Do you have any plans for future additions, expansion, or further activity related to or connected with this proposal? If yes, explain.

No future additions or improvements are anticipated within the near future. Refer to the Transportation Master Plan for future projects in the area.

8. List any environmental information you know about that has been prepared, or will be prepared, directly related to this proposal.

A mitigation and planting plan has been developed to offset impacts to the stream buffer, adjacent to the proposed sidewalk.

SEPA checklist

9. Do you know whether applications are pending for governmental approvals of other proposals directly affecting the property covered by your proposal? If yes, explain.

No.

10. List any government approvals or permits that will be needed for your proposal, if known.

SEPA Determination

critical area exception

11. Give brief, complete description of your proposal, including the proposed uses and the size of the project and site. There are several questions later in this checklist that ask you to describe certain aspects of your proposal. You do not need to repeat those answers on this page. (Lead agencies may modify this form to include additional specific information on project description.)

The scope of the proposed project is to install a new walkway along NE 145th St, from 138th Way NE to Woodinville-Redmond Rd NE. The project includes constructing approximately 440-LF of sidewalk along the north side of NE 145th St. Crossing of the railroad track on NE 145th St, 200-ft east of Woodinville-Redmond Rd. NE; and installation a 130-ft retaining wall along the north side of NE 145th St.

12. Location of the proposal. Give sufficient information for a person to understand the precise location of your proposed project, including a street address, if any, and section, township, and range, if known. If a proposal would occur over a range of area, provide the range or boundaries of the site(s). Provide a legal description, site plan, vicinity map, and topographic map, if reasonably available. While you should submit any plans required by the agency, you are not required to duplicate maps or detailed plans submitted with any permit applications related to this checklist.

The project is located Adjacent to 14508 Woodinville-Redmond Rd 98072. The SE ¼ of the SE ¼ of the SW ¼ of Sec. 15, T26N, R5E & the SW ¼ of the SW ¼ of the SE ¼ of Sec. 15, T26N, R5E. A site map is attached as Appendix A.

TO BE COMPLETED BY APPLICANT

EVALUATION FOR AGENCY USE ONLY

B. ENVIRONMENTAL ELEMENTS

1. Earth

a. General description of the site (circle one): Flat, rolling, hilly, steep slopes, mountainous, other

Steep Slopes (At the location of the retaining wall)

b. What is the steepest slope on the site (approximate percent slope)?

The existing slope is approximately 25-degrees. The proposed project will widen the shoulder for the walkway requiring a vertical retaining wall of approximately 5-ft in height. A pedestrian hand rail, will be installed along the entire length of the retaining wall.

TO BE COMPLETED BY APPLICANT

EVALUATION FOR
AGENCY USE ONLY

c. What general types of soils are found on the site (for example, clay, sand, gravel, peat, muck)? If you know the classification of agricultural soils, specify them and note any prime farmland.

See attached memo from James Georgis

d. Are there surface indications or history of unstable soils in the immediate vicinity? If so, describe.

The area is identified as being in a Seismic Area, potential landslide and high erosion zone

e. Describe the purpose, type, and approximate quantities of any filling or grading proposed. Indicate source of fill.

Grading for wall, quantity not determined

f. Could erosion occur as a result of clearing, construction, or use? If so, generally describe.

Minor erosion could occur as a result of clearing, grading, and construction as vegetation is removed and soils are exposed through excavation. Proper Erosion Control Techniques will be in place throughout the duration of the construction project.. When the project is complete, all slopes shall be stabilized and reseeded.

*500 cy total
8/18/10
EMU*

g. About what percent of the site will be covered with impervious surfaces after project construction (for example, asphalt or buildings)?

No impervious surfaces will be added to the site.

h. Proposed measures to reduce or control erosion, or other impacts to the earth, if any:

Standard Best Management Practices (BMPs) from the 2005 King County Surface Water Management Design Manual will be used to reduce or control erosion. BMPs may include C233, Silt Fence; C230, Straw Bale Barrier; and C235, Straw Wattles. A TESC will be prepared consistent with the requirements of the manual.

2. Air

a. What types of emissions to the air would result from the proposal (i.e., dust, automobile, odors, industrial wood smoke) during construction and when the project is completed? If any, generally describe and give approximate quantities if known.

Exhaust from Construction Equipment will be emitted during the course of the work. No emissions will be emitted from the proposed project after completion.

b. Are there any off-site sources of emissions or odor that may affect your proposal? If so, generally describe.

None.

c. Proposed measures to reduce or control emissions or other impacts to air, if any:

All vehicles will comply with applicable laws for emissions to minimize impacts to air quality.

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EVALUATION FOR

AGENCY USE ONLY

3. Water

a. Surface:

1) Is there any surface water body on or in the immediate vicinity of the site (including year-round and seasonal streams, saltwater, lakes, ponds, wetlands)? If yes, describe type and provide names. If appropriate, state what stream or river it flows into.

The project will occur within a 50-ft stream buffer for a Type 4-stream running adjacent to the sidewalk for approximately 120-ft. The proposed sidewalk will directly abut the Type-4 Stream, but will not change the course or affect the channel. The stream is piped upstream of the proposed project. Downstream, it flows parallel to the railroad tracks, crosses Woodinville-Redmond Rd NE and is piped to the Sammamish River, approximately 3,000-ft from the project. Every action will be made to ensure the water quality is acceptable leaving the site, and the project shall not impact the quantity or quality of water entering the Sammamish River.

A larger stream is located on the south side of NE 145th St. The project will be within the 75-ft stream buffer, but work should not interfere with this stream. This stream heads east and south from the project limits, and also enters the Sammamish River.

- 2) Will the project require any work over, in, or adjacent to (within 200 feet) the described waters? If yes, please describe and attach available plans.

Yes. All work will occur within the 50-ft buffer zone of the adjacent creek; and will occur within the 75-ft buffer zone of the of the creek located on the south side of NE 145th St. All stream buffers are depicted in Appendix B, Critical Areas Determination.

A total of 1,200-sf of stream buffer will be affected by the proposed project. This impact is unavoidable and necessary for the construction of the walkway. A mitigation site has been selected to offset all work occurring within the stream buffer. The selected mitigation site will be near the convergence of Woodin Creek and the Sammamish River, within the stream buffer of Woodin Creek.

- 3) Estimate the amount of fill and dredge material that would be placed in or removed from surface water or wetlands and indicate the area of the site that would be affected. Indicate the source of fill material.

None.

- 4) Will the proposal require surface water withdrawals or diversions? Give general description, purpose, and approximate quantities if known.

No, the adjacent stream will not be diverted. During construction, proper BMP's will be in place to maintain the quality of water entering and exiting the site.

- 5) Does the proposal lie within a 100-year floodplain? If so, note location on the site plan.

No.

- 6) Does the proposal involve any discharges of waste materials to surface waters? If so, describe the type of waste and anticipated volume of discharge.

No

b. Ground:

- 1) Will ground water be withdrawn, or will water be discharged to ground water? Give general description, purpose, and approximate quantities if known.

No

- 2) Describe waste material that will be discharged into the ground from septic tanks or other sources, if any (for example: Domestic sewage; industrial, containing the following chemicals. . . ; agricultural; etc.). Describe the general size of the system, the number of such systems, the number of houses to be served (if applicable), or the number of animals or humans the system(s) are expected to serve.

None.

c. Water runoff (including stormwater):

- 1) Describe the source of runoff (including storm water) and method of collection and disposal, if any (include quantities, if known). Where will this water flow? Will this water flow into other waters? If so, describe.

The project will occur within a 50-ft stream buffer for a small stream transporting storm water from a natural drainage basin east of 132nd Ave NE. The stream is piped upstream of the proposed project. Downstream, it flows parallel to the railroad tracks, crosses Woodinville-Redmond Rd NE and is piped to the Sammamish River, approximately 3,000-ft from the project. The quantity of stormwater is unknown.

- 2) Could waste materials enter ground or surface waters? If so, generally describe.

Minimal waste materials generated from construction activities may occur. BMPs will be installed to capture all sediment discharge, during construction. Once the project is complete, no waste materials or sediment will enter ground or surface waters, caused by this project..

d. Proposed measures to reduce or control surface, ground, and runoff water impacts, if any:

The project will comply with the requirements set forth by the 2005 King County Surface Water Management Design Manual.

4. Plants

- a. Check or circle types of vegetation found on the site:

deciduous tree: alder, maple, aspen, other
 evergreen tree: fir, cedar, pine, other
 shrubs
 grass
 pasture
 crop or grain
 wet soil plants: cattail, buttercup, bullrush, skunk cabbage, other
 water plants: water lily, eelgrass, milfoil, other
 other types of vegetation

- b. What kind and amount of vegetation will be removed or altered?

No large trees will be removed from the site. Clearing and Grubbing shall be limited to low-lying shrubs and grass.

- c. List threatened or endangered species known to be on or near the site.

None.

- d. Proposed landscaping, use of native plants, or other measures to preserve or enhance vegetation on the site, if any:

The area will be allowed to regrow with native vegetation, once the project is complete. Exposed soils will be hydroseeded, if necessary. No other landscaping will occur onsite.

5. Animals

- a. Circle any birds and animals which have been observed on or near the site or are known to be on or near the site:

birds: hawk, heron, eagle, songbirds, other:
mammals: deer, bear, elk, beaver, other:
fish: bass, salmon, trout, herring, shellfish, other:

None. The adjacent stream is not fish bearing.

- b. List any threatened or endangered species known to be on or near the site.
None.

TO BE COMPLETED BY APPLICANT EVALUATION FOR

AGENCY USE ONLY

- c. Is the site part of a migration route? If so, explain.
Bald eagles and red-tailed hawks may utilize the Sammamish River corridor. This area is also a part of the Pacific Byway, a migratory pathway for birds.

- d. Proposed measures to preserve or enhance wildlife, if any:
None Proposed.

6. Energy and natural resources

- a. What kinds of energy (electric, natural gas, oil, wood stove, solar) will be used to meet the completed project's energy needs? Describe whether it will be used for heating, manufacturing, etc.

The completed project will not have energy requirements.

- b. Would your project affect the potential use of solar energy by adjacent properties?
If so, generally describe.

No.

- c. What kinds of energy conservation features are included in the plans of this proposal?
List other proposed measures to reduce or control energy impacts, if any:

None.

7. Environmental health

- a. Are there any environmental health hazards, including exposure to toxic chemicals, risk of fire and explosion, spill, or hazardous waste, that could occur as a result of this proposal?
If so, describe.

There are no environmental health hazards as a result of this project.

- 1) Describe special emergency services that might be required.

The project would not create a need for additional emergency services.

- 2) Proposed measures to reduce or control environmental health hazards, if any:

None proposed.

b. Noise

- 1) What types of noise exist in the area which may affect your project (for example: traffic, equipment, operation, other)?

None. Current noise in the area comes from nearby traffic.

- 2) What types and levels of noise would be created by or associated with the project on a short-term or a long-term basis (for example: traffic, construction, operation, other)? Indicate what hours noise would come from the site.

In the short-term, noise will be produced from construction machinery. In the long-term noise will be generated from vehicles along NE 145th St. The project is not projected to increase vehicle traffic to the area.

TO BE COMPLETED BY APPLICANT

EVALUATION FOR
AGENCY USE ONLY

- 3) Proposed measures to reduce or control noise impacts, if any:
None proposed. The Project Manager will work to minimize noise impacts from construction. Work at night will be kept to a minimum.

8. Land and shoreline use

- a. What is the current use of the site and adjacent properties?
Parcel number 1529200490, located north of the proposed walkway, catches all the drainage for the Chateau Highlands Development, otherwise is vacant. Parcel number 1526059031, located at the corner of NE 145th St and Woodinville-Redmond Rd NE, contains the Hollywood Tavern. Parcel number 1526059023 is owned by the Port of Seattle Rail Road.

*Right-of-way
currently
used for
street.*

- b. Has the site been used for agriculture? If so, describe.

No.

- c. Describe any structures on the site.

One Railroad crossing signal is located within the project limits.

A new retaining wall shall be constructed for a portion of the walkway, east of the railroad tracks

- d. Will any structures be demolished? If so, what?

No. No existing structures shall be removed or demolished.

- e. What is the current zoning classification of the site?

Public Right of Way. The adjacent lots are Industrial and R-4 Residential.

- f. What is the current comprehensive plan designation of the site?

Industrial and R-4 Residential

- g. If applicable, what is the current shoreline master program designation of the site?

None.

- h. Has any part of the site been classified as an "environmentally sensitive" area? If so, specify.

Yes. A 75-ft Type 3 Stream Buffer is located on the south side of NE 145th St, for a small creek. A 50-ft Type 4 Stream Buffer is located for the stream located adjacent to the proposed sidewalk.

- i. Approximately how many people would reside or work in the completed project?

The new walkway will provide pedestrian access for 130-single family homes, from the Chateau Highlands Neighborhood to the Tourist District of Woodinville.

- j. Approximately how many people would the completed project displace?

None.

k. Proposed measures to avoid or reduce displacement impacts, if any:

None proposed.

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EVALUATION FOR
AGENCY USE ONLY

l. Proposed measures to ensure the proposal is compatible with existing and projected land uses and plans, if any:

All construction will occur in compliance with local, state and federal regulations. Landscaping installed will be beyond the minimum requirements of the Woodinville Municipal Code.

9. Housing

a. Approximately how many units would be provided, if any? Indicate whether high, middle, or low-income housing.

None.

b. Approximately how many units, if any, would be eliminated? Indicate whether high, middle, or low-income housing.

None.

c. Proposed measures to reduce or control housing impacts, if any:

None.

10. Aesthetics

a. What is the tallest height of any proposed structure(s), not including antennas; what is the principal exterior building material(s) proposed?

No structures are proposed in this project.

b. What views in the immediate vicinity would be altered or obstructed?

None.

c. Proposed measures to reduce or control aesthetic impacts, if any:

None proposed.

11. Light and glare

a. What type of light or glare will the proposal produce? What time of day would it mainly occur?

None. Work will occur during the day.

b. Could light or glare from the finished project be a safety hazard or interfere with views?

No

c. What existing off-site sources of light or glare may affect your proposal?

None

d. Proposed measures to reduce or control light and glare impacts, if any:

None.

TO BE COMPLETED BY APPLICANT

EVALUATION FOR
AGENCY USE ONLY

12. Recreation

- a. What designated and informal recreational opportunities are in the immediate vicinity?
Multiple wineries including Chateau Ste. Michelle Winery and the Columbia Winery; and the Redhook Brewery are located near the project. Additionally, the Sammamish River Trail is located 1/4-mile from the project. The proposed walkway will provide pedestrian access for residents of the Chateau High lands to these establishments and facilities.
- b. Would the proposed project displace any existing recreational uses? If so, describe.
No.
- c. Proposed measures to reduce or control impacts on recreation, including recreation opportunities to be provided by the project or applicant, if any:
The proposed walkway will provide safe pedestrian access to multiple recreational activities within the tourist district of Woodinville. Currently, no walkway or shoulder is available along NE 145th St.

13. Historic and cultural preservation

- a. Are there any places or objects listed on, or proposed for, national, state, or local preservation registers known to be on or next to the site? If so, generally describe.
None.
- b. Generally describe any landmarks or evidence of historic, archaeological, scientific, or cultural importance known to be on or next to the site.
None.
- c. Proposed measures to reduce or control impacts, if any:
None proposed.

14. Transportation

- a. Identify public streets and highways serving the site, and describe proposed access to the existing street system. Show on site plans, if any.
Woodinville-Redmond Rd NE (SR202) is located east of the proposed project. NE 145th St. Connects residents located on 124th Ave NE and neighborhoods on 132nd Ave NE.
A traffic control plan shall be provided with the final plans, to provide safe access along NE 145th St during the construction phase of this project.
Once construction is complete traffic access shall resume as normal on NE 145th St.
- b. Is site currently served by public transit? If not, what is the approximate distance to the nearest transit stop?
A bus stop is located West of the proposed project, on NE 143rd St, west of the City limits. No public transit currently uses NE 145th St.
- c. How many parking spaces would the completed project have? How many would the project eliminate?
The project will have no effect on parking.

- d. Will the proposal require any new roads or streets, or improvements to existing roads or streets, not including driveways? If so, generally describe (indicate whether public or private).

The project will widen the north side of NE 145th St., to provide a pedestrian walkway from 138th Way NE to Woodinville-Redmond Rd NE. All roads are public surrounding this project.

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EVALUATION FOR
AGENCY USE ONLY

- e. Will the project use (or occur in the immediate vicinity of) water, rail, or air transportation? If so, generally describe.

Yes, the project will cross the NE 145th Railroad Crossing. The railroad is owned by the Port of Seattle. No work is projected to occur within the railroad crossing area.

- f. How many vehicular trips per day would be generated by the completed project? If known, indicate when peak volumes would occur.

The number of trips generated will not change. In 2007, the ADT for NE 145th St was 8,470 vehicles. Additional pedestrian trips along NE 145th St should increase.

- g. Proposed measures to reduce or control transportation impacts, if any:

A traffic control plan compliant with MUTCD shall be provided with the final plans, to provide safe access along NE 195th St during the construction phase of this project.

The final project shall provide a safe pedestrian route for residents from Chateau Highlands to access businesses and appurtenances within the Holly Wood Hills/ Woodinville Tourist District.

15. Public services

- a. Would the project result in an increased need for public services (for example: fire protection, police protection, health care, schools, other)? If so, generally describe.

The project is not expected to result in the need for additional public services.

- b. Proposed measures to reduce or control direct impacts on public services, if any.

None proposed.

16. Utilities

- a. Circle utilities currently available at the site: electricity, natural gas, water, refuse service, telephone, sanitary sewer, septic system, other storm sewer.

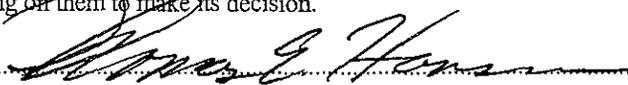
A Fiber Optic Line and gas line run directly below the proposed sidewalk. Potholing will need to occur prior to the start of construction to verify the depth of these utilities. The utility companies will be notified prior to the start of the project if work will require redirection of either utility. Also the Railroad Crossing Signal Controller is located within the project limits.

- b. Describe the utilities that are proposed for the project, the utility providing the service, and the general construction activities on the site or in the immediate vicinity which might be needed.

None proposed.

C. SIGNATURE

The above answers are true and complete to the best of my knowledge. I understand that the lead agency is relying on them to make its decision.

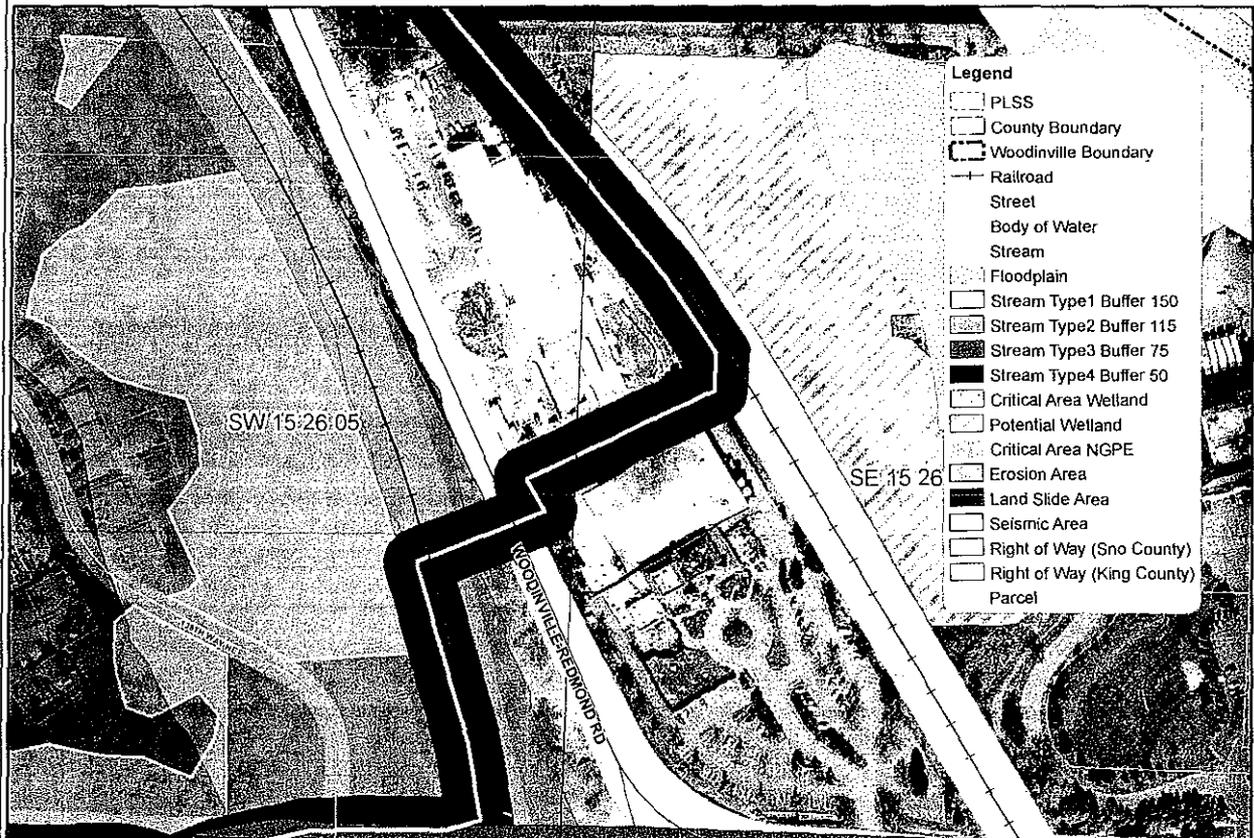
Signature: 

Date Submitted: 6/29/10

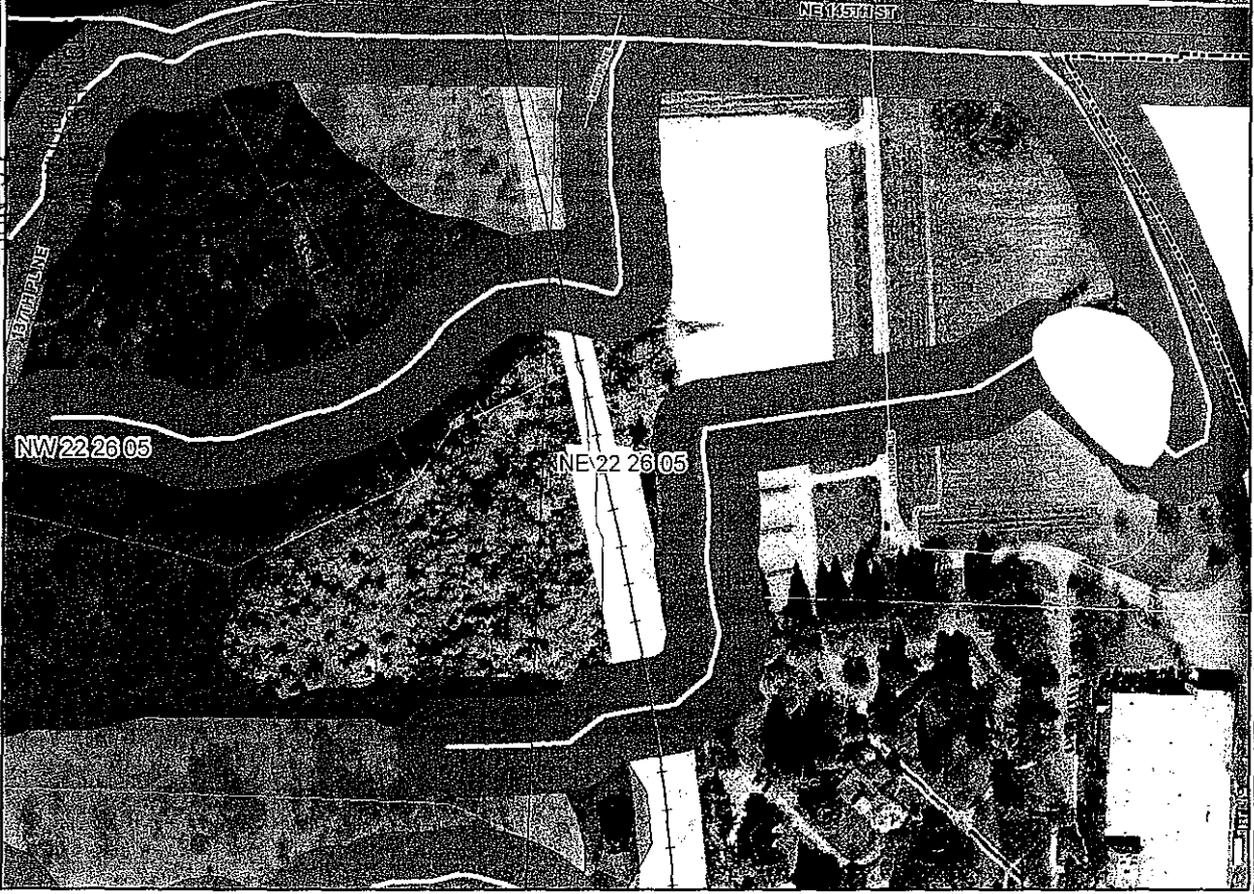
Erin Martindale 6/29/10 10

City of Woodinville

EXHIBIT 5
PAGE 21 OF 23

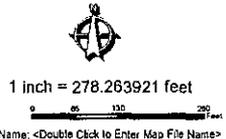


- Legend**
- PLSS
 - County Boundary
 - Woodinville Boundary
 - Railroad
 - Street
 - Body of Water
 - Stream
 - Floodplain
 - Stream Type1 Buffer 150
 - Stream Type2 Buffer 115
 - Stream Type3 Buffer 75
 - Stream Type4 Buffer 50
 - Critical Area Wetland
 - Potential Wetland
 - Critical Area NGPE
 - Erosion Area
 - Land Slide Area
 - Seismic Area
 - Right of Way (Sno County)
 - Right of Way (King County)
 - Parcel



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JUN 02 2010

NE 145th Street Walkway
Critical Areas Determination
-Appendix B-
Appendix A + B



NO	DESIGN/REVISION	DATE	BY
1	County D.L.A. 41 and 1407	7/26/07	WSP/STW
2			
3			
4			
5			

City of Woodinville
17201 - 133rd Avenue
Woodinville, WA 98072
www.cityofwoodinville.wa.us
425-486-2700

Disclaimer
The City of Woodinville is not responsible for the accuracy of the information provided in this map. The City of Woodinville is not a professional engineering or architectural firm. The City of Woodinville is not a professional land surveyor. The City of Woodinville is not a professional geologist. The City of Woodinville is not a professional environmental scientist. The City of Woodinville is not a professional biologist. The City of Woodinville is not a professional ecologist. The City of Woodinville is not a professional hydrologist. The City of Woodinville is not a professional meteorologist. The City of Woodinville is not a professional climatologist. The City of Woodinville is not a professional oceanographer. The City of Woodinville is not a professional geophysicist. The City of Woodinville is not a professional geodesist. The City of Woodinville is not a professional geomatics engineer. The City of Woodinville is not a professional cartographer. The City of Woodinville is not a professional mapmaker. The City of Woodinville is not a professional publisher. The City of Woodinville is not a professional distributor. The City of Woodinville is not a professional retailer. The City of Woodinville is not a professional wholesaler. The City of Woodinville is not a professional manufacturer. The City of Woodinville is not a professional importer. The City of Woodinville is not a professional exporter. The City of Woodinville is not a professional transporter. The City of Woodinville is not a professional storage provider. The City of Woodinville is not a professional information provider. The City of Woodinville is not a professional data provider. The City of Woodinville is not a professional service provider. The City of Woodinville is not a professional product provider. The City of Woodinville is not a professional provider of any goods or services. The City of Woodinville is not a professional provider of any information. The City of Woodinville is not a professional provider of any data. The City of Woodinville is not a professional provider of any services. The City of Woodinville is not a professional provider of any products. The City of Woodinville is not a professional provider of any goods. The City of Woodinville is not a professional provider of any information. The City of Woodinville is not a professional provider of any data. The City of Woodinville is not a professional provider of any services. The City of Woodinville is not a professional provider of any products. The City of Woodinville is not a professional provider of any goods.

File Name: <Double Click to Enter Map File Name>

NE 145th Street Soil Conditions
Georgis, James P [JPGeorgis@terracon.com]

Hi Matt,

Terracon completed two borings for this project at the approximate locations shown on Exhibit A-2 (B-1 at Station 13+55 and B-2 at station 12+65).

In general, borings B-1 and B-2 encountered fill over Undifferentiated Pleistocene deposits. The fill typically consisted of loose sand with variable silt and gravel content and extended to depths of about 12 and 7 feet below the existing ground surface in borings B-1 and B-2, respectively. Pleistocene deposits encountered below the fill typically consisted of medium dense to very dense sand with variable silt and gravel content and extended to the total depth explored of 19 feet below the existing ground surface. Groundwater was not observed in the borings at the time of drilling.

Please contact me if you need additional information regarding soil and groundwater conditions, or other aspects of the project.

Best regards,

James

<<Exhibit-A-2_062810.pdf>>

James P. Georgis, L.E.G.

Senior Project Manager | Geotechnical Services

Terracon

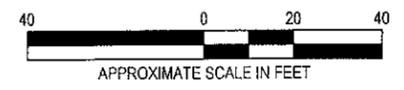
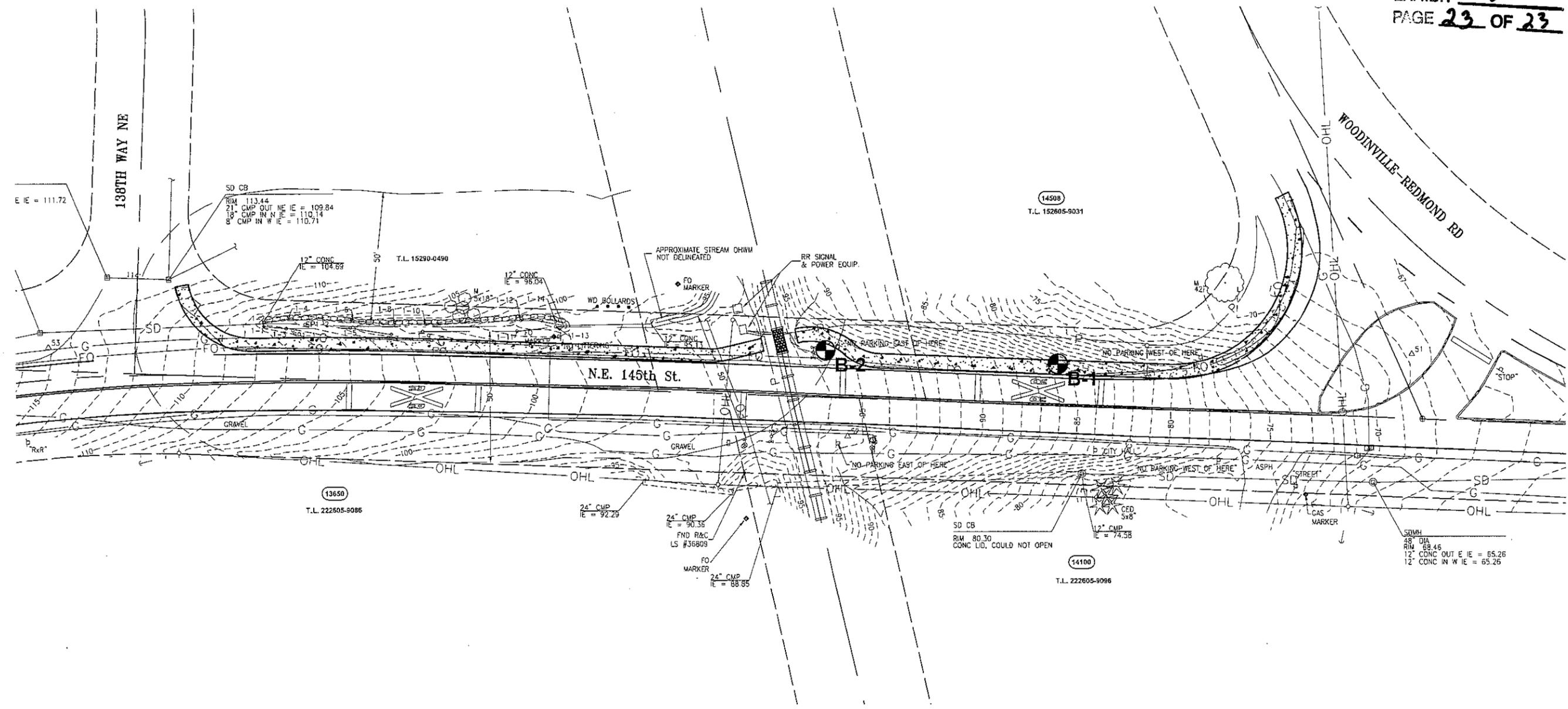
21905 64th Avenue West, Suite 100 | Mountlake Terrace, WA 98043

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LEGEND:

-  B-1 BORING NUMBER AND APPROXIMATE LOCATION

REFERENCE: Undated .dwg basemap files provided by OTAK.

Project Mgr.	JBT	Project No.	81105046
Drawn By:	JPG	Scale:	AS SHOWN
Checked By:	JPG	File No.	81105046.dwg
Approved By:	JBT	Date:	June 2010

Terracon
Consulting Engineers and Scientists
21905 64th Avenue W., Ste 100 Mountlake Terrace, WA 98043
PH. (425) 771-3364 FAX. (425) 771-3549

BORING LOCATION DIAGRAM
NE 145th Street Retaining Wall
Woodinville, Washington

RECEIVED

JUN 02 2010

Technical Memorandum

CITY OF WOODINVILLE
DEVELOPMENT SERVICES



10230 NE Points Drive
Suite 400
Kirkland, WA 98033
Phone (425) 822-4446
Fax (425) 827-9577

To: Matt Ellis, Engineer, City of Woodinville
Public Works Department
From: Suzanne Anderson, Senior Wetland Ecologist,
PhD, PWS
Copies:
Date: May 7, 2010
Subject: Mitigation Concept Memorandum – Stream
adjacent to NE 145th Street sidewalk project
Project No.: 31422D

Introduction and Project Description

The City of Woodinville plans to construct a sidewalk or walkway along the north side of NE 145th Street between 138th Avenue NE and Woodinville-Redmond Road (SR 202) (see Figure 1 Vicinity Map). The improvements will be designed to fit within the 60-foot right-of-way, and may require fitting around existing railroad crossing components to keep the project within budget and schedule. The preliminary design is for a five-foot wide concrete sidewalk with a curb and gutter. This memorandum characterizes the stream/ditch located on the north side of NE 145th Street in the project vicinity, and includes conceptual mitigation for project impacts to the stream buffer.

Project Area Setting

Land uses in the project vicinity include open space, a power line corridor, a railroad, single family houses, and commercial establishments. NE 145th Street is located in what appears to be a former stream ravine that descends from the west down to the floodplain of the Sammamish River to the east (see Figures 1 and 2). A railroad crosses NE 145th Street approximately 220 feet east of 138th Avenue NE, and an overhead power line runs along the south side of NE 145th Street. West of 138th Avenue NE, the hillside above the north side of NE 145th Street is forested. 138th Avenue NE leads uphill to a housing development, and the south-facing slope between 138th Avenue NE and the railroad consists primarily of mowed lawn. On the south side NE 145th Street, the land slopes up to the south, towards a few single family residences. East of the railroad, the forested land slopes downward on both sides of the street. Wineries and other businesses are located along Woodinville-Redmond Road at the NE 145th Street intersection. A stream/wetland complex is located along the south side of NE 145th Street, and a drainage ditch/culvert system runs adjacent to the north side of NE 145th Street.

Stream Characterization

A ditch/culvert system is located along the north side of NE 145th Street. To the west of the project area, near the point where NE 145th Street curves to the southwest and becomes 137th Place NE, the

Matt Ellis, City of Woodinville
Stream adjacent to NE 145th Street sidewalk project

Page 2
May 7, 2010

power line crosses to the north side of NE 145th Street and continues westward. From the street, it appears that a wetland area is located under/adjacent to the power line corridor in that vicinity, and that the wetland drains into the ditch on the north side of NE 145th Street. It is unclear whether that flow is seasonal or perennial. In addition to water from the wetland, the ditch system receives runoff from NE 145th Street in the project area as well as in upstream areas to the west. From the power line crossing, eastward flow in the ditch is directed into an approximately 90-foot long culvert under 138th Avenue NE. Below that in the project area, the stream is daylighted in an approximately 110-foot long ditch segment, culverted for approximately 35 feet under an grass access road, and then daylighted into a ditch which turns to the north out of the project area and runs parallel to the west side of the railroad. The stream eventually outlets to the Sammamish River.

On April 22, 2010, Otak staff identified the ordinary high water marks (OHWM) of the ditch segments in the project area. For the ditch segment between 138th Avenue NE and the grass access road, Otak staff placed pin-flags along the (OHWM) of both sides of the ditch (see Sheet S1.01). East of the grass access road, due to the regularity of the channel, the centerline of the ditch was surveyed and the OHWM was offset for the 3-foot wide channel.

The channel averaged approximately 3 feet wide for both ditch segments in the project area, and the bed substrate consisted of sandy loam above the constructed bottom, which was composed of sand with 60 to 70 percent gravel and cobbles. It is unclear whether the flow in the project area is perennial, however, Otak staff observed very low flow (a trickle) in the ditch at the end of summer 2009. At the time of the site visit (April 22, 2010), there was a narrow thalweg (approximately 1 to 1.5 feet wide), and approximately 40 percent of the ditch bottom was vegetated with herbaceous species.

Hydrophytic vegetation, including water-parsley (*Oenanthe sarmentosa*, OBL) and soft rush (*Juncus effusus*, FACW), was observed growing in the ditch segments in the project area. On that basis, test pits were sampled to determine whether the ditch segments satisfy the three wetland criteria: wetland hydrology, hydric soil, and hydrophytic vegetation. In compliance with federal, state, and City of Woodinville guidance and regulations, the potential wetland area was characterized using the Routine Methodology as specified in the *Washington State Wetlands Identification and Delineation Manual* (Ecology, 1997) and the *Interim Regional Supplement to the Corps of Engineers Wetland Delineation Manual: Western Mountains, Valleys, and Coast Region* (USACE, 2008) (see attached Data Sheets). Although the ditch satisfied two out of the three criteria (wetland hydrology and hydrophytic vegetation), hydric soils were not present, therefore the ditches are not jurisdictional wetlands.

Stream Buffer Characterization

Within the project area, the upland areas bordering the ditches to the west, south, and east consist primarily of pavement (138th Avenue NE and NE 145th Street), gravel road shoulders, and the railroad tracks (see Figure 2 and Sheet S1.01). The area north of the ditch segment between 138th

Matt Ellis, City of Woodinville
Stream adjacent to NE 145th Street sidewalk project

Page 3
May 7, 2010

Avenue NE and the grass access road is a mowed lawn with scattered trees (mostly conifers) in a south-facing slope. The area north of the ditch segment between the grass access road and the railroad tracks is dominated by Himalayan blackberries (*Rubus armeniacus*) with a few deciduous trees, mostly big-leaf maple (*Acer macrophyllum*). On the east side of the railroad tracks, upland areas include the gravel road shoulder and a north-facing forested slope dominated by big-leaf maple with large patches of Himalayan blackberries along the edges. Due to the large amount of impervious surfaces (pavement) and disturbed areas (gravel shoulder, railroad tracks, mowed lawn), the buffer is generally degraded and provides few functions other than limited habitat for song birds and some small mammals.

Stream Rating and Buffer Width

The City of Woodinville *Figure A13-1 Identified Critical Areas* designates the project stream as Type 4 (<http://www.ci.woodinville.wa.us/Images/Maps/Identified%20Critical%20Areas.pdf>). Type 4 streams “are those natural streams with perennial or intermittent flow that are not used by fish” (Woodinville Municipal Code 21.24.370). Although the stream is confined in a man-made ditch/culvert system, it is likely that a natural stream was located in the vicinity prior to construction of NE 145th Street. Physical barriers, such as culverts, relatively steep gradients, and seasonal low flow and high temperatures, likely preclude fish presence in the reach of the stream located upstream of the railroad (downstream reaches were not examined by Otak staff). Based on observations, we concur with the City’s rating. Type 4 Streams receive 50-foot buffers [WMC 21.24.380(1)]. As described above, the majority of the west, south, and east portions of the buffer consist of pavement, gravel shoulders, and railroad tracks; and the northern portion of the buffer primarily consists of mowed lawn with scattered trees (see Figure 2 and Sheet S1.01).

Project Impacts to the Stream Buffer

The project avoids all direct impacts to the stream. Assuming that the sidewalk is five feet wide (as shown in the conceptual design on Sheet S1.02), there will be approximately 1,200 square feet of impacts to stream buffer area that is not paved under existing conditions. The majority of that 1,200 square foot area consists of gravel road shoulder that is sparsely vegetated with scattered grass clumps. Therefore, under existing conditions the proposed buffer impact area is degraded and provides little functional benefits.

Conceptual Mitigation

Mitigation Sequencing

Avoid

Locating the sidewalk on the north side of the street will avoid direct and indirect impacts to the wetland/stream complex located on the south side on NE 145th Street (see description below in Potential Mitigation Sites), which is a much higher quality natural system than the man-made ditch/culvert system on the north side of the street.

Matt Ellis, City of Woodinville
Stream adjacent to NE 145th Street sidewalk project

Page 4
May 7, 2010

Avoid and Minimize

The sidewalk will be located and designed to avoid all direct impacts to the stream on the north side of NE 145th Street. However, because the stream is located in a ditch adjacent to the road prism, in order to install the sidewalk within the existing right-of-way, some impacts to the stream buffer are unavoidable. Impacts will be limited to portions of the buffer which are degraded under existing conditions (mostly pavement and gravel shoulder). WMC 21.24.390(5)(a) allows installation of multipurpose impervious trails in stream buffers.

Restoration

Buffer areas adjacent to the new sidewalk that are disturbed by construction-related activities will be replanted with herbaceous species that replicate existing vegetation.

Mitigation

Compensatory mitigation for unavoidable impacts to the stream buffer will be provided by enhancing stream buffer area(s) offsite to provide functional lift over existing conditions.

Mitigation Requirements

WMC 21.24.400 requires mitigation for impacts to stream buffers, specifically it requires that the stream bank and buffer be restored to its original configuration and replanted with native species that replicate original vegetation, and that the pre-existing functions of the stream be recreated [WMC 21.24.400(2)(e-g)]. WMC requires mitigation onsite unless enhancement or replacement is not possible on the site, that the offsite location be in the same drainage sub-basin as the project stream, and that greater biologic and hydrologic functions be achieved [WMC 21.24.400(7)(a-c)].

In this case, although bank/buffer areas adjacent to the new sidewalk that are disturbed by construction will be replanted with herbaceous species, effective mitigation is not possible onsite. The new sidewalk will be adjacent to the top of the south (right) bank, so there will be no room to plant native woody species along the south side of the stream. In order to maintain its conveyance capacity, the ditch has to be mowed periodically, so woody species cannot be planted in the ditch. Under existing conditions, the north bank is composed of an approximately 2- to 3-foot tall rock wall. Even if trees and shrubs were installed above the wall in the northern portion of the buffer, they would provide little or no shading to the stream because the area is a south-facing slope. In addition, the stream reach located downstream of the site is degraded – the stream runs in an open, maintained ditch adjacent to the railroad track without shading by vegetation. Greater biologic and hydrologic functions could be achieved by enhancing stream buffers at an offsite location.

Matt Ellis, City of Woodinville
Stream adjacent to NE 145th Street sidewalk project

Page 5
May 7, 2010

Potential Mitigation Sites

Due to the lack of enhancement opportunities onsite, compensation for stream buffer impacts is proposed by enhancement of offsite stream buffer area. On April 22, 2010, Otak staff examined three potential offsite mitigation areas: the stream/wetland complex across the street from the project stream reach; Little Bear Creek at its confluence with the Sammamish River; and Woodin Creek in Woodin Creek Park (see Figure 2 Potential Mitigation Sites). Each of the three potential mitigation sites and its enhancement opportunities are described below.

Stream/Wetland Complex on the south side of NE 145th Street

A wetland/stream complex is located along the south side of NE 145th Street, across from the project stream reach. The stream begins west of the project area, and flows eastward between the road prism and the toe of the slope to the south. The hillside above the stream to the south is forested and is dominated by red alder (*Alnus rubra*), black cottonwood (*Populus balsamifera* spp. *trichocarpa*), and big-leaf maple with some Western red cedar (*Thuja plicata*) and Western hemlock (*Tsuga heterophylla*). In addition to the unknown hydrology source to the west, hillside seeps dominated by skunk cabbage (*Lysichiton americanus*), probable seeps at the toe of the slope, and stormwater runoff from the road likely contribute to the stream hydrology. The wetland is scrub-shrub and is dominated by salmonberry (*Rubus spectabilis*) with occasional vine maples (*Acer circinatum*) and Sitka willows (*Salix sitchensis*). The fringe of reed canarygrass (*Phalaris arundinacea*) between the salmonberries and the road prism appears to be mowed occasionally.

There is little opportunity for enhancement to the stream/wetland complex on the south side of NE 145th Street. For the most part the wetland/stream complex is densely vegetated with native species, with very limited presence of non-native invasives species. Although the stream/wetland complex is a scrub-shrub community, the opportunity to install native trees is limited since it is located under power lines. In addition, the road prism and immediately adjacent area is subject to periodic mowing.

Mouth of Little Bear Creek

The Sammamish River Trail crosses Little Bear Creek just upstream of its confluence with the Sammamish River. Both banks of Little Bear Creek above and below the trail have been planted with a variety of native trees and shrubs, most of which are doing well and have established a relatively dense cover. Installed plants include: various willow species (*Salix* spp.), red-osier dogwood (*Cornus sericea*), Pacific ninebark (*Physocarpus capitatus*), tall Oregon grape (*Mahonia aquifolium*), sword fern (*Polystichum munitum*), Western red cedar, and Douglas fir (*Pseudotsuga menziesii*).

Despite the established plantings, there are enhancement opportunities at this location. Surviving plantings on the right (west) bank of Little Bear Creek below (southwest of) the Sammamish River Trail are limited to a few willows adjacent to the creek and some sword ferns under an existing

Matt Ellis, City of Woodinville
Stream adjacent to NE 145th Street sidewalk project

Page 6
May 7, 2010

domestic cherry tree on the bank above. The area (approximately 40 by 40 feet) could be planted with a variety of wetland and upland trees and shrubs, such as those listed above and Douglas' hawthorn (*Crataegus douglasii*), black twinberry (*Lonicera involucrata*), ocean-spray (*Holodiscus discolor*), Nootka rose (*Rosa nutkana*), snowberry (*Symphoricarpos albus*), mock orange (*Philadelphus lewisii*), black cottonwood, Sitka spruce (*Picea sitchensis*), and shore pine (*Pinus contorta* var. *contorta*). These new plantings could extend westward to merge into existing restoration plantings along the Sammamish River. Successful establishment of the enhancement plantings would require protection from beavers (and other gnawing animals) and control of non-native species such as reed canarygrass, Himalayan blackberry, and Japanese knotweed (*Polygonum cuspidatum* and others). It should be noted that although this potential mitigation site is located within the same drainage basin as the project stream, it is in a different sub-basin.

Woodin Creek Park

Woodin Creek Park is located along the lower reach of Woodin Creek, just above its confluence with the Sammamish River. The park includes a tennis court, picnic shelter, a small parking lot, and a large mowed area for informal recreation. Woodin Creek is located in the eastern third of the park, and it flows southward from a culvert under 131st Avenue NE (just north of where 131st Avenue NE turns to become NE 171st Street) to the Sammamish River Trail bridge. Red alders line the majority of the stream channel within the Park. While some large patches of Himalayan blackberry are located along the creek (especially on the left (east) bank), it appears that extensive blackberry clearing occurred in the recent past, particularly on the right (west) bank. Unfortunately, much of that cleared area is now dominated by non-native invasive reed canarygrass. East of the creek, the park includes what appears to be a large meadow dominated by reed canarygrass. A small pond that outlets to Woodin Creek is located at the southeast corner of the Park, south of the reed canarygrass meadow, east of the creek, and just north of the Sammamish River Trail. Taller willows (*Salix* spp.) are growing around approximately 50 percent of the pond perimeter.

Of the three locations examined, Woodin Creek Park offers the widest variety and greatest extent of enhancement opportunities. Enhancement opportunities range from planting shrubs and conifers along either or both of the creek banks (especially where blackberries were previously cleared), to planting a variety of native tree and shrub species in the reed canarygrass meadow east of Woodin Creek and around the pond. Possible native species to install along the creek include: various willow species, red-osier dogwood, Pacific ninebark, wild clustered rose (*Rosa pisocarpa*), Nootka rose (*Rosa nutkana*), salmonberry (*Rubus spectabilis*), snowberry, vine maple (*Acer circinatum*), Western red cedar, and Sitka spruce. The plant palette for the reed canarygrass meadow to the east of Woodin Creek and the pond should include sun-loving species appropriate for the moisture regimes of those areas. Control of reed canarygrass and Himalayan blackberries would be necessary both before and after installation of enhancement plantings anywhere in Woodin Creek Park. It should be noted that although this potential mitigation site is located within the same drainage basin as the project stream, it is in a different sub-basin.

Matt Ellis, City of Woodinville
Stream adjacent to NE 145th Street sidewalk project

Page 7
May 7, 2010

Summary

The City of Woodinville plans to construct a sidewalk or walkway along the north side of NE 145th Street between Woodinville-Redmond Road (SR 202) and 138th Avenue NE. In the project area, a Type 4 Stream, with a 50-foot buffer, runs along the north side of NE 145th Street for approximately 180 feet (including an approximately 35-foot long culvert under a former access road) to the railroad tracks, where the stream turns 90 degrees to the north. The stream eventually outlets to the Sammamish River.

The project will not directly impact the stream, and the sidewalk will be designed and located to minimize impacts to buffer functions. Based on a preliminary design, there will be approximately 1,200 square feet of unavoidable impacts to unpaved portions of the stream buffer. The majority of the buffer that will be impacted consists of gravel road shoulder which provides limited buffer functions under existing conditions.

Proposed compensation for buffer impacts consists of stream buffer enhancement plantings. Due to site constraints (no planting in ditch or along the south side; rock retaining wall along the stream to a south-facing slope; etc.), planting onsite would provide relatively little functional benefits to the buffer. Of the three potential offsite mitigation areas examined by Otak staff, Woodin Creek in Woodin Creek Park offers the widest array of enhancement opportunities.

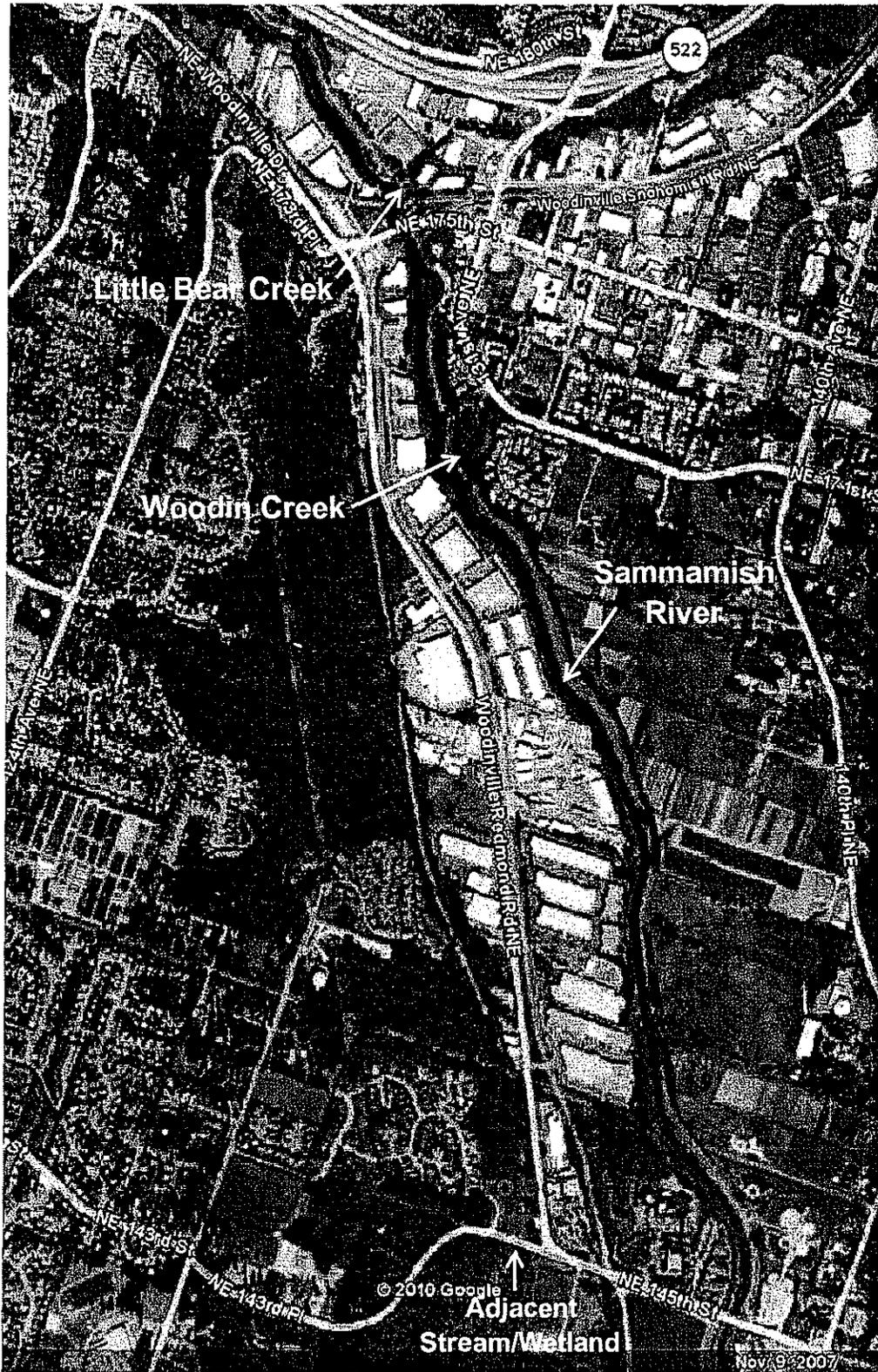
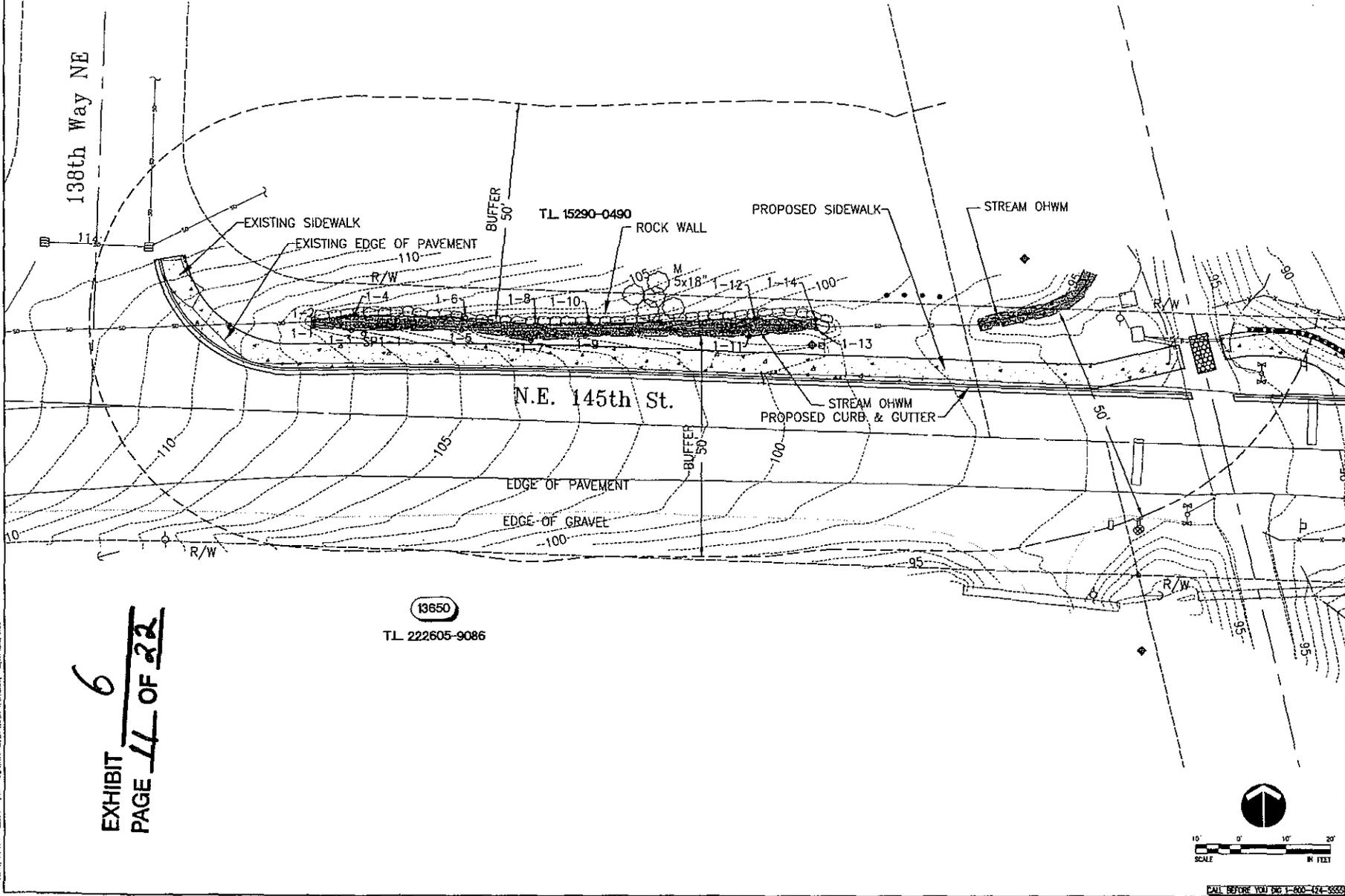


Figure 2. Potential Mitigation Sites

DATE: 10/1/03
 DRAWN BY: J. B. BROWN
 CHECKED BY: J. B. BROWN
 PROJECT NO.: 314220
 SHEET NO.: S1.02

A PORTION OF SECTION 22, T.26N., R.05E., W.M.



138th Way NE

N.E. 145th St.

EXHIBIT
 PAGE 6 OF 22

13650
 TL 222605-9086

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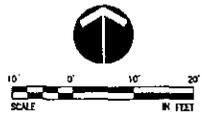
NE 145th Street Sidewalk
 WOODRIDGE, WASHINGTON
 KING COUNTY

PROPOSED PROJECT IMPACTS

otak
 Incorporated

10000 NE Polaris Dr. #200
 Woodridge, Washington 98093
 Phone: (206) 882-4444
 Fax: (206) 882-8111
 Website: WWW.OTAK.COM

Project No. 314220
 Sheet No. S1.02



CALL BEFORE YOU DIG 1-800-424-6550

Sheet 2 of 2

EXHIBIT
 PAGE 6 OF 22

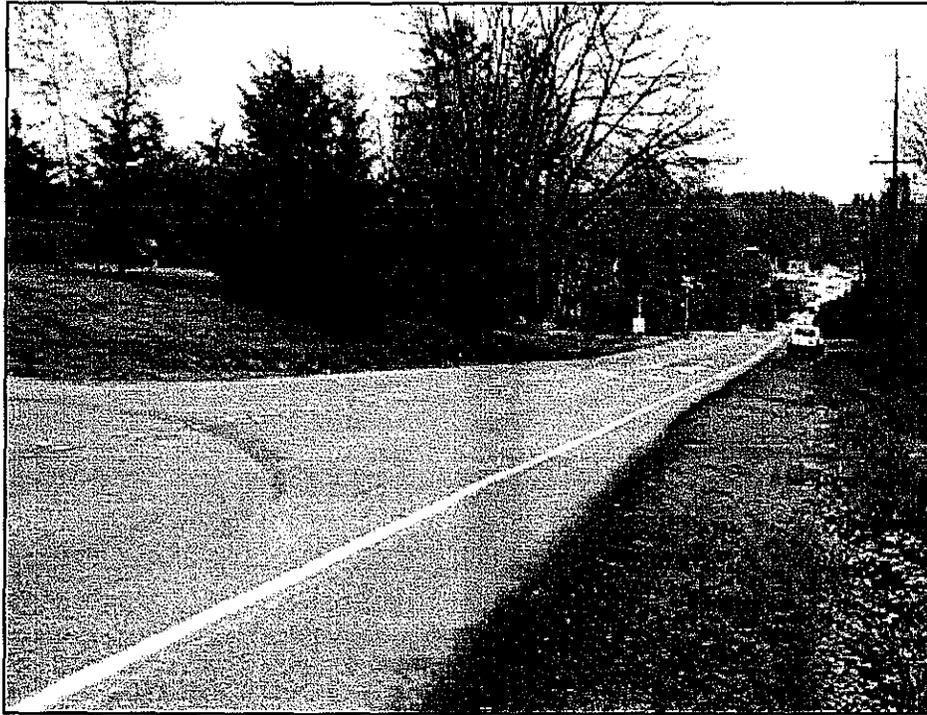


Photo 1. Looking east along NE 145th St (from opposite 138th Ave NE) at project area along north (left) side of the street. Note the rock wall along the north side of the project ditch.



Photo 2. Looking east along flagged ditch segment east of 138th Avenue NE.

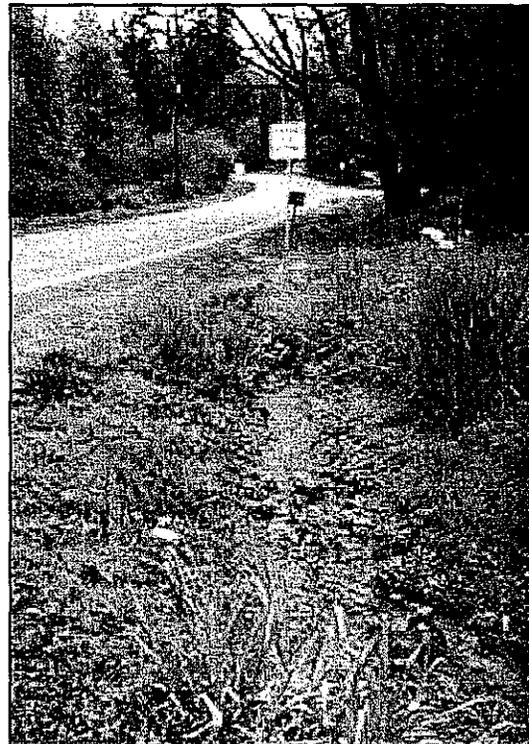


Photo 3. Looking west along ditch segment between RR and access road.



Photo 4. Looking north at ditch along west side of railroad tracks (outside of project area).



Photo 5. Potential mitigation site along NE 145th Street: looking south at the wetland/stream complex on the south side of NE 145th Street.



Photo 6. Potential mitigation site along Little Bear Creek: looking southeast at the planting area with Little Bear Creek at the left of the photo, and Sammamish River at the top.



Photo 7. Potential mitigation site at Woodin Creek Park: looking east at Woodin Creek in an area where Himalayan blackberries were previously cleared.

WETLAND DETERMINATION DATA FORM – Western Mountains, Valleys, and Coast Region

Project Site: Woodinville Sidewalk: NE 145th Street City/County: King Sampling Date: 4/22/10
 Applicant/Owner: City of Woodinville State: WA Sampling Point: SP1-1
 Investigator(s): S. Anderson Section, Township, Range: Sec 15, T26N, R5E
 Landform (hillslope, terrace, etc.): slope Local relief (concave, convex, none): none Slope (%):
 Subregion (LRR): A Lat: 47.7329°N Long: 122.1541°W Datum:
 Soil Map Unit Name: Alderwood gravelly sandy loam, 15 to 30 percent slopes NWI classification: none
 Are climatic / hydrologic conditions on the site typical for this time of year? Yes No (If no, explain in Remarks.)
 Are Vegetation , Soil , Or Hydrology , significantly disturbed? no Are "Normal Circumstances" present? Yes No
 Are Vegetation , Soil , Or Hydrology , naturally problematic? no (If needed, explain any answers in Remarks.)

SUMMARY OF FINDINGS – Attach site map showing sampling point locations, transects, important features, etc.

Hydrophytic Vegetation Present?	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	Is the Sampling Area within a Wetland?	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>
Hydric Soil Present?	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>		Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>
Wetland Hydrology Present?	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>		Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>
Remarks: Soil pit is located on top of ditch bank, between edge of pavement to the south and ditch to the north – pit is mostly road prism fill.					

VEGETATION – Use scientific names of plants

Tree Stratum (Plot Size:)	Absolute % Cover	Dominant Species?	Indicator Status	Dominance Test Worksheet:																								
1.				Number of Dominant Species That Are OBL, FACW, or FAC: 0 (A) Total Number of Dominant Species Across All Strata: 2 (B) Percent of Dominant Species That Are OBL, FACW, or FAC: 0 (A/B)																								
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UPL species		x5 =																										
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<u>Sapling/Shrub Stratum</u> (Plot Size:)																												
5.																												
6.																												
7.																												
8.																												
9.																												
= Total Cover																												
<u>Herb Stratum</u> (Plot Size: 5' diameter)																												
10. <i>Dactylis glomerata</i>	20	yes	FACU																									
11. <i>Taraxacum officinale</i>	20	yes	FACU																									
12. <i>Festuca pratensis</i>	10	no	FACU																									
13. <i>Phalaris arundinacea</i>	10	no	FACW																									
14. <i>Agrostis gigantea</i>	5	no	FAC																									
15. <i>Holcus lanatus</i>	5	no	FAC																									
16. <i>Equisetum arvense</i>	5	no	FACW																									
17. <i>Juncus effusus</i>	TR	no	FACW																									
18.																												
19.																												
20.																												
75 = Total Cover																												
<u>Woody Vine Stratum</u> (Plot Size:)																												
1.																												
2.																												
= Total Cover																												
% Bare Ground in Herb Stratum 25																												
Hydrophytic Vegetation Present? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>																												
Remarks:																												

Project Site: Woodinville Sidewalk: NE 145th Street

SOIL

Sampling Point: SP1-1

Profile Description: (Describe to the depth needed to document the indicator or confirm the absence of indicators.)								
Depth (inches)	Matrix		Redox Features				Texture	Remarks
	Color (moist)	%	Color (Moist)	%	Type ¹	Loc ²		
0-9	10YR 3/2	30-40	none				sandy loam	road prism fill – 60-70% gravel & cobbles
9-20	2.5Y 4/1	90	7.5YR 4/6	5	C	M	loamy sand	

¹Type: C= Concentration, D=Depletion, RM=Reduced Matrix, CS=Covered or Coated Sand Grains. ²Location: PL=Pore Lining, M=Matrix

Hydric Soil Indicators: (Applicable to all LRRs, unless otherwise noted.)			Indicators for Problematic Hydric Soils³:		
<input type="checkbox"/> Histosol (A1)	<input type="checkbox"/> Sandy Redox (S5)	<input type="checkbox"/> 2 cm Muck (A10)			
<input type="checkbox"/> Histic Epipedon (A2)	<input type="checkbox"/> Stripped Matrix (S6)	<input type="checkbox"/> Red Parent Material (TF2)			
<input type="checkbox"/> Black Histic (A3)	<input type="checkbox"/> Loamy Mucky Mineral (F1) (except MLRA 1)	<input type="checkbox"/> Other (Explain in Remarks)			
<input type="checkbox"/> Hydrogen Sulfide (A4)	<input type="checkbox"/> Loamy Gleyed Matrix (F2)				
<input type="checkbox"/> Depleted Below Dark Surface (A11)	<input type="checkbox"/> Depleted Matrix (F3)				
<input type="checkbox"/> Thick Dark Surface (A12)	<input type="checkbox"/> Redox Dark Surface (F6)				
<input type="checkbox"/> Sandy Mucky Mineral (S1)	<input type="checkbox"/> Depleted Dark Surface (F7)	³ Indicators of hydrophytic vegetation and wetland hydrology must be present, unless disturbed or problematic.			
<input type="checkbox"/> Sandy Gleyed Matrix (S4)	<input type="checkbox"/> Redox Depressions (F8)				

Restrictive Layer (if present):			
Type:			
Depth (Inches):		Hydric Soils Present? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	

Remarks: Soil pit located approximately 1- 1.5 feet south of stream – redox features presumably due to hyporheic connectivity.

HYDROLOGY

Wetland Hydrology Indicators:					
Primary Indicators (minimum of one required; check all that apply)			Secondary Indicators (2 or more required)		
<input type="checkbox"/> Surface Water (A1)	<input type="checkbox"/> Water-Stained Leaves (B9)	<input type="checkbox"/> Water-Stained Leaves (B9)			
<input type="checkbox"/> High Water Table (A2)	(except MLRA 1, 2, 4A, and 4B)	(MLRA 1, 2, 4A, and 4B)			
<input type="checkbox"/> Saturation (A3)	<input type="checkbox"/> Salt Crust (B11)	<input type="checkbox"/> Drainage Patterns (B10)			
<input type="checkbox"/> Water Marks (B1)	<input type="checkbox"/> Aquatic Invertebrates (B13)	<input type="checkbox"/> Dry-Season Water Table (C2)			
<input type="checkbox"/> Sediment Deposits (B2)	<input type="checkbox"/> Hydrogen Sulfide Odor (C1)	<input type="checkbox"/> Saturation Visible on Aerial Imagery (C9)			
<input type="checkbox"/> Drift Deposits (B3)	<input type="checkbox"/> Oxidized Rhizospheres along Living Roots (C3)	<input type="checkbox"/> Geomorphic Position (D2)			
<input type="checkbox"/> Algal Mat or Crust (B4)	<input type="checkbox"/> Presence of Reduced Iron (C4)	<input type="checkbox"/> Shallow Aquitard (D3)			
<input type="checkbox"/> Iron Deposits (B5)	<input type="checkbox"/> Recent Iron Reduction in Tilled Soils (C6)	<input type="checkbox"/> FAC-Neutral Test (D5)			
<input type="checkbox"/> Surface Soil Cracks (B6)	<input type="checkbox"/> Stunted or Stresses Plants (D1) (LRR A)	<input type="checkbox"/> Raised Ant Mounds (D6) (LRR A)			
<input type="checkbox"/> Inundation Visible on Aerial Imagery (B7)	<input type="checkbox"/> Other (Explain in Remarks)	<input type="checkbox"/> Frost-Heave Hummocks (D7)			
<input type="checkbox"/> Sparsely Vegetated Concave Surface (B8)					

Field Observations:					
Surface Water Present?	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	Depth (inches):			
Water Table Present?	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	Depth (inches):			
Saturation Present? (includes capillary fringe)	Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>	Depth (inches): 20	Wetland Hydrology Present? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		

Describe Recorded Data (stream gauge, monitoring well, aerial photos, previous inspections), if available:

Remarks: Soil pit located approximately 1- 1.5 feet south of stream – saturation presumably from hyporheic connectivity.

WETLAND DETERMINATION DATA FORM – Western Mountains, Valleys, and Coast Region

Project Site: Woodinville Sidewalk: NE 145th Street City/County: King Sampling Date: 4/22/10
 Applicant/Owner: City of Woodinville State: WA Sampling Point: SP1-2
 Investigator(s): S. Anderson Section, Township, Range: Sec 15, T26N, R5E
 Landform (hillslope, terrace, etc.): slope Local relief (concave, convex, none): concave Slope (%):
 Subregion (LRR): A Lat: 47.7329°N Long: 122.1541°W Datum:
 Soil Map Unit Name: Alderwood gravelly sandy loam, 15 to 30 percent slopes NWI classification: none
 Are climatic / hydrologic conditions on the site typical for this time of year? Yes No (If no, explain in Remarks.)
 Are Vegetation , Soil , Or Hydrology , significantly disturbed? no Are "Normal Circumstances" present? Yes No
 Are Vegetation , Soil , Or Hydrology , naturally problematic? no (If needed, explain any answers in Remarks.)

SUMMARY OF FINDINGS – Attach site map showing sampling point locations, transects, important features, etc.

Hydrophytic Vegetation Present?	Yes <input checked="" type="checkbox"/>	No <input type="checkbox"/>	Is the Sampling Area within a Wetland?	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>
Hydric Soil Present?	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>			
Wetland Hydrology Present?	Yes <input checked="" type="checkbox"/>	No <input type="checkbox"/>			
Remarks: Soil pit is located in bottom of ditch, immediately adjacent to the south bank.					

VEGETATION – Use scientific names of plants

Tree Stratum (Plot Size:)	Absolute % Cover	Dominant Species?	Indicator Status	Dominance Test Worksheet:																												
1.				Number of Dominant Species That Are OBL, FACW, or FAC: 2 (A) Total Number of Dominant Species Across All Strata: 3 (B) Percent of Dominant Species That Are OBL, FACW, or FAC: 67 (A/B)																												
2.																																
3.																																
4.																																
= Total Cover				Prevalence Index worksheet: <table style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th style="width: 40%;"></th> <th style="width: 20%;">Total % Cover of:</th> <th style="width: 20%;">Multiply by:</th> <th style="width: 20%;"></th> </tr> </thead> <tbody> <tr> <td>OBL species</td> <td style="text-align: center;">30</td> <td>x1 =</td> <td style="text-align: center;">30</td> </tr> <tr> <td>FACW species</td> <td style="text-align: center;">15</td> <td>x2 =</td> <td style="text-align: center;">30</td> </tr> <tr> <td>FAC species</td> <td></td> <td>x3 =</td> <td></td> </tr> <tr> <td>FACU species</td> <td style="text-align: center;">20</td> <td>x4 =</td> <td style="text-align: center;">80</td> </tr> <tr> <td>UPL species</td> <td></td> <td>x5 =</td> <td></td> </tr> <tr> <td>Column Totals:</td> <td style="text-align: center;">65</td> <td style="text-align: center;">(A)</td> <td style="text-align: center;">140 (B)</td> </tr> </tbody> </table> Prevalence Index = B/A = 2.15		Total % Cover of:	Multiply by:		OBL species	30	x1 =	30	FACW species	15	x2 =	30	FAC species		x3 =		FACU species	20	x4 =	80	UPL species		x5 =		Column Totals:	65	(A)	140 (B)
	Total % Cover of:	Multiply by:																														
OBL species	30	x1 =	30																													
FACW species	15	x2 =	30																													
FAC species		x3 =																														
FACU species	20	x4 =	80																													
UPL species		x5 =																														
Column Totals:	65	(A)	140 (B)																													
= Total Cover																																
Sapling/Shrub Stratum (Plot Size:)																																
5.																																
6.																																
7.																																
8.																																
9.																																
= Total Cover																																
Herb Stratum (Plot Size: 3' wide x 5' long)																																
10. <i>Oenanthе sarmentosa</i>	30	yes	OBL																													
11. <i>Dactylis glomerata</i>	20	yes	FACU																													
12. <i>Phalaris arundinacea</i>	15	yes	FACW																													
13. <i>Equisetum arvense</i>	TR	no	FACW																													
14.																																
15.																																
16.																																
17.																																
18.																																
19.																																
20.																																
= Total Cover																																
65																																
= Total Cover																																
Woody Vine Stratum (Plot Size:)																																
1.																																
2.																																
= Total Cover																																
% Bare Ground in Herb Stratum 35																																
Hydrophytic Vegetation Present? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>																																
Remarks: Plot limited to the ditch bottom.																																

Project Site: Woodinville Sidewalk: NE 145th Street

SOIL

Sampling Point: SP1-2

Profile Description: (Describe to the depth needed to document the indicator or confirm the absence of indicators.)								
Depth (inches)	Matrix		Redox Features				Texture	Remarks
	Color (moist)	%	Color (Moist)	%	Type ¹	Loc ²		
0-3	10YR 3/1	90	none				sandy loam	
3-6	10YR 2/1	90	none				sandy loam	
6-15	2.5Y 3/1	40	none				sand	60-70% gravel and cobbles

¹Type: C= Concentration, D=Depletion, RM=Reduced Matrix, CS=Covered or Coated Sand Grains. ²Location: PL=Pore Lining, M=Matrix

Hydric Soil Indicators: (Applicable to all LRRs, unless otherwise noted.)			Indicators for Problematic Hydric Soils³:		
<input type="checkbox"/> Histosol (A1)	<input type="checkbox"/> Sandy Redox (S5)	<input type="checkbox"/> 2 cm Muck (A10)			
<input type="checkbox"/> Histic Epipedon (A2)	<input type="checkbox"/> Stripped Matrix (S6)	<input type="checkbox"/> Red Parent Material (TF2)			
<input type="checkbox"/> Black Histic (A3)	<input type="checkbox"/> Loamy Mucky Mineral (F1) (except MLRA 1)	<input type="checkbox"/> Other (Explain in Remarks)			
<input type="checkbox"/> Hydrogen Sulfide (A4)	<input type="checkbox"/> Loamy Gleyed Matrix (F2)				
<input type="checkbox"/> Depleted Below Dark Surface (A11)	<input type="checkbox"/> Depleted Matrix (F3)				
<input type="checkbox"/> Thick Dark Surface (A12)	<input type="checkbox"/> Redox Dark Surface (F6)				
<input type="checkbox"/> Sandy Mucky Mineral (S1)	<input type="checkbox"/> Depleted Dark Surface (F7)				
<input type="checkbox"/> Sandy Gleyed Matrix (S4)	<input type="checkbox"/> Redox Depressions (F8)				

³Indicators of hydrophytic vegetation and wetland hydrology must be present, unless disturbed or problematic.

Restrictive Layer (if present):			
Type:			
Depth (Inches):		Hydric Soils Present? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	

Remarks: It was too difficult to dig below 15" due to predominance of big cobbles and inundation.

HYDROLOGY

Wetland Hydrology Indicators:			
Primary Indicators (minimum of one required; check all that apply)		Secondary Indicators (2 or more required)	
<input checked="" type="checkbox"/> Surface Water (A1)	<input type="checkbox"/> Water-Stained Leaves (B9)	<input type="checkbox"/> Water-Stained Leaves (B9)	
<input checked="" type="checkbox"/> High Water Table (A2)	(except MLRA 1, 2, 4A, and 4B)	<input type="checkbox"/> (MLRA 1, 2, 4A, and 4B)	
<input checked="" type="checkbox"/> Saturation (A3)	<input type="checkbox"/> Salt Crust (B11)	<input type="checkbox"/> Drainage Patterns (B10)	
<input type="checkbox"/> Water Marks (B1)	<input type="checkbox"/> Aquatic Invertebrates (B13)	<input type="checkbox"/> Dry-Season Water Table (C2)	
<input type="checkbox"/> Sediment Deposits (B2)	<input type="checkbox"/> Hydrogen Sulfide Odor (C1)	<input type="checkbox"/> Saturation Visible on Aerial Imagery (C9)	
<input type="checkbox"/> Drift Deposits (B3)	<input type="checkbox"/> Oxidized Rhizospheres along Living Roots (C3)	<input type="checkbox"/> Geomorphic Position (D2)	
<input type="checkbox"/> Algal Mat or Crust (B4)	<input type="checkbox"/> Presence of Reduced Iron (C4)	<input type="checkbox"/> Shallow Aquitard (D3)	
<input type="checkbox"/> Iron Deposits (B5)	<input type="checkbox"/> Recent Iron Reduction in Tilled Soils (C6)	<input type="checkbox"/> FAC-Neutral Test (D5)	
<input type="checkbox"/> Surface Soil Cracks (B6)	<input type="checkbox"/> Stunted or Stresses Plants (D1) (LRR A)	<input type="checkbox"/> Raised Ant Mounds (D6) (LRR A)	
<input type="checkbox"/> Inundation Visible on Aerial Imagery (B7)	<input type="checkbox"/> Other (Explain in Remarks)	<input type="checkbox"/> Frost-Heave Hummocks (D7)	
<input type="checkbox"/> Sparsely Vegetated Concave Surface (B8)			

Field Observations:			
Surface Water Present?	Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>	Depth (inches):	3" in thalweg
Water Table Present?	Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>	Depth (inches):	5
Saturation Present? (includes capillary fringe)	Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>	Depth (inches):	surface
			Wetland Hydrology Present? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>

Describe Recorded Data (stream gauge, monitoring well, aerial photos, previous inspections), if available:

Remarks:

RECEIVED
JUN 02 2010

1.0 MITIGATION PLAN OVERVIEW

CITY OF WOODINVILLE
DEVELOPMENT SERVICES

The following mitigation plan was created to counteract all development work on NE 145th St., for a proposed sidewalk, which will provide pedestrian access from 138th Ave NE to Woodinville-Redmond Rd NE; and will be within a Type-4 stream buffer for approximately 120-ft.

1.1. Mitigation Requirements

1.1.1. All impacts to sensitive areas shall be avoided to the extent possible. Proposed impacts are limited only to encroachment on stream buffers.

1.1.1.1. Work along NE 145th Street will encroach upon a Type-4 stream buffer, to the north of the proposed cement conc. Walkway.

1.1.1.2. A total of 1,200-sf of stream buffer will be affected by the proposed project. This impact is unavoidable and necessary for construction of the walkway, along NE 145th St, as the existing roadway lies within the buffer zone of a Type-3 stream to the south, and a Type-4 stream to the north.

1.2. Mitigation Location

1.2.1. Mitigation work shall occur near the convergence of Woodin Creek and the Sammamish River, within the stream buffer of Woodin Creek. Refer to Figure-1 for a map of the proposed mitigation site.

1.2.1.1. Mitigation for impacts to the Type-4 stream buffer shall be 1 to 1, by enhancing 1,200-sf of stream buffer at a designated location at Woodin Creek, currently dominated by reed-canary grass and Himalayan blackberry.

1.2.1.2. The engineer will place stakes around the proposed mitigation site, prior to the start of clearing non-native invasive/aggressive plants.

1.2.1.3. No work or equipment shall occur within the Ordinary High Water mark of Woodin Creek.

1.2.1.4. No temporary erosion and sediment control measures are required for the mitigation site. The site shall be monitored to verify exposed soils are not entering the stream. All work shall occur on dry days. The city shall be notified at least 3-days prior to any work within the stream buffer.

2.0 PERFORMANCE STANDARDS

Performance standards have been established that correspond to the stated mitigation goal and objectives. These standards are the primary factors that will be used to judge the success of the mitigation project. It will be important to evaluate the development of the mitigation plan over the entire monitoring period when determining whether each individual standard has been met or not. While specific performance criteria provide important benchmarks and will help to direct maintenance and contingency efforts, the success of the mitigation must be measured against the goals and objectives of the overall mitigation plan. By monitoring the project and comparing monitoring results to performance standards, a determination can be made as to the need for implementing maintenance efforts or the contingency plan. Performance standards are identified in Table 1.

3.0 MONITORING PLAN

A 60-day warranty inspection period shall occur before the project will be accepted by the City of Woodinville, to ensure all trees and shrubs have survived the initial installation. After the 60-day warranty inspection period, the City will take over maintenance and monitoring responsibilities of the site.

Mitigation monitoring shall be conducted by the Development Services and Public Works Departments of the City of Woodinville, for 5-years after planting has occurred. The objectives of the monitoring program shall be to assess revegetation success. Reports describing monitoring results will be submitted by December 31 of years 1 through 5. The monitoring results shall be related to the performance standards and if warranted, recommendations shall be made based on these findings.

3.1. Establishment of sensitive areas

Encroachment or disturbances into sensitive areas shall be monitored during each visit. The sensitive areas shall be inspected for clearing, trash dumping, and other unauthorized disturbances.

3.2. Vegetation establishment

All mitigation plantings shall be monitored for 5-years and shall include implementing a total plant census. Overview photographs shall be taken from consistent photo points and all planted trees and shrubs will be evaluated in years 1, 2, 3, 4, and 5 to document vegetation development.

During the first 60-days after planting has occurred, the contractor shall be responsible for monitoring of the site. Monitoring shall be undertaken by conducting a complete plant census of all plantings. Once the 60-day Survival Warranty Period is complete, the contractor shall be released from his duties, and the construction portion of the contract will be presented before the City Council for acceptance. The City shall take over monitoring and maintenance of the site, after the 60-day Survival Warranty period has been completed. Monitoring shall then be completed at least once per year, for 5-years.

3.3. Mitigation maintenance

If necessary, maintenance actions will be recommended by the Development Services and Public Works Department of the City. Maintenance within the mitigation areas shall be performed by the contractor during the 60-day warranty period. Following the first 60-day warranty period, maintenance will be performed as necessary, to ensure mitigation goals and objectives are met. Implementation of maintenance actions will be the responsibility of the City of Woodinville.

Table 1 Performance/Monitoring Plan

Performance Standards	Monitoring Methods	Monitoring Interval
100% survival of all planted trees and shrubs after 60-days, with no non-native invasive/ aggressive plant species located within the mitigation area.	60-day warranty inspection by the contractor. Photo points will occur in conjunction with monitoring to provide additional documentation of plant success. The number of living installed species will be compared to species installed at baseline.	Once per month for 2-months
90% survival of all planted trees and shrubs through year 3	The percent survival will be monitored by conducting a complete plant census, by City staff. Photo points will occur in conjunction with monitoring to provide additional documentation of plant success. The number of living installed species will be compared to species installed at baseline.	Annual yearly inspections (years 1 through 3)
80% survival of all planted trees and shrubs through year 5		Annual yearly inspections (years 4 and 5)
Less than 10% of the area will be comprised of non-native invasive/ aggressive plant species	The extent of weed establishment will be measured visually and estimated by the City of Woodinville.	Annual yearly inspections (years 1 through 5)

The planting plan was designed with densely planted trees (2-gallon size) to prevent invasive species from reestablishing within the area. Over time, when the trees begin to mature, they will naturally compete with each other. Through natural selection, the smaller trees will die off, to create stream and forest habitat for the area. The planting plan was designed to retain \pm 10 trees (approximately 40%) in the proposed area, after a period of approximately 10-years.

4.0 INSTALLATION SEQUENCING

1. Mark limits of work for mitigation area boundaries
2. Clear and grub mitigation areas
3. Install plants as specified per final planting plan
4. Cover all exposed soils with arborist mulch
5. Implement monitoring program

5.0 CONSTRUCTION OBSERVATION

The Public Works Inspector shall be on-site periodically during the planting of the mitigation area to review the plant installation.

The responsibilities of the inspector shall include: responding to contractor questions regarding unique construction or planting techniques; review of construction materials and nursery stock; and review of plant locations. It shall be the responsibility of the contractor to verify that plan specifications have been met.

6.0 CONTINGENCY PLAN

The contingency plan will provide for remediating aspects of the mitigation components that have prevented the achievement of mitigation goals. If the desired mitigation goals, as measured by the monitoring program and performance standards, have not been met and cannot be achieved through routine maintenance, then a determination by the City of Woodinville may be made to require submittal of a contingency plan. After written approval by the City of Woodinville, a contingency plan will be implemented and will replace the corresponding components of the approved mitigation plan. If the contingency plan is substantial, the City of Woodinville may extend the monitoring period.



**Request for Agency Comments – Project Permit Review
City of Woodinville**

Development Services Department
425-489-2754 • 17301 133rd Avenue NE • Woodinville, WA 98072
Desk Hours • Monday – Thursday 7:30am – 5:00pm • Friday 7:30am – 4:00pm

DATE: July 5, 2010

CITY OF WOODINVILLE:		COUNTIES:	
X	City of Woodinville (Building)		King County Assessors Office
X	City of Woodinville (Planning)	X	King County DDES, Land Use Services Division
X	City of Woodinville (Fire Department)		King County Metro Transit
X	City of Woodinville (Public Works)		King County Natural Resources and Parks
X	City of Woodinville (Police)		King County Historic Preservation Officer
	City of Woodinville (Administration)		King County Wastewater Treatment Division
	City of Woodinville (Parks and Recreation)		King County Water and Lands Resource Division
	City of Woodinville (Executive Department)		Public Health – Seattle & King County
			Snohomish County PDS
STATE/FEDERAL AGENCIES:		OTHERS:	
	DAHP, Local Agency Archaeologist		Comcast of Washington
X	DOE Environmental Review		Olympic Pipeline
X	WDFW (Ginger Holser)		Puget Sound Energy
	Washington State DNR		Puget Sound Regional Council
X	WSDOT King County Development Services		Verizon Company of the NW, Inc.
	Army Corps of Engineers (Seattle Dist.)		
	United States Postal Service		
SPECIAL DISTRICTS:		TRIBES:	
	Alderwood Water & Wastewater District		Muckleshoot Tribe
	Lake Washington School District		Sauk-Suiattle Tribe
	Northshore School District		Snoqualmie Tribe
	Preston, Gates & Ellis		Stillaguamish Tribe
	Northshore Utility District		Tulalip Tribes
X	Port of Seattle	NOTICE OF APPLICATION ONLY:	
	Puget Sound Clean Air Agency	X	Applicant/Contact Person (Notice Only)
X	Woodinville Water District		Parties of Record (Notice Only)
	Sound Transit		Adjacent Property Owners (Notice Only)
	Community Transit	X	Property Owners within 500' (Notice Only)
		X	Woodinville Weekly (Notice Only)
CITIES:			
	City of Bothell (Planning Director)		
	City of Kirkland (Planning Director)		
	City of Kenmore (Planning Director)		
	City of Redmond (Planning Director)		

FILE NO.: SEP10019

PROPONENT: City of Woodinville

PROJECT NAME: NE 145th Street Walkway

EXHIBIT 7
PAGE 2 OF 8

PROJECT ADDRESS: NE 145th Street Right-of-Way

PROJECT DESCRIPTION: Installation of a new walkway and retaining wall along the north side of NE 145th Street, from 138th Way NE to Woodinville-Redmond Road NE.

ATTACHED IS:

<input checked="" type="checkbox"/>	Notice of Application		Plat Map (Reduced)
	DNS	<input checked="" type="checkbox"/>	Site Plan (Reduced)
<input checked="" type="checkbox"/>	Environmental Checklist		Location Map
<input checked="" type="checkbox"/>	Application		Vicinity Map
	Narrative Statement(s)		Other:

NOTE: _____

Please review this project as it relates to your area of concern and return your comments with this cover sheet by Wednesday, July 21, 2010 to the City of Woodinville, Development Services Department, Attn: Erin Martindale, 17301 133rd Avenue NE, Woodinville, WA 98072 or erinm@ci.woodinville.wa.us. Call the assigned Planner at 425-877-2283 with any questions.

Erin Martindale
Erin Martindale
Planner

7/5/10
Date

RESPONSE SECTION:

_____ Comments Attached

_____ No Comments

COMMENTS: _____

Signature

Date

Agency / Company

FILE NO.: SEP10019

PROPONENT: City of Woodinville

PROJECT NAME: NE 145th Street Walkway

EXHIBIT 7
PAGE 3 OF 8

PROJECT ADDRESS: NE 145th Street Right-of-Way

PROJECT DESCRIPTION: Installation of a new walkway and retaining wall along the north side of NE 145th Street, from 138th Way NE to Woodinville-Redmond Road NE.

ATTACHED IS:

X	Notice of Application		Plat Map (Reduced)
	DNS	X	Site Plan (Reduced)
X	Environmental Checklist		Location Map
X	Application		Vicinity Map
	Narrative Statement(s)		Other:

NOTE: _____

Please review this project as it relates to your area of concern and return your comments with this cover sheet by Wednesday, July 21, 2010 to the City of Woodinville, Development Services Department, Attn: Erin Martindale, 17301 133rd Avenue NE, Woodinville, WA 98072 or erinm@ci.woodinville.wa.us. Call the assigned Planner at 425-877-2283 with any questions.

Erin Martindale
Erin Martindale
Planner

7/5/10
Date

RESPONSE SECTION:

Comments Attached

No Comments

COMMENTS: POLICE WILL WANT TO REVIEW THE TRAFFIC CONTROL PLAN WHEN COMPLETE W/ FINAL PLANS.

[Signature]
Signature

7/12/2010
Date

WOODINVILLE POLICE DEPT.
Agency / Company

FILE NO.: SEP10019

PROPONENT: City of Woodinville

PROJECT NAME: NE 145th Street Walkway

EXHIBIT 7
PAGE 4 OF 8

PROJECT ADDRESS: NE 145th Street Right-of-Way

PROJECT DESCRIPTION: Installation of a new walkway and retaining wall along the north side of NE 145th Street, from 138th Way NE to Woodinville-Redmond Road NE.

ATTACHED IS:

X	Notice of Application		Plat Map (Reduced)
	DNS	X	Site Plan (Reduced)
X	Environmental Checklist		Location Map
X	Application		Vicinity Map
	Narrative Statement(s)		Other:

NOTE: _____

Please review this project as it relates to your area of concern and return your comments with this cover sheet by Wednesday, July 21, 2010 to the City of Woodinville, Development Services Department, Attn: Erin Martindale, 17301 133rd Avenue NE, Woodinville, WA 98072 or erinm@ci.woodinville.wa.us. Call the assigned Planner at 425-877-2283 with any questions.

Erin Martindale
Erin Martindale
Planner

7/5/10
Date

RESPONSE SECTION:

X Comments Attached _____ No Comments

COMMENTS: Notification to Fire Dept - See Cond on PP

C. J. [Signature]
Signature

7-8-10
Date

Agency / Company

Bldg

June 30, 2010

City of Woodinville/Public Works SEPA project SEP10019
NE 145th Street Walkway

Please find attached Request for Comments form relating to the above-referenced project, along with plan sets and associated documents

Please review the attached plans and documents, and return to JANET
by July 21, 2010 with any comments you might have.

- ① ADA CURB CUTS & TRUNCATED DOWNES FOR STAIRS
& STOPS (4) FOR THIS PROJECT.
- ② PED CROSSING @ 202 NOT SEEN ON PLAN
- ③ PED CROSSING @ 145th NOT SEEN ON PLAN
- ④ REASONING STATEMENT INCLUDES ACCESS TO CHATEAU SE MITCHELLS
WHICH DOES NOT HAVE A SIDEWALK ALONG ITS FRONTAGE.
Suggest add to project.

EXHIBIT 7
PAGE 6 OF 8

Erin Martindale

From: Sullivan, Sean [Sullivan.S@portseattle.org]
Sent: Wednesday, July 21, 2010 8:59 AM
To: Erin Martindale
Cc: Thomas Hansen; Maruska, Bob
Subject: NE 145th Walkway/Wood-Snohomish Rd & NE 195th Intersection Improvements

Hi Erin, my name is Sean Sullivan and I help manage the old BNSF rail corridor for the Port of Seattle.

NE 145th Walkway

Tom Hansen and I have discussed the walkway on a couple of occasions, most recently a week or so ago. I have also reviewed the plans with our engineering group and discussed this matter with our counsel.

This portion of the rail line is rail banked and can be activated in the future (we have a request to run down as far south as Bellevue). It is not abandoned/dormant.

We know you did not issue a full set of construction drawings to elicit comments for this project, but we would like to review a more complete set of drawings for any work done in/near the railway ROW. We need more pavement planning details, surface water collection and distribution details, retaining wall details, paving details, details of how the area between the ends of the sidewalk will be finished, planting details, etc..

Our counsel believes that the City would need to secure a right of entry from the Port to do any approved work, and other agreements as may be necessary (which we would determine after the review of the more complete plan set). We would be happy to work with the City to secure the proper agreements with the Port.

Woodinville-Snohomish Road & NE 195th Street Intersection Improvements

This area of the railway ROW has active rail traffic, and as such any approved work in the ROW would need to be coordinated with GNP Rly., the freight operator.

We find an easement granted to King County in our files that is limited specifically to the NE 195th Street intersection/crossing. The easement spells out each party's duties for future repair/maintenance for this area.

Although the railway ROW is not clearly marked on all of the drawings which were sent with your request for comments, it appears that there are numerous areas where your proposed improvements might encroach into the railway ROW – and we have not located authority granted to the City for these encroachments. There appears to be new impervious surfaces, new retaining walls, new guard rail, etc. in the railway ROW. We would like to review the construction detail for any activity proposed in the ROW.

Could you please provide the agreements that support any entry/work in the railway ROW ?

Since there appear to be numerous areas and numerous different construction activities, it would be helpful if we could have our engineers review the proposed plan with the appropriate City representatives. I propose a conference call this Friday at either 9AM or 10AM. Please let me know if this would work and I'll try to coordinate.

If you have questions/comments please let me know.

Thanks,

Sean T. Sullivan
Port of Seattle
Real Estate Manager
(206) 787-3630

Please note that my phone number has changed to (206) 787-3630.

08/18/2010

EXHIBIT 7
PAGE 7 OF 8**Erin Martindale**

From: Keiffer, Nigel [Nigel.Keiffer@kingcounty.gov]
Sent: Tuesday, July 13, 2010 10:28 AM
To: Erin Martindale
Cc: Hancock, Dave; Krank, Ken; Brian Meyer
Subject: Project NE 145th St. Walkway - File Number SEP10019

We were concerned that the proposed retaining wall might impact access to both maintenance access roads for the nearby storm water flow control pond (D92445). I reviewed the plans yesterday and it appears the wall construction will be east of the railroad right of way. The pond is located west of the railroad R/W. However, I did not see any provision for curb cuts to accommodate the maintenance access roads. You can ignore my previous voice mail messages. Please feel free to call me at 206-660-8350 if you have any questions.

08/18/2010

EXHIBIT 7
PAGE 8 OF 8**Erin Martindale****From:** Holser, Ginger (DFW) [Ginger.Holser@dfw.wa.gov]**Sent:** Thursday, July 08, 2010 6:11 PM**To:** Erin Martindale**Subject:** SEPA Comment SEP10019 NE 145th St Walkway

Erin,

Thank you for the opportunity to comment on this project.

WDFW visited the site on March 10, 2010, with Mat Ellis and determined the watercourses on both sides of the street are considered streams as noted in your SEPA checklist. The project, as described during this visit, would affect the bank of the stream on the north side of NE 145th St. The proposal was to have the new sidewalk directly abut the stream channel. The project as described to WDFW will require a HPA.

Sincerely,

Ginger HolserArea Habitat Biologist
16018 Mill Creek Blvd.
Mill Creek WA 98012
425-379-2305
ginger.holser@dfw.wa.gov

08/18/2010



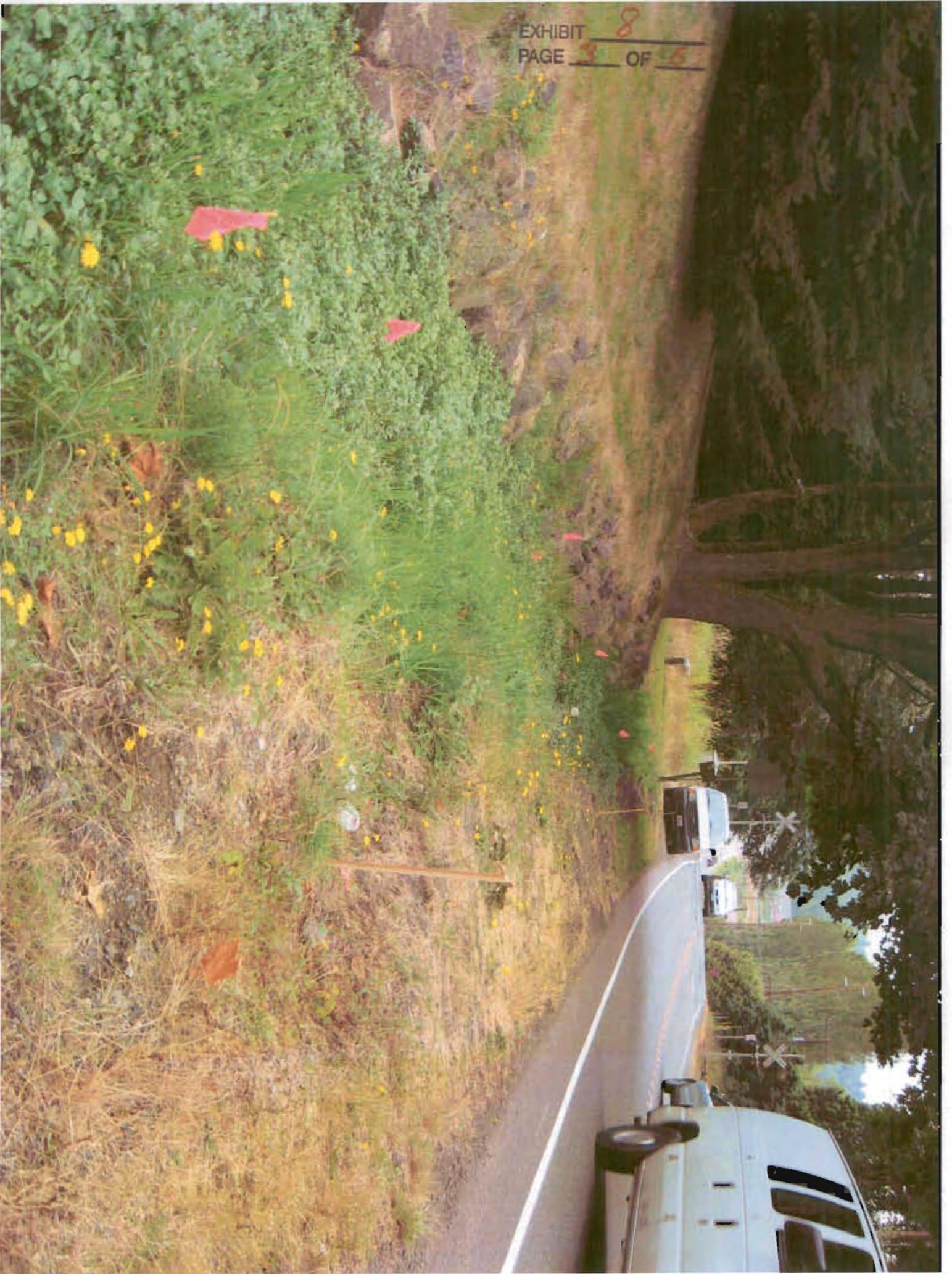
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AUG 18 2010

CITY OF WOODINVILLE
DEVELOPMENT SERVICES



EXHIBIT 2 OF 6



NO
ON
AND
CH







Erin Martindale

From: Erin Martindale
Sent: Thursday, June 17, 2010 11:33 AM
To: 'Greg A. Rubstello'
Subject: RE: Questions
I agree. Thank you that helps.

From: Greg A. Rubstello [mailto:grubstello@omwlaw.com]
Sent: Thursday, June 17, 2010 11:33 AM
To: Erin Martindale
Subject: RE: Questions

Erin,

Since WMC 21.24.080 clearly states the application goes to the hearing examiner pursuant to the provisions of Ch. 2.30 that's what needs to be done. The "public hearing" however is not an open record hearing, but a closed record review by the examiner of the recommendation make by the planning director to the examiner. It appears from 2.30.020(5) that the examiner would affirm the recommendation of the director unless he determined the recommendation of the director was clearly erroneous. The examiner would conduct his review as described in 2.30.020(5). Notice is provided as provided in 2.30.020(4).

The exception allowed by 21.24.080 seems not to be a "project permit" under Ch. 17.07. However, since SEPA is required, 14.04.190 provides that whenever possible, the City shall integrate the public notice required under this section with existing notice procedures for the City's nonexempt permit(s) or approval(s) required for the proposal. You should complete SEPA review before Hal makes a director's recommendation to the hearing examiner. How would Hal know what recommendation to make until SEPA review is complete?

Does the above make sense? Probably not, but it's the best I could come up with consistent with the code.

Greg

P.S. Yes, I did hear your voice mail . Intended to talk to you last night. We can try later today.

From: Erin Martindale [mailto:Erinm@ci.woodinville.wa.us]
Sent: Thursday, June 17, 2010 8:02 AM
To: Greg A. Rubstello
Subject: Questions

Hi Greg,

The Public Works Department has submitted a complete application for a critical area exception under WMC 21.24.080. Under WMC 21.24.080(1)(b), it says that the Hearing Examiner conducts a public hearing pursuant to Chapter 2.30. Chapter 2.30 regulates appeals. This seems like the wrong reference (maybe should be Chapter 2.27), but it could be correct. Also, there is no reference that I can find in this section to what type of permit review process (I, II, III) to use for this application.

My question is, what is the correct way to process this: 1) issue the public hearing notice how it calls out

08/03/2010

in Title 17 (publish, post the site and city posting places, mail), follow 2.30 (send only to the applicant and appellant), or something else? Do I need to do any other noticing for this application? There is a SEPA application for this as well, which requires notice of application. My default is to treat this application like any Type III Project Permit, consolidate the reviews of the exception and the SEPA, and do the Notice of Application, SEPA Determination, Public Hearing Notice, and Notice of Decision

Also, did you get my voice mail on the affidavits?

Thanks,

Erin Martindale
City of Woodinville
17301 133rd Avenue NE
Woodinville, WA 98072
425-877-2283
erinm@ci.woodinville.wa.us