

UTILITY CONFLICT NOTE:

CAUTION:
THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION, DIMENSION, AND DEPTH OF ALL EXISTING UTILITIES WHETHER SHOWN ON THESE PLANS OR NOT BY POT-Holing THE UTILITIES AND SURVEYING THE HORIZONTAL AND VERTICAL LOCATION PRIOR TO CONSTRUCTION. THIS SHALL INCLUDE CALLING UTILITY LOCATE @ 1-800-424-5555 AND THEN POT-Holing ALL OF THE EXISTING UTILITIES AT LOCATIONS OF NEW UTILITY CROSSINGS TO PHYSICALLY VERIFY WHETHER OR NOT CONFLICTS EXIST. LOCATIONS OF SAID UTILITIES AS SHOWN ON THESE PLANS ARE BASED UPON THE UNVERIFIED PUBLIC INFORMATION AND ARE SUBJECT TO VARIATION.

UTILITY PURVEYORS

WATER AND SEWER:
WOODINVILLE WATER DISTRICT
P.O. BOX 1390
17238 NE WOODINVILLE DUVALL RD.
WOODINVILLE WA 98072
425-487-4100
KEN HOWE, GENERAL MANAGER

ELECTRICITY AND NATURAL GAS:
PUGET SOUND ENERGY
10885 NE 4TH ST.
BELLEVUE, WA 98004-5591
1-800-562-1482

TELEPHONE AND CABLE:
FRONTIER COMMUNICATIONS
1800 41ST STREET
EVERETT, WA 98206
425-263-4019

COMCAST
14870 NE 95TH STREET
REDMOND, WA 98052
877-824-2288

STORMWATER:
CITY OF WOODINVILLE
17301 133RD AVE NE
WOODINVILLE, WA 98072
425-489-2700

LEGAL DESCRIPTION:

(PER FIRST AMERICAN TITLE INSURANCE COMPANY COMMITMENT FILE NO: NCS-706428-WA1 DATED 12-10-2014)

PARCELS 'B' AND 'C' OF THE CITY OF WOODINVILLE BOUNDARY LINE ADJUSTMENT NO. 13001, AS RECORDED IN VOLUME 303, PAGES 23 THROUGH 26, RECORDED OCTOBER 21, 2013 UNDER RECORDING NO. 20131021900003, RECORDS OF KING COUNTY, WASHINGTON.

SURVEY NOTES:

- 1) SURVEY PROCEDURES & EQUIPMENT:
PRIMARY CONTROL: LEICA RX1250X AND ASHTACH Z-XTRME SINGLE FREQUENCY, 6 CHANNEL GPS RECEIVERS, ON SITE CONTROL AND CORNER STAKING; FIELD TRAVERSE WITH 10" TOTAL STATION.
- 2) THE GPS SURVEY PERFORMED FOR THIS SURVEY MEET OR EXCEEDS THOSE STANDARDS CONTAINED IN WAC 332-130-160. THE FIELD TRAVERSES USED IN THIS SURVEY MEET OR EXCEED THOSE STANDARDS CONTAINED IN WAC 332-130-090.
- 3) DISTANCES ARE IN FEET AND DECIMALS THEREOF.
- 4) ALL CONTROLLING MONUMENTS SHOWN ARE OF RECORD, ARE LOCALLY ACCEPTED AS REPRESENTATIVE OF THEIR PURPORTED POSITIONS, AND WERE VISITED DURING THE COURSE OF THIS SURVEY UNLESS OTHERWISE NOTED.

HORIZONTAL AND VERTICAL DATUM

HORIZONTAL CONTROL IN STATE PLANE COORDINATES AND VERTICAL CONTROL IN NAVD88 (ALL COORDINATES IN FEET)

#1 TOP OF CONCRETE MONUMENT IN CASE, CENTERLINE OF WOODINVILLE REDMOND RD. IN APPROXIMATE LINE WITH NORTH PROPERTY LINE
N:274418.71 E:1313881.37 ELEV=44.75

#2 TOP OF CONCRETE MONUMENT IN CASE, CENTERLINE OF WOODINVILLE REDMOND RD. APPROXIMATELY 500 FEET SOUTH OF SITE
N:273195.45 E:1314455.38 ELEV=37.09

#3 PK NAIL 22 FEET NORTH OF SOUTH PROPERTY LINE, 56 FEET SOUTHWEST OF A CATCH BASIN, 52 FEET NORTHWEST OF LUMINAIRE
N:273670.77 E:1315211.73 ELEV=31.20

#4 PK NAIL 18 FEET EAST OF FIRE HYDRANT
N:273851.63 E:1314842.56 ELEV=30.99

#5 PK NAIL IN CENTER OF PARCEL A
N:274247.92 E:1314728.26 ELEV=30.38

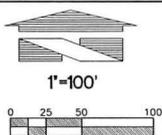
HORIZONTAL AND VERTICAL CONTROL WAS RECOVERED FROM PREVIOUS ALTA/ACSM SURVEY BY MERIWETHER LEACHMAN ASSOCIATES INC. IN 2002. THESE MEASUREMENTS WERE VERIFIED BY LEICA 1200 RX RTK USING THE KUKER RANKIN GPS NETWORK. THESE POINTS ARE SHOWN ON THE MAP TO THE RIGHT AS CP #X.

SHEET INDEX

- C1 OF 13 COVER SHEET
- C2 OF 13 T.E.S.C. PLAN
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- C5 OF 13 STORM DRAINAGE PROFILES
- C6 OF 13 STORM DRAINAGE PROFILES, NOTES AND DETAILS
- C7 OF 13 STORM DRAINAGE NOTES AND DETAILS
- C8 OF 13 FRONTAGE IMPROVEMENTS PLAN
- C9 OF 13 FRONTAGE IMPROVEMENTS PLAN
- C10 OF 13 FRONTAGE IMPROVEMENTS PLAN, NOTES AND DETAILS
- C11 OF 13 T.E.S.C. NOTES AND DETAILS
- C12 OF 13 NOTES AND DETAILS
- C13 OF 13 NOTES AND DETAILS

WSDOT CHANNELIZATION PLANS

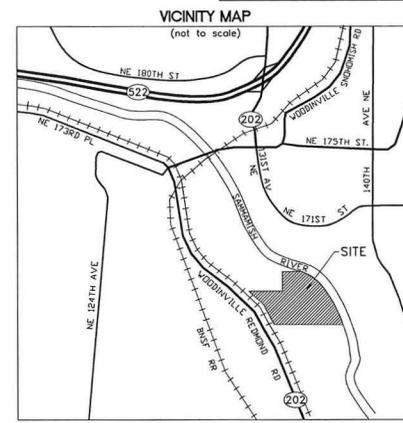
- 1 OF 3 SR202 CHANNELIZATION PLAN
- 2 OF 3 SR202 CHANNELIZATION PLAN
- 3 OF 3 SR202 CHANNELIZATION PLAN



COVER SHEET
THE RESERVE AT WOODINVILLE
PANATTONI DEVELOPMENT
NW 1/4, SECTION 15, TOWNSHIP 26 NORTH, RANGE 5 EAST, W.M.
CITY OF WOODINVILLE, KING COUNTY, WA

CALL BEFORE YOU DIG:
1-800-424-5555

EXHIBIT 7
PAGE 1 OF 13



PROPERTY DATA

OWNER: WOODINVILLE LUMBER, INC.
ADDRESS: 15002 WOODINVILLE REDMOND RD.
WOODINVILLE WA 98072

ASSESSOR PARCEL NOS: 152605 9053
152605 9066
152605 9068

JURISDICTION: CITY OF WOODINVILLE
ZONING: INDUSTRIAL
BUILDING SETBACK: NONE SPECIFIED
BUILDING HEIGHT: 45'

UTILITY NOTE:

ALL UNDERGROUND UTILITY LOCATIONS ARE BASED ON STRUCTURES LOCATED BY FIELD MEASUREMENTS IN (DATE) AND LOCATIONS PROVIDED BY:

APPLIED PROFESSIONAL SERVICES
43530 SE NORTH BEND WAY
NORTH BEND, WA 98045
(425) 888-2590

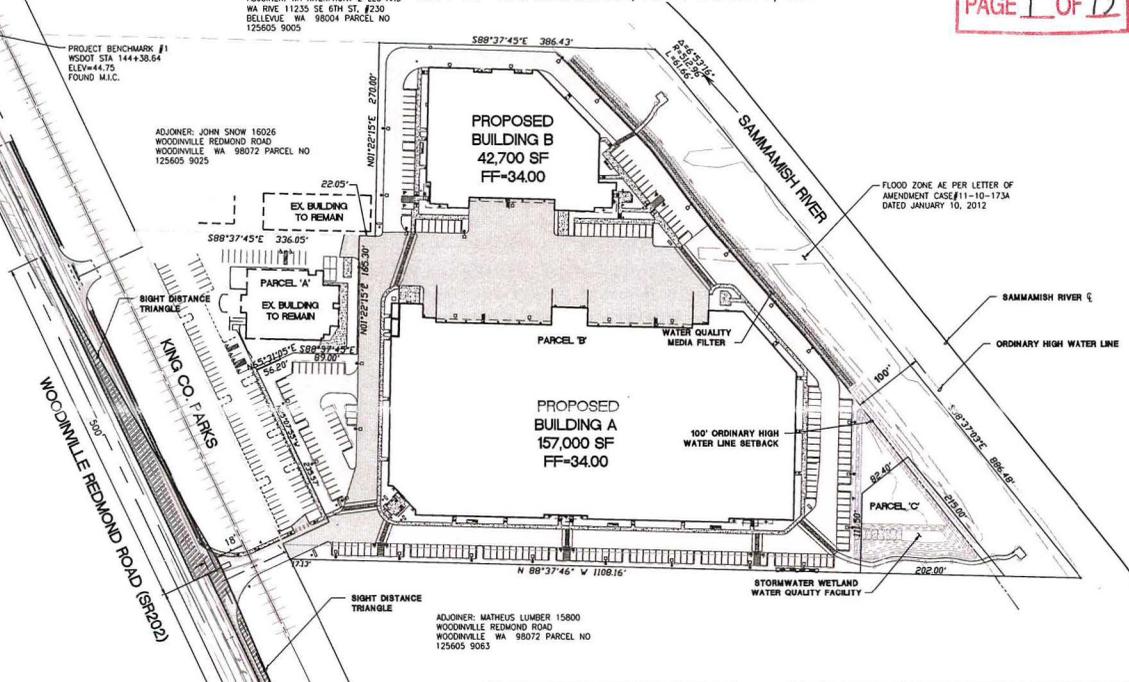
THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA EITHER IN SERVICE OR ABANDONED. THE SURVEYOR DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM THE INFORMATION PROVIDED. ALL EXISTING UTILITIES SHOWN ON PLANS ARE TO BE VERIFIED HORIZONTALLY AND VERTICALLY PRIOR TO ANY CONSTRUCTION.

ENGINEER

BARGHAUSEN CONSULTING ENGINEERS, INC.
18215 72ND AVENUE SOUTH
KENT, WA 98032
CONTACT: ALI SADR, P.E.
425-251-6222

ARCHITECT

LANCE MUELLER & ASSOCIATES
130 LAKESIDE AVENUE
SUITE 250
SEATTLE, WA 98122
CONTACT: BOB FADDEN
206-325-2353

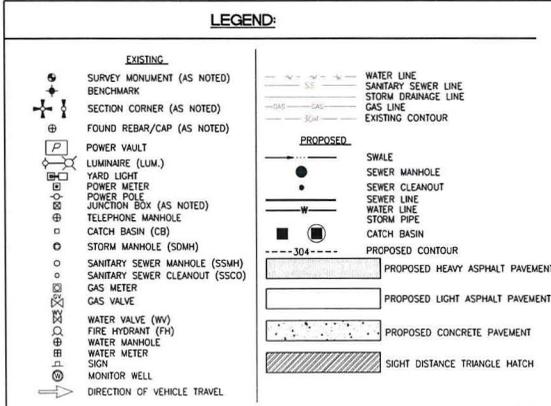


POST DEVELOPMENT IMPERVIOUS AREA CALCULATION (EXCLUDING PARCEL 'A')

TOTAL SITE AREA=538,248 S.F.=12.36 ACRES
TOTAL IMPERVIOUS AREA=369,929 S.F.=8.49 ACRES
TOTAL PERVIOUS AREA=168,319 S.F.=3.86 ACRES
SITE IMPERVIOUS AREA = 69.0%
SITE PERVIOUS AREA = 31.0%
BUILDING 'A' AREA = 382,467 S.F.
BUILDING 'B' AREA = 155,780 S.F.

AREA SUMMARY

Proposed Parcel A (NOT A PART)	65,907 s.f. (1.513 acres)
Proposed Parcel B	510,863 s.f. (11.728 acres)
Proposed Parcel C	27,385 s.f. (0.629 acres)
Total Area	538,248 s.f. (12.36 acres)



DRIVEWAY SIGHT DISTANCE REQUIREMENT:
ASHO: 45 mph
SSD=360'
LSD=500'

OHWM NOTE:
ORDINARY HIGH WATER LINE WAS FLAGGED BY:
TALASAEA CONSULTANTS, INC.
15020 BEAR CREEK RD. NE
WOODINVILLE WA 98077
425-861-7550

THE FLAGS WERE LOCATED BY HARMSEN AND ASSOCIATES ON AUG. 11, 2011.

Revision
No. 1
Date 6/03/16
By LHM
Checked AS
Approved AS
Revised Per City Review

Title:
COVER SHEET
THE RESERVE AT WOODINVILLE
PANATTONI DEVELOPMENT

For:
PANATTONI DEVELOPMENT COMPANY
900 SW 16TH ST., SUITE 300
RENTON, WA 98057
(206) 248-0280

Scale:
Horizontal 1"=100'
Vertical N/A

Designed: AS
Drawn: MB
Checked: AS
Approved: DBE
Date: 12/02/15

Approved for Construction:
Civil Plans Examiner
For Sheets _____ thru _____
Director of Public Works,
City of Woodville
City Engineer
Fire Department
Development Services Department

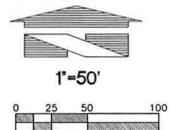
Date: _____

This approval is for the design concept only. These plans appear to be in conformance with the City of Woodville design standards for construction. This approval shall not be construed as authorizing construction not in accordance with applicable City standards. The City reserves the right to require revisions to the approved plans to assure conformance with City of Woodville design standards for construction at any time that it is discovered that the proposed construction does not otherwise meet the applicable construction standards. The owner is required to provide designs and plans in accordance with the applicable City standards and assures that construction is accomplished in accordance with those standards. The owner and/or design engineer and/or developer, as the case may be, are required to make necessary approved field revisions to correct any errors or omissions found on the approved plan.

Job Number: 15985.1
Sheet: C1 13
Scale: 1"=100'

FILE: Y:\Projects\15985\15985\Engineering\15985\15985.dwg
DATE: 6/3/2016 3:27 PM
SCALE: 1"=100'
USER: LHM

UTILITY CONFLICT NOTE:
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T.E.S.C. PLAN

THE RESERVE AT WOODINVILLE

PANATTONI DEVELOPMENT

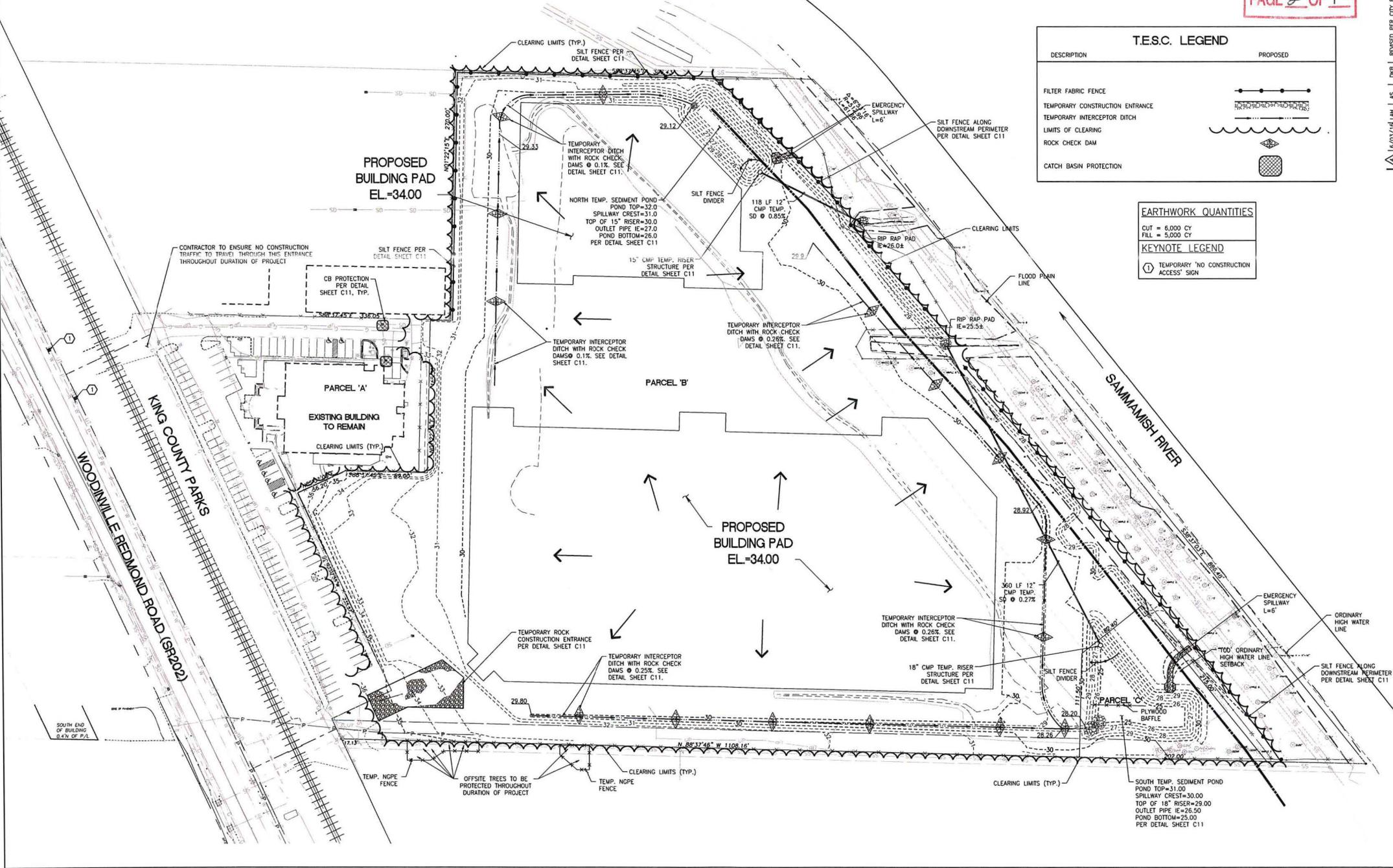
NW 1/4, SECTION 15, TOWNSHIP 26 NORTH, RANGE 5 EAST, W.M.
 CITY OF WOODINVILLE, KING COUNTY, WA

CALL BEFORE YOU DIG:
 1-800-424-5555

EXHIBIT 7
 PAGE 2 OF 13

T.E.S.C. LEGEND	
DESCRIPTION	PROPOSED
FILTER FABRIC FENCE	
TEMPORARY CONSTRUCTION ENTRANCE	
TEMPORARY INTERCEPTOR DITCH	
LIMITS OF CLEARING	
ROCK CHECK DAM	
CATCH BASIN PROTECTION	

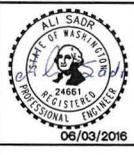
EARTHWORK QUANTITIES	
CUT	= 6,000 CY
FILL	= 5,000 CY
KEYNOTE LEGEND	
	TEMPORARY 'NO CONSTRUCTION ACCESS' SIGN



15/03/16 LAM AS DBS REVISION PER CITY REVIEW
 No. Date By Cdd Appr.

Title:
 T.E.S.C. PLAN
 THE RESERVE AT WOODINVILLE
 PANATTONI DEVELOPMENT

FOR:
 PANATTONI DEVELOPMENT COMPANY
 900 SW 46TH ST., SUITE 830
 RENTON, WA 98057
 (206) 248-0280



Scale:
 Horizontal 1"=50'
 Vertical N/A

AS Drawn
 MB Checked
 AS Approved
 DBS Date 12/02/15

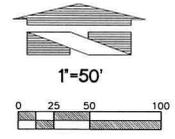
18215 72ND AVENUE SOUTH
 KENT, WA 98032
 (425) 251-6222
 (425) 251-8782 FAX
 CIVIL ENGINEERING, LAND PLANNING,
 SURVEYING, ENVIRONMENTAL SERVICES



Job Number
159851
 Sheet
C2 of **13**

159851\Projects\159851\159851\Drawings\159851-T.E.S.C. 15/03/16.dwg 15/03/16 10:21 AM Sheet 2 of 13

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GRADING PLAN

THE RESERVE AT WOODINVILLE

PANATTONI DEVELOPMENT

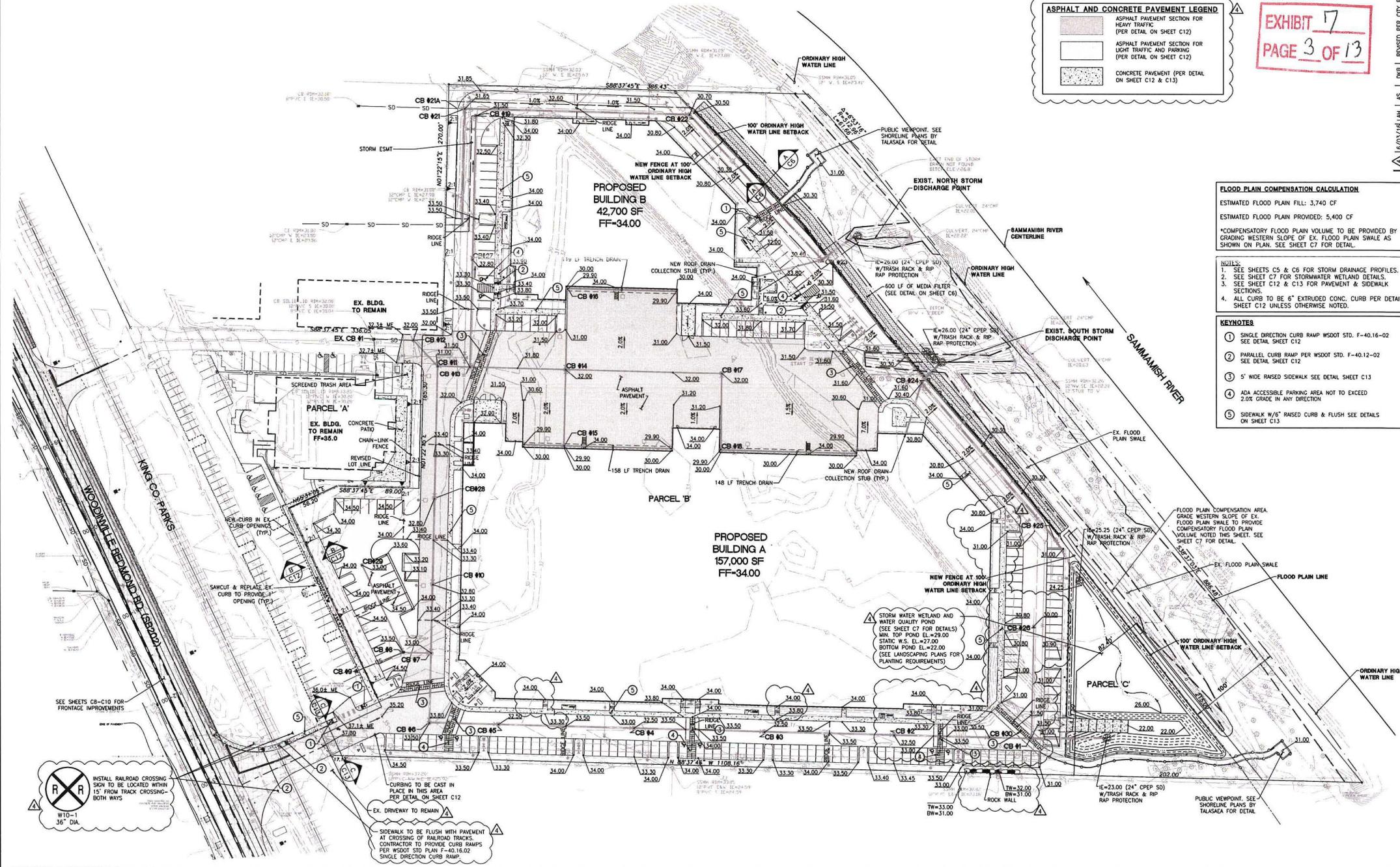
NW 1/4, SECTION 15, TOWNSHIP 26 NORTH, RANGE 5 EAST, W.M.
 CITY OF WOODINVILLE, KING COUNTY, WA

CALL BEFORE YOU DIG:
 1-800-424-5555

ASPHALT AND CONCRETE PAVEMENT LEGEND

- ASPHALT PAVEMENT SECTION FOR HEAVY TRAFFIC (PER DETAIL ON SHEET C12)
- ASPHALT PAVEMENT SECTION FOR LIGHT TRAFFIC AND PARKING (PER DETAIL ON SHEET C12)
- CONCRETE PAVEMENT (PER DETAIL ON SHEET C12 & C13)

EXHIBIT 7
 PAGE 3 OF 13



FLOOD PLAIN COMPENSATION CALCULATION
 ESTIMATED FLOOD PLAIN FILL: 3,740 CF
 ESTIMATED FLOOD PLAIN POND: 5,400 CF
 *COMPENSATORY FLOOD PLAIN VOLUME TO BE PROVIDED BY GRADING WESTERN SLOPE OF EX. FLOOD PLAIN SWALE AS SHOWN ON PLAN. SEE SHEET C7 FOR DETAIL.

- NOTES:**
1. SEE SHEETS C5 & C6 FOR STORM DRAINAGE PROFILES.
 2. SEE SHEET C7 FOR STORMWATER WETLAND DETAILS.
 3. SEE SHEET C12 & C13 FOR PAVEMENT & SIDEWALK SECTIONS.
 4. ALL CURB TO BE 6" EXTRUDED CONC. CURB PER DETAIL SHEET C12 UNLESS OTHERWISE NOTED.

- KEYNOTES**
1. SINGLE DIRECTION CURB RAMP W/SDOT STD. F-40.16-02 SEE DETAIL SHEET C12
 2. PARALLEL CURB RAMP PER WSDOT STD. F-40.12-02 SEE DETAIL SHEET C12
 3. 5' WIDE RAISED SIDEWALK SEE DETAIL SHEET C13
 4. ADA ACCESSIBLE PARKING AREA NOT TO EXCEED 2.0% GRADE IN ANY DIRECTION
 5. SIDEWALK W/6" RAISED CURB & FLUSH SEE DETAILS ON SHEET C13

Date: 12/05/18
 By: JAH
 Checked: [Signature]
 Approved: [Signature]
 Title: GRADING PLAN
 THE RESERVE AT WOODINVILLE
 PANATTONI DEVELOPMENT

For: PANATTONI DEVELOPMENT COMPANY
 900 SW 16TH ST., SUITE 300
 RENTON, WA 98057
 (206) 248-0280

06/03/2016

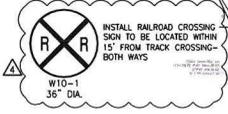
Scale:
 Horizontal: 1"=50'
 Vertical: N/A

Designed AS
 Drawn MB
 Checked AS
 Approved JIB
 Date 12/02/15

18215 72ND AVENUE SOUTH
 KENT, WA 98032
 (425) 251-6222 FAX
 (425) 251-8782 FAX
 CIVIL ENGINEERING, LAND PLANNING,
 SURVEYING, ENVIRONMENTAL SERVICES



Job Number: 15985.1
 Sheet: C3 of 13



CURBING TO BE CAST IN PLACE IN THIS AREA PER DETAIL ON SHEET C12

EX. DRIVEWAY TO REMAIN

SIDEWALK TO BE FLUSH WITH PAVEMENT AT CROSSING OF RAILROAD TRACKS. CONTRACTOR TO PROVIDE CURB RAMP PER WSDOT STD. PLAN F-40.16.02 SINGLE DIRECTION CURB RAMP.

STORM WATER WETLAND AND WATER QUALITY POND (SEE SHEET C7 FOR DETAILS) MIN. TOP POND EL.=29.00 STATIC W.S. EL.=27.00 BOTTOM POND EL.=22.00 (SEE LANDSCAPING PLANS FOR PLANTING REQUIREMENTS)

FLOOD PLAIN COMPENSATION AREA GRADE WESTERN SLOPE OF EX. FLOOD PLAIN SWALE TO PROVIDE COMPENSATORY FLOOD PLAIN VOLUME NOTED THIS SHEET. SEE SHEET C7 FOR DETAIL.

PUBLIC VIEWPOINT. SEE SHORELINE PLANS BY TALASACA FOR DETAIL.

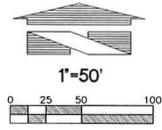
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FLOOD PLAIN COMPENSATION CALCULATION
 ESTIMATED FLOOD PLAIN FILL: 3,740 CF
 ESTIMATED FLOOD PLAIN PROVIDED: 5,400 CF
 *COMPENSATORY FLOOD PLAIN VOLUME TO BE PROVIDED BY GRADING WESTERN SLOPE OF EX. FLOOD PLAIN SWALE AS SHOWN ON PLAN. SEE SHEET C7 FOR DETAIL.

NOTES:
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 2. SEE SHEET C7 FOR STORMWATER WETLAND DETAILS.
 3. SEE SHEET C12 FOR PAVEMENT & SIDEWALK SECTIONS.
 4. ALL CURB TO BE 6" EXTRUDED CONC. CURB PER DETAIL SHEET C12 UNLESS OTHERWISE NOTED.

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 1-800-424-5555

NOTE:
 SEE SHEETS C5 AND C6 FOR ALL STORM DRAINAGE SYSTEM PROFILES



STORM DRAINAGE PLAN

THE RESERVE AT WOODINVILLE

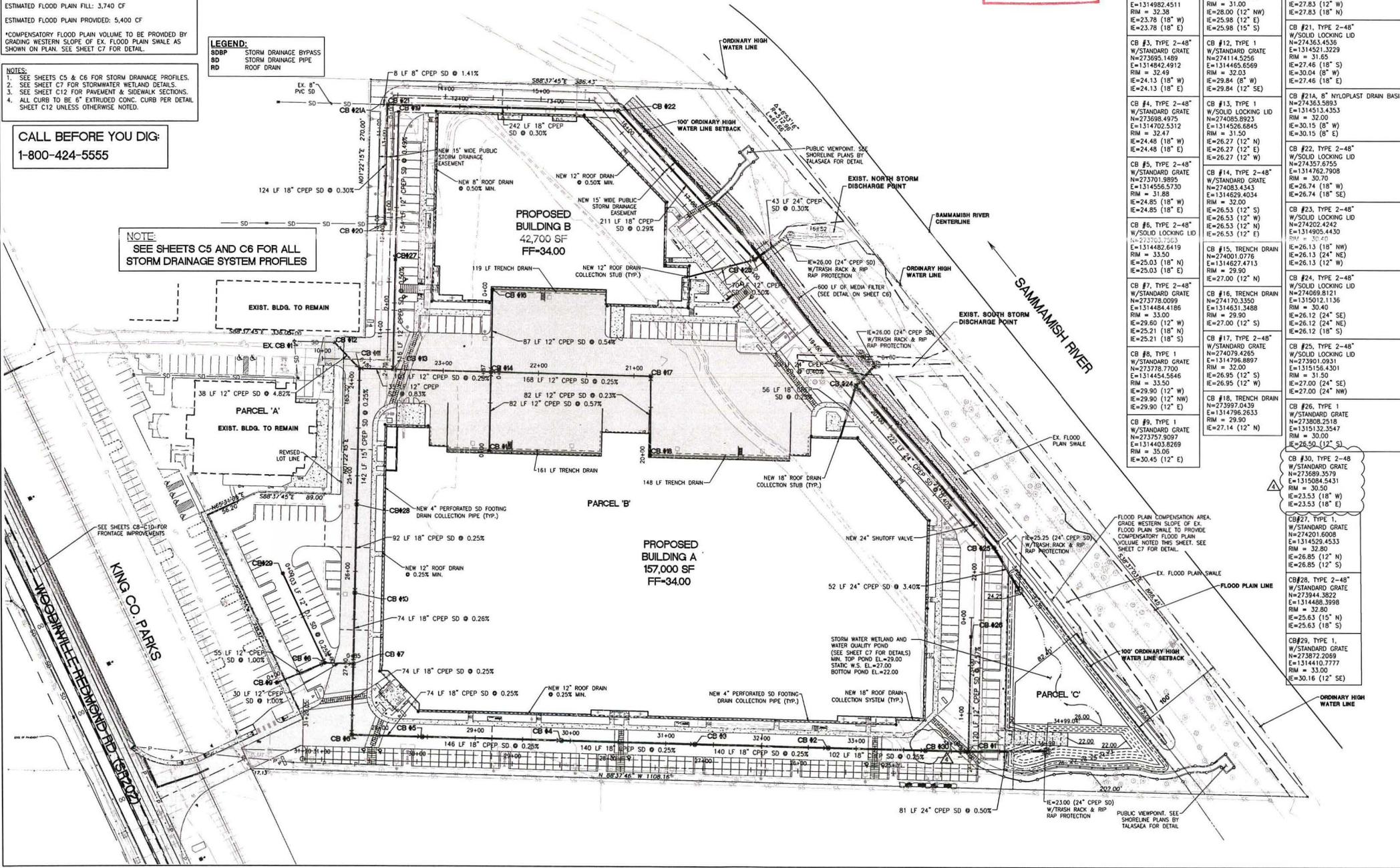
PANATTONI DEVELOPMENT

NW 1/4, SECTION 15, TOWNSHIP 26 NORTH, RANGE 5 EAST, W.M.
 CITY OF WOODINVILLE, KING COUNTY, WA

EXHIBIT 7
PAGE 4 OF 13

PROPOSED CATCH BASIN TABLE

CATCH BASIN TABLE	CATCH BASIN TABLE	CATCH BASIN TABLE
CB #1, TYPE 2-48" W/SOLID LOCKING LID N=273688.2627 E=1314486.1875 RIM = 31.50 IE=23.41 (18" W) IE=23.41 (12" N) IE=23.41 (24" E)	CB #10, TYPE 2-48" W/STANDARD GRATE N=273851.9301 E=1314486.1875 RIM = 31.50 IE=25.40 (18" N) IE=25.40 (18" S)	CB #19, TYPE 1, W/STANDARD GRATE N=274355.8836 E=1314533.1452 RIM = 31.50 IE=27.61 (12" S)
CB #2, TYPE 2-48" W/STANDARD GRATE N=273691.8004 E=1314982.4511 RIM = 32.38 IE=23.78 (18" W) IE=23.78 (18" E)	CB #11, TYPE 1 W/STANDARD GRATE N=274085.7929 E=1314491.8059 RIM = 31.00 IE=26.00 (12" NW) IE=25.98 (12" E) IE=25.98 (15" S)	CB #20, TYPE 2-48" W/SOLID LOCKING LID N=274239.0489 E=1314518.3460 RIM = 32.60 IE=27.83 (18" W) IE=27.83 (18" N)
CB #3, TYPE 2-48" W/STANDARD GRATE N=273695.1489 E=1314842.4912 RIM = 32.49 IE=24.13 (18" W) IE=24.13 (18" E)	CB #12, TYPE 1 W/STANDARD GRATE N=274114.5256 E=1314492.4912 RIM = 32.03 IE=29.84 (8" W) IE=29.84 (12" SE)	CB #21, TYPE 2-48" W/SOLID LOCKING LID N=274363.4536 E=1314521.3229 RIM = 31.65 IE=27.46 (18" S) IE=30.04 (8" W) IE=27.46 (18" E)
CB #4, TYPE 2-48" W/STANDARD GRATE N=273698.0975 E=1314702.5312 RIM = 32.47 IE=24.48 (18" W) IE=24.48 (18" E)	CB #13, TYPE 1 W/SOLID LOCKING LID N=274085.9975 E=1314526.6845 RIM = 31.50 IE=26.27 (12" N) IE=26.27 (12" W)	CB #21A, 8" NYLOPLAST DRAIN BASIN N=274363.5893 E=1314513.4353 RIM = 32.00 IE=30.15 (8" W) IE=30.15 (8" E)
CB #5, TYPE 2-48" W/STANDARD GRATE N=273701.9895 E=1314556.5730 RIM = 31.80 IE=24.85 (18" W) IE=24.85 (18" E)	CB #14, TYPE 2-48" W/STANDARD GRATE N=274083.4343 E=1314629.4034 RIM = 32.00 IE=26.53 (12" S) IE=26.53 (12" E)	CB #22, TYPE 2-48" W/SOLID LOCKING LID N=274357.6755 E=1314762.7608 RIM = 30.70 IE=26.74 (18" W) IE=26.74 (18" SE)
CB #6, TYPE 2-48" W/SOLID LOCKING LID N=273703.7623 E=1314482.6419 RIM = 33.50 IE=25.03 (18" N) IE=25.03 (18" E)	CB #15, TRENCH DRAIN N=274001.0771 E=1314627.4713 RIM = 29.90 IE=27.00 (12" N)	CB #23, TYPE 2-48" W/SOLID LOCKING LID N=274357.6755 E=1314762.7608 RIM = 30.70 IE=26.13 (18" NW) IE=26.13 (24" NE) IE=26.13 (12" W)
CB #7, TYPE 2-48" W/STANDARD GRATE N=273778.0099 E=1314484.4186 RIM = 33.00 IE=29.60 (12" W) IE=29.21 (18" N) IE=25.21 (18" S)	CB #16, TRENCH DRAIN N=274079.2265 E=1314796.8897 RIM = 32.00 IE=26.56 (12" S) IE=26.95 (12" W)	CB #24, TYPE 2-48" W/SOLID LOCKING LID N=274069.8121 E=1314510.1136 RIM = 30.40 IE=26.12 (24" SE) IE=26.12 (24" NE) IE=26.12 (18" S)
CB #8, TYPE 1 W/STANDARD GRATE N=273778.7700 E=1314454.5846 RIM = 33.50 IE=29.90 (12" W) IE=29.90 (12" NW) IE=29.90 (12" E)	CB #17, TYPE 2-48" W/STANDARD GRATE N=274079.2265 E=1314796.8897 RIM = 32.00 IE=26.95 (12" W) IE=26.95 (12" E)	CB #25, TYPE 2-48" W/SOLID LOCKING LID N=273901.0931 E=1315156.4301 RIM = 32.00 IE=27.00 (24" SE) IE=27.00 (24" NW)
CB #9, TYPE 1 W/STANDARD GRATE N=273787.0097 E=1314403.8269 RIM = 35.06 IE=30.45 (12" E)	CB #18, TRENCH DRAIN N=273973.0439 E=1314796.2633 RIM = 29.90 IE=27.14 (12" N)	CB #26, TYPE 1 W/STANDARD GRATE N=273808.2518 E=1315132.3547 RIM = 30.00 IE=26.50 (12" S)
		CB #30, TYPE 2-48" W/STANDARD GRATE N=273889.3579 E=1315084.5431 RIM = 30.50 IE=23.53 (18" W) IE=23.53 (18" E)
		CB #27, TYPE 1, W/STANDARD GRATE N=274201.6008 E=1314529.4533 RIM = 32.80 IE=26.85 (12" W) IE=26.85 (12" S)
		CB #28, TYPE 2-48" W/STANDARD GRATE N=273944.3822 E=1314488.3998 RIM = 32.80 IE=25.63 (15" N) IE=25.63 (18" S)
		CB #29, TYPE 1, W/STANDARD GRATE N=273872.2069 E=1314410.7777 RIM = 33.00 IE=30.16 (12" SE)



Scale: Horizontal 1"=50' Vertical N/A
 Date: 12/02/15
 Job Number: 15985.1
 Sheet: C4.13

FOR: PANATTONI DEVELOPMENT COMPANY
 900 SW 16TH ST., SUITE 300
 RENTON, WA 98057
 (206) 248-0280

ALI SADR
 CHARTERED SURVEYOR
 24881
 PROFESSIONAL ENGINEER
 06/03/2016

BARGHAUSEN
 CONSULTING ENGINEERS
 18215 72ND AVENUE SOUTH
 KENT, WA 98032
 (425) 251-6222 FAX
 (425) 251-6782 FAX
 CIVIL ENGINEERING, LAND PLANNING,
 SURVEYING, ENVIRONMENTAL SERVICES

UTILITY CONFLICT NOTE:

CAUTION:
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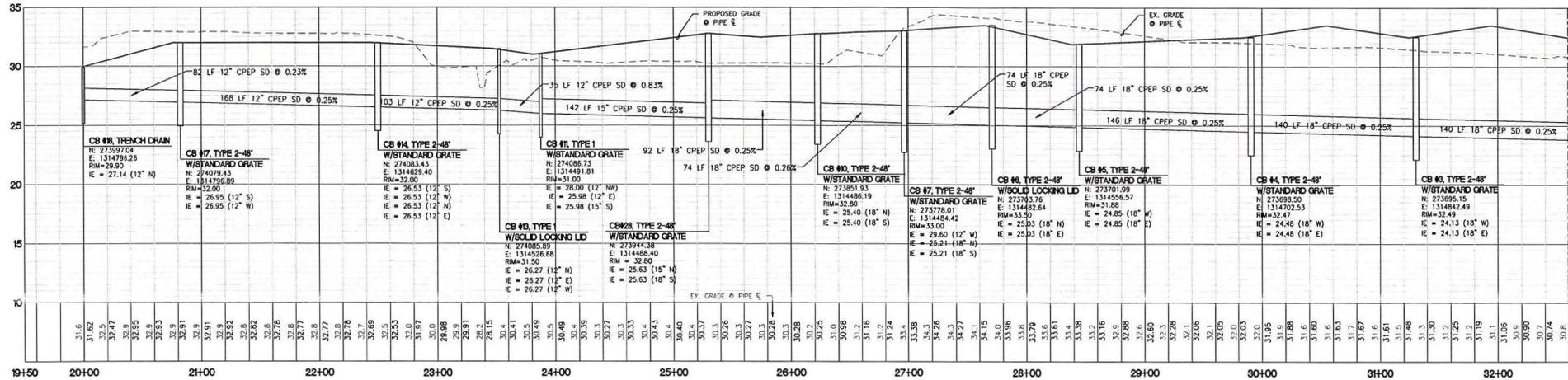
ONSITE STORM DRAINAGE PROFILES THE RESERVE AT WOODINVILLE PANATTONI DEVELOPMENT

NW 1/4, SECTION 15, TOWNSHIP 26 NORTH, RANGE 5 EAST, W.M.
CITY OF WOODINVILLE, KING COUNTY, WA

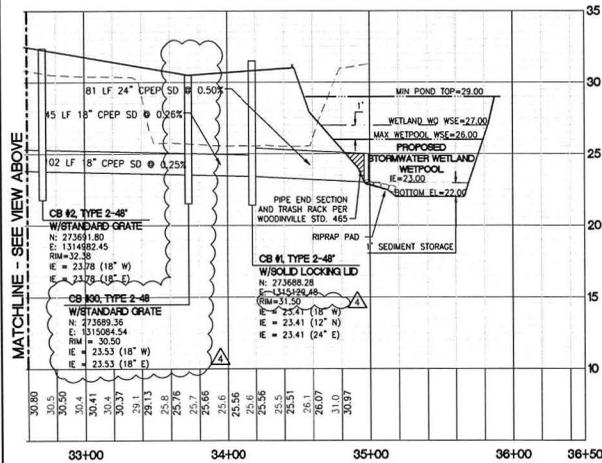
CALL BEFORE YOU DIG:
1-800-424-5555

EXHIBIT 7
PAGE 5 OF 13

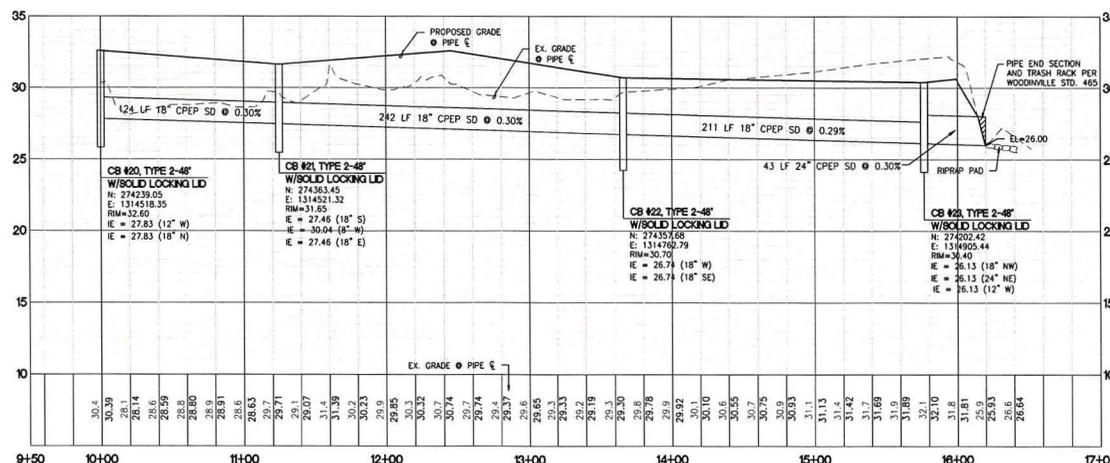
- NOTES:**
- STRUCTURE NORTHINGS AND EASTINGS SHOWN ARE AT CENTER OF STRUCTURE GRATE.
 - SEE SHEET C7 FOR STORMWATER WETLAND DETAILS.
 - SEE SHEET C3 FOR GRADING AND STORM DRAINAGE PLAN.



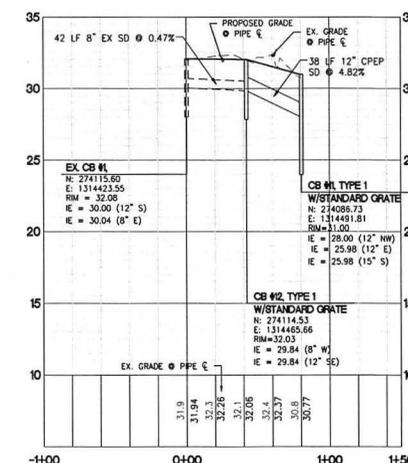
**STORM DRAINAGE PROFILE
CB #18 TO WATER QUALITY POND**
H:1"=50' V:1"=5'



**STORM DRAINAGE PROFILE
CB #18 TO WATER QUALITY POND**
H:1"=50' V:1"=5'



**STORM DRAINAGE BY-PASS SYSTEM PROFILE
CB #20 TO NORTH STORM DISCHARGE**
H:1"=50' V:1"=5'

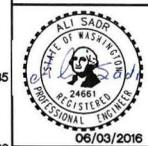


**STORM DRAINAGE PROFILE
EX. CB#1 TO CB #12 TO CB #11**
H:1"=50' V:1"=5'

Revision
No. 1 Date 15/03/2016
By [Signature] Appr. [Signature]
DWB REVISION PER CITY REVIEW

Title: **ONSITE STORM DRAINAGE PROFILES**
THE RESERVE AT WOODINVILLE
PANATTONI DEVELOPMENT

For: **PANATTONI DEVELOPMENT COMPANY**
900 SW 16TH ST., SUITE 300
RENTON, WA 98057
(206) 248-0280



Scale:
Horizontal 1"=50'
Vertical 1"=5'

Designed AS
Drawn MS
Checked AS
Approved DWB
Date 12/02/15

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(425) 251-6782 FAX
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Job Number
15985.1

Sheet
C5 of **13**

UTILITY CONFLICT NOTE:
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STORM DRAINAGE PROFILES, NOTES AND DETAILS

THE RESERVE AT WOODINVILLE

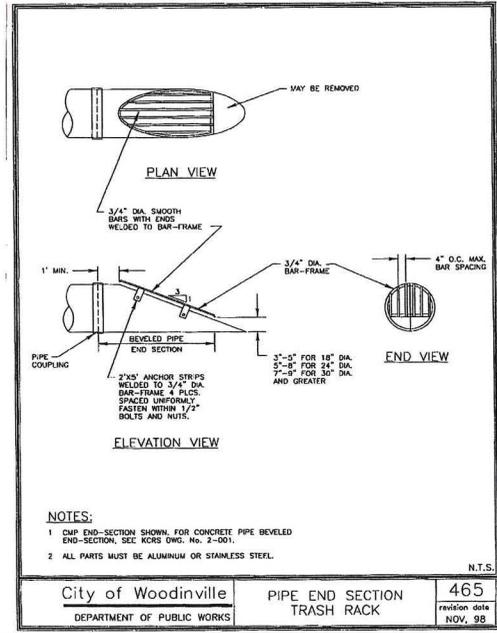
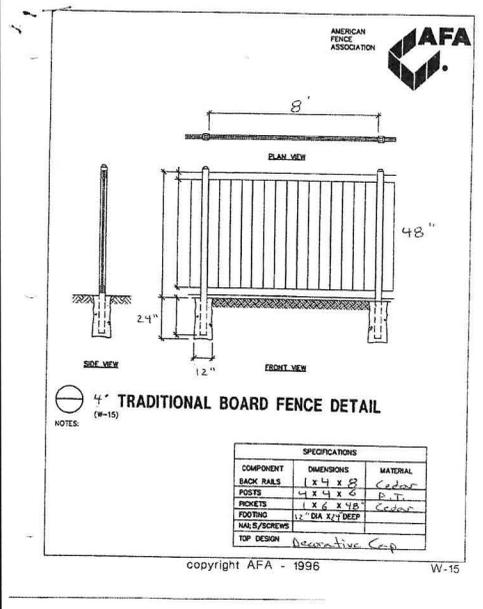
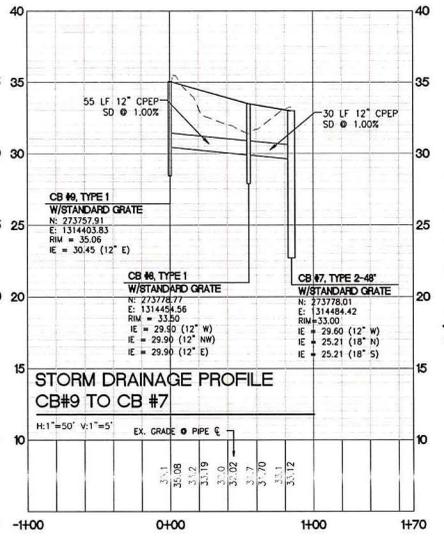
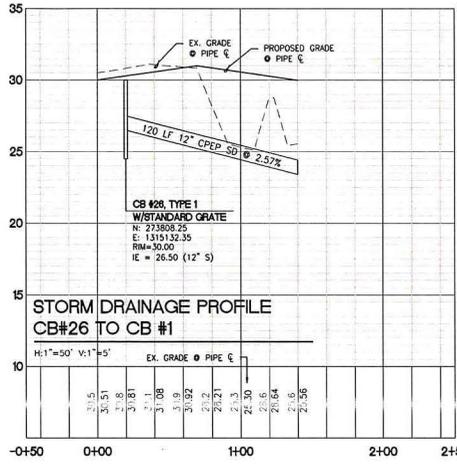
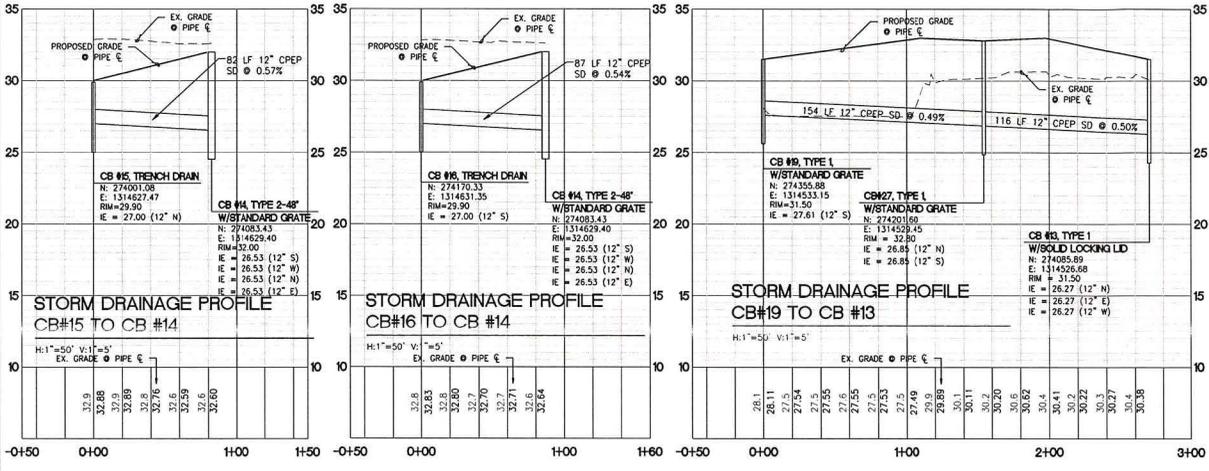
PANATTONI DEVELOPMENT

NW 1/4, SECTION 15, TOWNSHIP 26 NORTH, RANGE 5 EAST, W.M.
 CITY OF WOODINVILLE, KING COUNTY, WA

EXHIBIT 7
 PAGE 6 OF 13

CALL BEFORE YOU DIG:
 1-800-424-5555

NOTES:
 1. STRUCTURE NORTHINGS AND EASTINGS SHOWN ARE AT CENTER OF STRUCTURE GRATE.
 2. SEE SHEET C7 FOR STORMWATER WETLAND DETAILS.
 3. SEE SHEET C3 FOR GRADING AND STORM DRAINAGE PLAN.

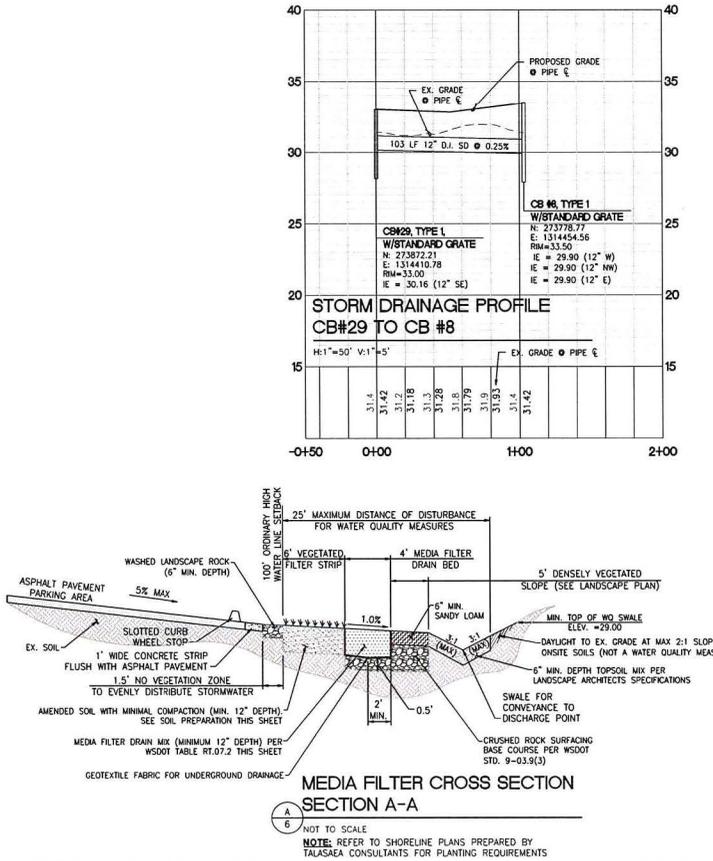


Stormwater Best Management Practices Chapter 5

Table RT.07.2. Media filter drain mix.

Amendment	Quantity
Mineral aggregate: Crushed screenings 3/8-inch to #10 sieve	3 cubic yards
Aggregate for Media Filter Drain Mix	
Aggregate for Media Filter Drain Mix shall be manufactured from ledge rock, talus, or gravel, in accordance with Section 3-01 of the Standard Specifications for Road, Bridge, and Municipal Construction, and shall meet the following test requirements for quality. The use of recycled material is not permitted.	
Los Angeles Wear, 500 Revolutions	35% max.
Degradation Factor	30 min.
Aggregate for the Media Filter Drain Mix shall conform to the following requirements for grading and quality:	
Sieve Size	Percent Passing (by weight)
1/2\"/>	
3/8\"/>	
U.S. No. 4	30-56
U.S. No. 10	0-10
U.S. No. 200	0-1.5
% fracturing by weight, min.	75
The fracture requirement shall be at least two fractured faces and will apply to material retained on the U.S. No. 4	
Aggregate for the Media Filter Drain shall be substantially free from adherent coatings. The presence of a thin, firmly adhering film of scattered rock shall not be considered as coating unless it exists on more than 50% of the surface area of any size between successive laboratory sieves.	
Fines:	1 cubic yard per 3 cubic yards of mineral aggregate
• Horticultural grade, free of any toxic materials	
• 0-30% passing US No. 18 Sieve	
• 0-10% passing US No. 30 Sieve	
Dolomite: CaMg(CO3)2 (calcium magnesium carbonate)	10 pounds per cubic yard of perlite
• Agricultural grade, free of any toxic materials	
• 100% passing US No. 8 Sieve	
• 0% passing US No. 16 Sieve	
Gypsum: Non-aqueous, agricultural gypsum CaSO4-2H2O (hydrated calcium sulfate)	1.5 pounds per cubic yard of perlite
• Agricultural grade, free of any toxic materials	
• 100% passing US No. 8 Sieve	
• 0% passing US No. 16 Sieve	

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Revision
 16/03/16 LAM AS | Date By | Cont. | Appr. | REVISION PER CITY REVIEW

Title:
 STORM DRAINAGE PROFILES, NOTES AND DETAILS
 THE RESERVE AT WOODINVILLE
 PANATTONI DEVELOPMENT

For:
 PANATTONI DEVELOPMENT COMPANY
 900 SW 16TH ST., SUITE 330
 RENTON, WA 98057
 (206) 248-0280

Scale:
 Horizontal 1"=50'
 Vertical 1"=5'

Designed AS
Drawn AS
Checked AS
Approved JMS
 Date 12/02/15

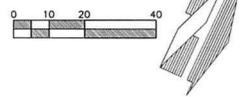
18215 72ND AVENUE SOUTH
KENT, WA 98032
(425) 251-6222
(425) 251-8782 FAX
 CIVIL ENGINEERING, LAND PLANNING,
 SURVEYING, ENVIRONMENTAL SERVICES

Job Number
 15985.1
Sheet
 C6 of 13

Professional Engineer
 ALI SAAD
 STATE OF WASHINGTON
 PROFESSIONAL ENGINEER
 06/03/2016

TAALASAEA CONSULTING ENGINEERS

UTILITY CONFLICT NOTE:
CAUTION:
 THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION, DIMENSION, AND DEPTH OF ALL EXISTING UTILITIES WHETHER SHOWN ON THESE PLANS OR NOT BY POT-Holing THE UTILITIES AND SURVEYING THE HORIZONTAL AND VERTICAL LOCATION PRIOR TO CONSTRUCTION. THIS SHALL INCLUDE CALLING UTILITY LOCATE @ 1-800-424-5555 AND THEN POT-Holing ALL OF THE EXISTING UTILITIES AT LOCATIONS OF NEW UTILITY CROSSINGS TO PHYSICALLY VERIFY WHETHER OR NOT CONFLICTS EXIST. LOCATIONS OF SAID UTILITIES AS SHOWN ON THESE PLANS ARE BASED UPON THE UNVERIFIED PUBLIC INFORMATION AND ARE SUBJECT TO VARIATION.

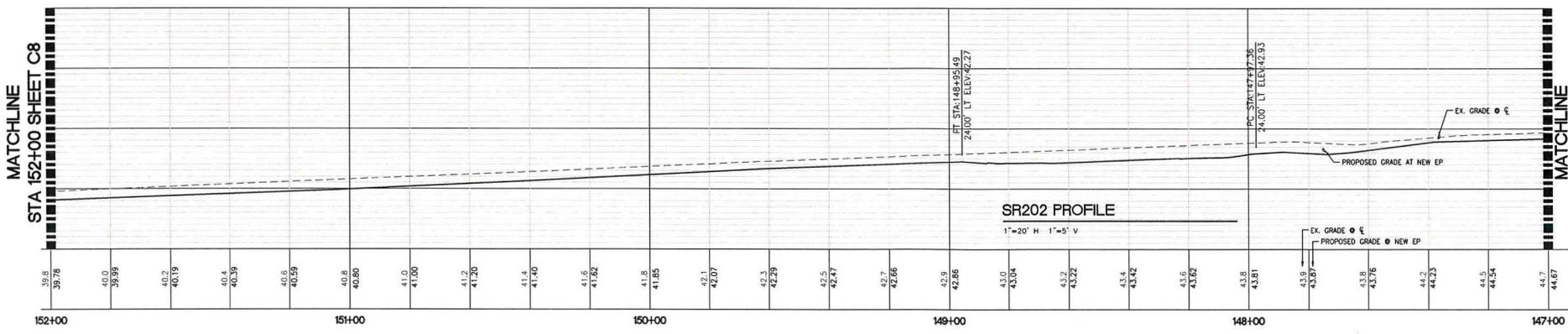
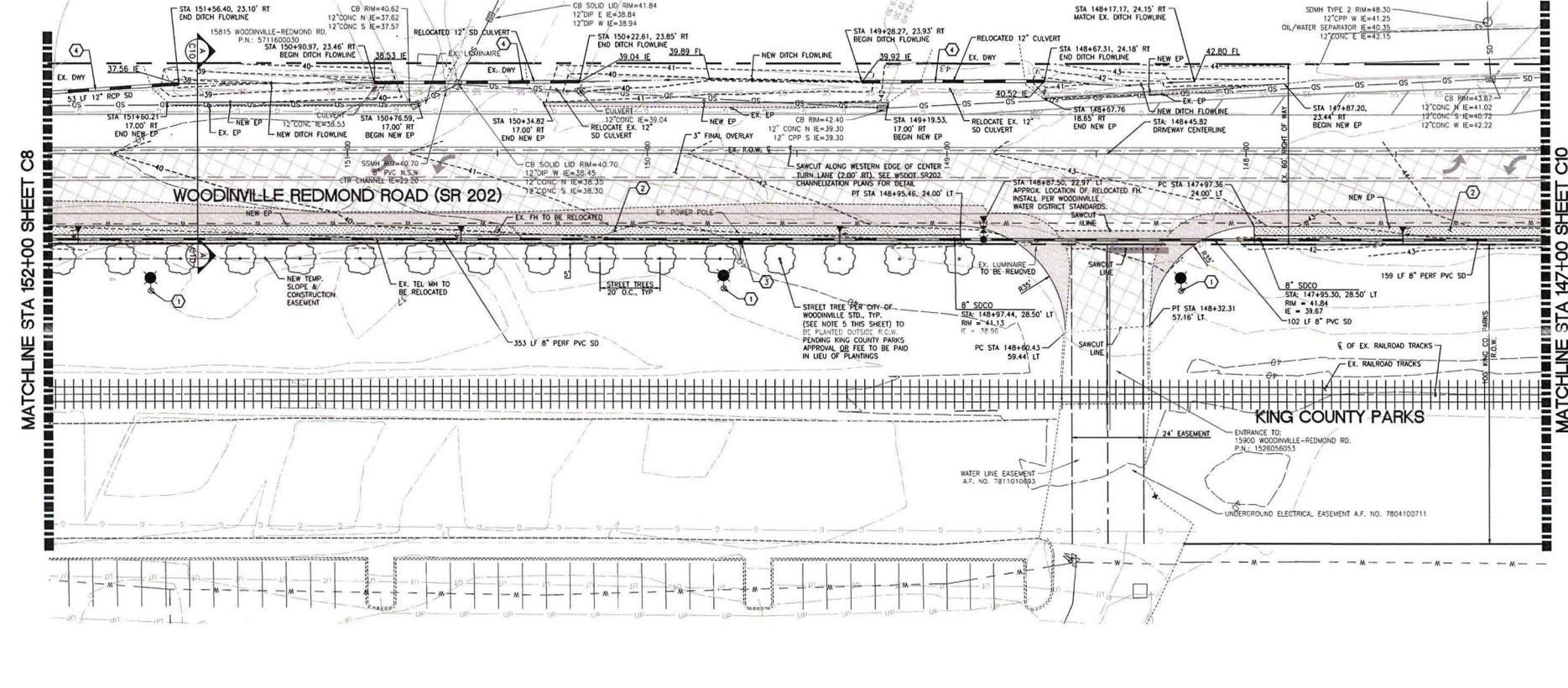


FRONTAGE IMPROVEMENTS PLAN THE RESERVE AT WOODINVILLE PANATTONI DEVELOPMENT

NW 1/4, SECTION 15, TOWNSHIP 26 NORTH, RANGE 5 EAST, W.M.
 CITY OF WOODINVILLE, KING COUNTY, WA

CALL BEFORE YOU DIG:
 1-800-424-5555

EXHIBIT 7
 PAGE 9 OF 13



- KEYNOTES**
- PROPOSED STREET LIGHT PER CITY OF WOODINVILLE STD. SEE LIGHTING PLAN BY OTHERS FOR DETAIL.
 - PROPOSED 6" WIDE MEDIA FILTER PER WSDOT HIGHWAY RUNOFF MANUAL STANDARD BT.07.1. SEE SHEET C10 FOR TYPICAL SECTIONS AND DETAIL.
 - RELOCATE EX. UTILITY POLE AS FAR AWAY FROM SDOOT TRAVELED WAY AS POSSIBLE WHILE STAYING WITHIN EX. RIGHT OF WAY.
 - REPAIR EX. DRIVEWAY FROM 12" SD CULVERT INSTALLATION. CONTRACTOR TO COORDINATE WITH UTILITY PURVEYORS TO RELOCATE EX. UTILITIES WHERE CONFLICTS OCCUR.
- NOTES**
- ALL UTILITIES WITHIN THE RIGHT OF WAY ALONG THE PROPERTY FRONTAGE TO BE RELOCATED UNDERGROUND PENDING APPROVAL FROM RUGET SOUND ENERGY. CONTRACTOR TO COORDINATE WITH APPROPRIATE UTILITY PURVEYORS FOR COORDINATION OF UTILITIES TO BE RELOCATED. RELOCATE UTILITIES IN COMPLIANCE WITH CITY OF WOODINVILLE TRANSPORTATION AND INFRASTRUCTURE STANDARDS AND SPECIFICATIONS SECTION 1-4.5.3.
 - CONTRACTOR TO PROVIDE APPROPRIATE T.E.S.C. MEASURES PER CITY OF WOODINVILLE STANDARDS THROUGHOUT DURATION OF PROJECT.
 - SEE WSDOT SR202 CHANNELIZATION PLANS FOR CHANNELIZATION DETAIL.
 - EX. RAILROAD TRACKS TO REMAIN UNDISTURBED THROUGHOUT DURATION OF PROJECT.
 - STREET TREES TO BE AKEBONO CHERRY (PRINUS X YEDOENSIS 'AKEBONO') OR PACIFIC SUNSET MAPLE (ACER TRUNCATUM X ACER PLATANOIDES 'WARREN2').
 - CONTRACTOR TO PROVIDE TRAFFIC CONTROL PER WSDOT STD. TC-1. SEE DETAIL SHEET C10. PROVIDE FINAL TRAFFIC CONTROL PLAN TO CITY OF WOODINVILLE PRIOR TO CONSTRUCTION IN SR202 RIGHT OF WAY.
- LEGEND**
- PROPOSED ASPHALT PAVEMENT SECTION (PER DETAIL SHEET C10)
 - PROPOSED 3" PAVEMENT OVERLAY
 - PROPOSED SAWCUT LINE
 - PROPOSED STORM DRAINAGE PIPE
 - PROPOSED STORM DRAINAGE CLEANOUT
 - PROPOSED SHALE
 - PROPOSED CONTOUR

Revision
 No. Date By Cld. Appr.
 1 06/03/16 LAH AS DISE REVISED PER CITY REVIEW

Title: FRONTAGE IMPROVEMENTS PLAN
 THE RESERVE AT WOODINVILLE
 PANATTONI DEVELOPMENT

For: PANATTONI DEVELOPMENT COMPANY
 900 SW 16TH ST., SUITE 330
 RENTON, WA 98057
 (206) 248-0280

Scale:
 Horizontal 1"=20'
 Vertical 1"=5'

Designed AS MB
 Drawn Down AS
 Checked AS
 Approved DIS
 Date: 12/02/15

18215 72ND AVENUE SOUTH
 KENT, WA 98032
 (425) 251-6222
 (425) 251-8782 FAX
 CIVIL ENGINEERING, LAND PLANNING,
 SURVEYING, ENVIRONMENTAL SERVICES



Job Number: 159851
 Sheet: C9 of 13

FRONTAGE IMPROVEMENTS PLAN, NOTES AND DETAILS

THE RESERVE AT WOODINVILLE PANATTONI DEVELOPMENT

NW 1/4, SECTION 15, TOWNSHIP 26 NORTH, RANGE 5 EAST, W.M.
CITY OF WOODINVILLE, KING COUNTY, WA

CALL BEFORE YOU DIG:
1-800-424-5555

EXHIBIT 7
PAGE 10 OF 13

UTILITY CONFLICT NOTE:
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Revision
No. Date By Chd. Appr.
1 6/03/16 LAH AS DBB REVISED PER CITY REVIEW

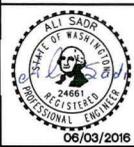
Title:
FRONTAGE IMPROVEMENTS PLAN,
NOTES AND DETAILS
THE RESERVE AT WOODINVILLE
PANATTONI DEVELOPMENT

For:
PANATTONI DEVELOPMENT COMPANY
900 SW 16TH ST., SUITE 380
RENTON, WA 98057
(206) 248-0280

Scale:
Horizontal 1"=20'
Vertical 1"=5'

Design AS MB
Drawn AS
Checked AS
Approved DBB
Date 12/02/15

Job Number
159851
Sheet
C10 13 of 13

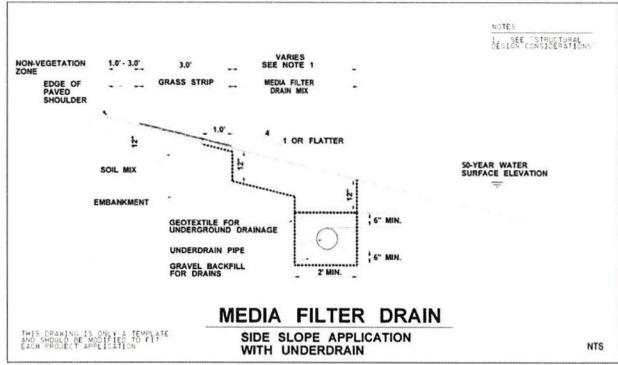


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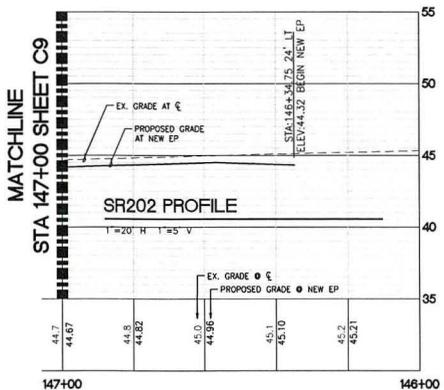
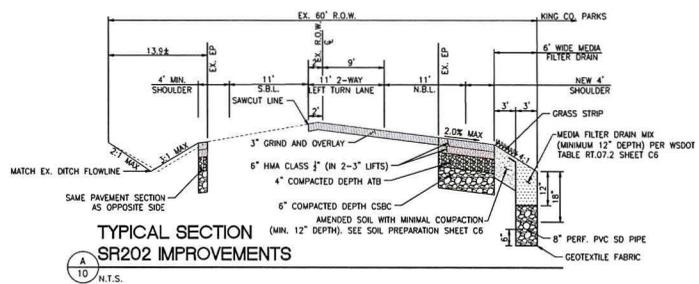
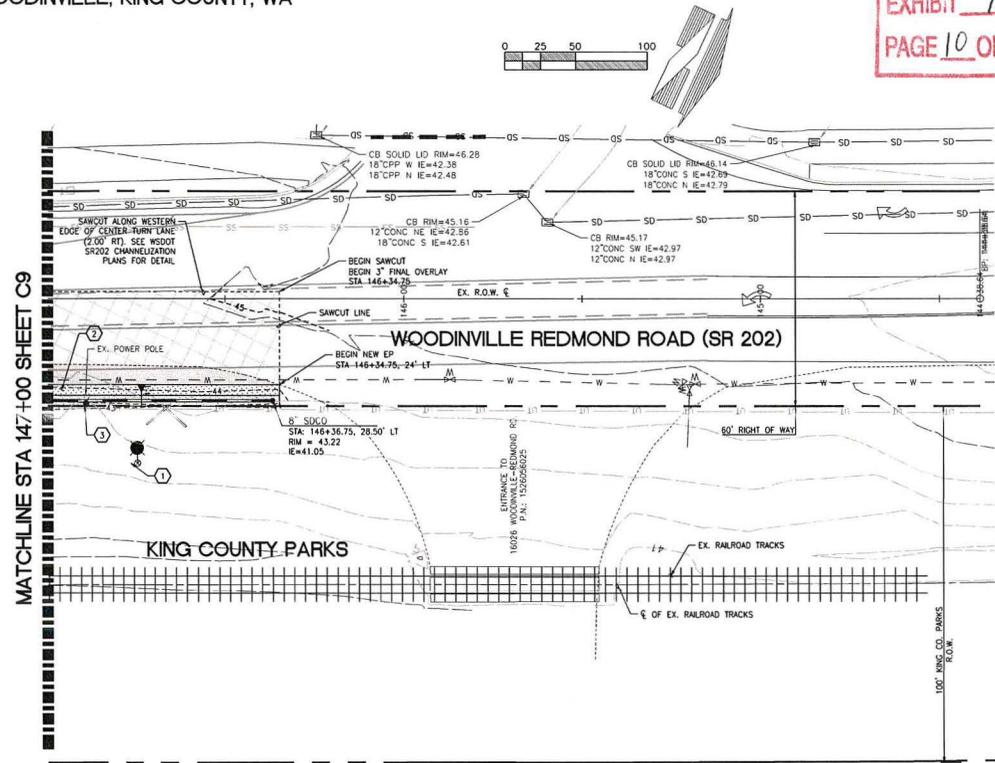


Project: 159851 - Frontage Improvements Plan, Notes and Details
Date: 6/23/2016 10:57 AM
Scale: 1"=20' Horizontal, 1"=5' Vertical
Author: LAH
Checked: AS
Approved: DBB
Date: 12/02/15

Highway Project Manual 12 31-16-03
Page 5-07



Chapter 5
Stormwater Best Management Practices



NOTES	LEGEND
1. ALL UTILITIES WITHIN THE RIGHT OF WAY ALONG THE PROPERTY FRONTAGE TO BE RELOCATED UNDERGROUND PERIODIC APPROVAL FROM PUGET SOUND ENERGY. CONTRACTOR TO COORDINATE WITH APPROPRIATE UTILITY PURVEYORS FOR COORDINATION OF UTILITIES TO BE RELOCATED. RELOCATE UTILITIES IN COMPLIANCE WITH CITY OF WOODINVILLE TRANSPORTATION AND INFRASTRUCTURE STANDARDS AND SPECIFICATIONS SECTION 1-4.3.3.	PROPOSED ASPHALT PAVEMENT SECTION (PER DETAIL THIS SHEET)
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3. SEE WSCOT SR202 CHANNELIZATION PLANS FOR CHANNELIZATION DETAIL.	PROPOSED SAWCUT LINE
4. EX. RAILROAD TRACKS TO REMAIN UNDISTURBED THROUGHOUT DURATION OF PROJECT.	PROPOSED STORM DRAINAGE PIPE
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6. CONTRACTOR TO PROVIDE TRAFFIC CONTROL PER CITY OF WOODINVILLE PRIOR TO CONSTRUCTION IN SR202 RIGHT OF WAY.	PROPOSED SWALE
	PROPOSED CONTOUR
	KEYNOTES
	1) PROPOSED STREET LIGHT PER CITY OF WOODINVILLE STD. SEE LIGHTING PLAN BY OTHERS FOR DETAIL.
	2) PROPOSED 8" WIDE MEDIA FILTER PER WSCOT HIGHWAY RUNOFF MANUAL STANDARD RT.07.1. SEE TYPICAL SECTIONS AND DETAIL THIS SHEET.
	3) RELOCATE EX. UTILITY POLE AS FAR AWAY FROM SR202 TRAVELED WAY AS POSSIBLE WHILE STAYING WITHIN EX. RIGHT OF WAY

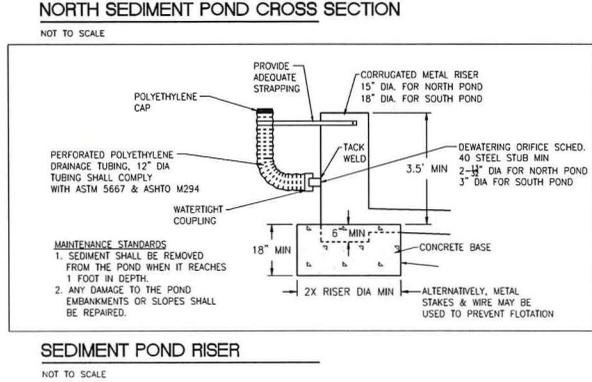
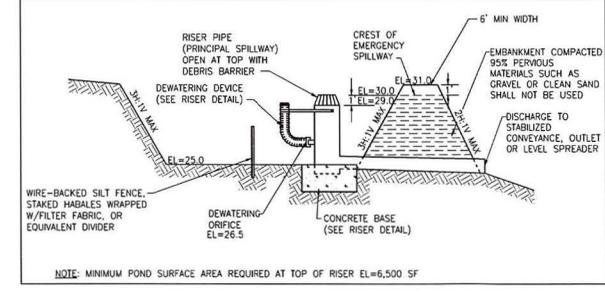
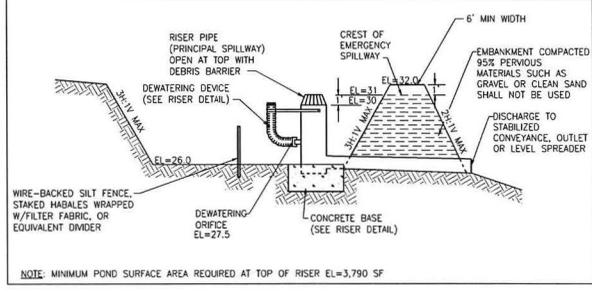
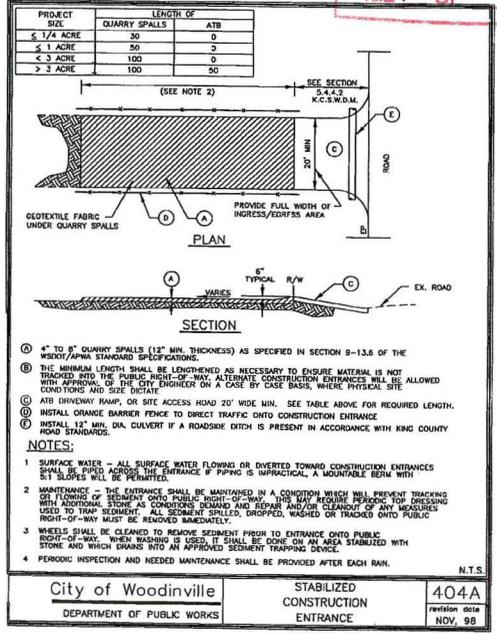
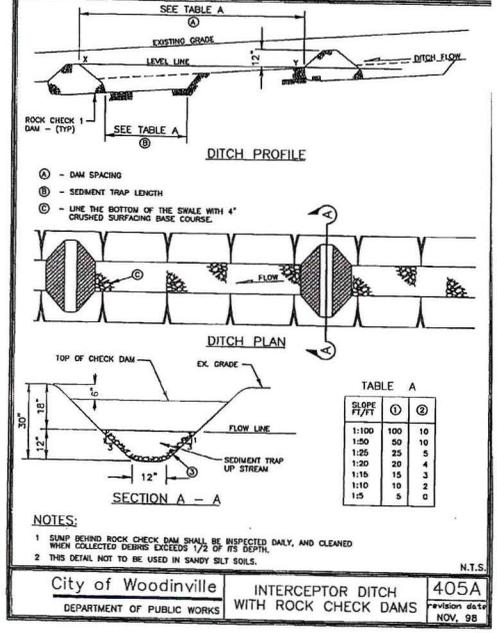
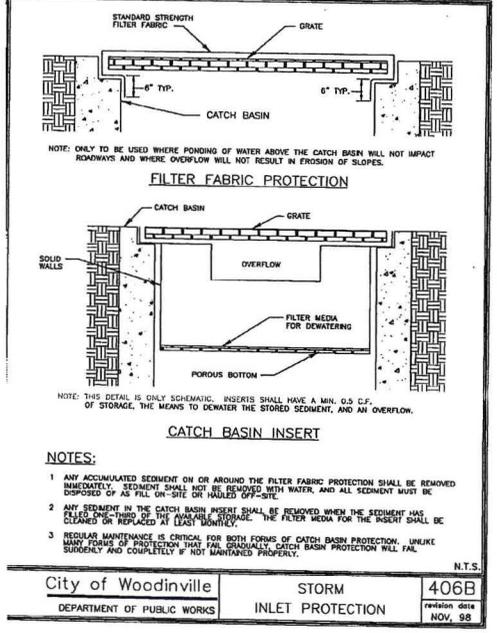
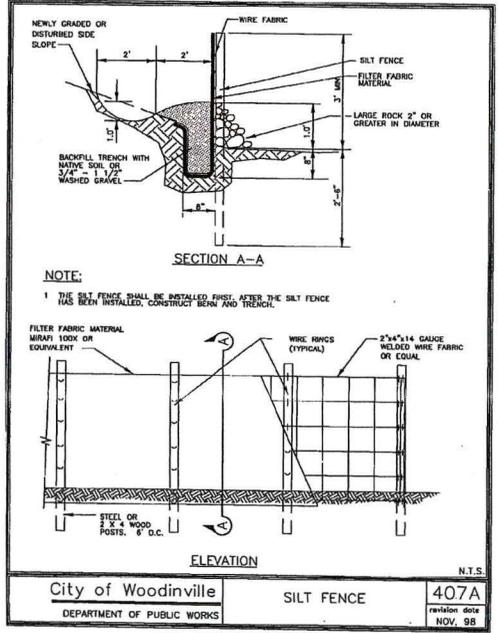
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T.E.S.C. NOTES AND DETAILS THE RESERVE AT WOODINVILLE PANATTONI DEVELOPMENT

NW 1/4, SECTION 15, TOWNSHIP 26 NORTH, RANGE 5 EAST, W.M.
 CITY OF WOODINVILLE, KING COUNTY, WA

CALL BEFORE YOU DIG:
 1-800-424-5555

EXHIBIT 7
 PAGE 11 OF 13



- CONSTRUCTION SEQUENCE**
- SCHEDULE AND ATTEND PRE-CONSTRUCTION MEETING WITH CITY OFFICIAL.
 - FLAG ALL CLEARING AND GRADING LIMITS FOR PHASE OF PROJECT AS SHOWN ON THE PLANS.
 - FLAG AND DELINEATE ALL WETLANDS AND SENSITIVE AREAS TO REMAIN UNDISTURBED.
 - POST NOTICE OF CONSTRUCTION ACTIVITY SIGN WITH NAME AND PHONE NUMBER OF CERTIFIED EROSION AND SEDIMENTATION CONTROL SUPERVISOR.
 - INSTALL CATCH BASIN PROTECTION ON ALL EXISTING STRUCTURES WITHIN VICINITY OF PROJECT SITE.
 - CONSTRUCT TEMPORARY ROCK CONSTRUCTION ENTRANCE INCLUDING WHEEL WASH PADS WHERE REQUIRED.
 - INSTALL TEMPORARY FILTER FABRIC FENCE ALONG PERIMETER OF PROJECT AS SHOWN ON THE PLANS.
 - INSTALL TEMPORARY PERIMETER INTERCEPTOR DITCHES WITH ROCK CHECK DAMS AT 25' SPACING AS SHOWN ON PLANS.
 - CONSTRUCT TEMPORARY SEDIMENT POND, AND NECESSARY STORM DRAINAGE STRUCTURES AND CONVEYANCE PIPE.
 - GRADE AND STABILIZE CONSTRUCTION ROADS.
 - PROTECT ALL THE PROPERTIES ADJACENT TO THE PROJECT FROM SEDIMENT DEPOSITION.
 - NO RUNOFF IS TO LEAVE SITE WITHOUT TREATMENT.
 - COORDINATE WITH UTILITY COMPANIES FOR REMOVAL AND REPLACEMENT OF UTILITIES TO BE ABANDONED OR REPLACED.
 - WHERE EVER CONSTRUCTION VEHICLE ACCESS ROUTE CROSSES PAVED ROAD, CARE MUST BE MADE TO MINIMIZE THE TRANSPORTATION OF SEDIMENT (MUD) ONTO THE PAVED ROADS. IF SEDIMENT IS TRANSPORTED ONTO THE PAVED ROAD SURFACE, THE ROAD SHALL BE CLEANED THOROUGHLY AT THE END OF EACH DAY.
 - WITH EACH LAYER OF FILL MATERIAL, INTERCEPTOR DITCH AND T.E.S.C. FACILITIES MUST BE GRADED AND MAINTAINED TO PROVIDE SLOPE FOR DRAINAGE TO SEDIMENT POND.
 - MAINTAIN EROSION CONTROL MEASURES IN ACCORDANCE WITH CITY STANDARDS.
 - RELOCATE SURFACE WATER CONTROLS AND EROSION CONTROL MEASURES OR INSTALL NEW MEASURE SO THAT AS SITE CONDITIONS CHANGE, THE EROSION AND SEDIMENT CONTROL IS ALWAYS IN ACCORDANCE WITH CITY STANDARDS AND FUNCTIONAL.
 - ALL DEWATERING DEVICES DURING CONSTRUCTION SHALL DISCHARGE INTO THE SEDIMENT POND.
 - REMOVE ANY ACCUMULATED SEDIMENT THAT EXCEED 6" OF THE DESIGN POND DEPTH. POND AND T.E.S.C. CONTROL MEASURES SHALL BE INSPECTED AFTER ANY MAJOR STORM FOR INTENDED FUNCTION AND VOLUME.
 - COVER ALL AREAS THAT WILL BE UNWORKED FOR MORE THAN SEVEN DAYS DURING THE DRY SEASON OR TWO DAYS DURING THE WET SEASON WITH STRAW, WOOD FIBER, MULCH, COMPOST, PLASTIC SHEETING OR EQUIVALENT.
 - CONTINUOUS MAINTENANCE AND UPGRADE OF T.E.S.C. MEASURES INCLUDING DUST CONTROL, SHALL BE PROVIDED UNTIL ALL RISK OF EROSION/SEDIMENTATION HAS PASSED AND PERMANENT STORM DRAINAGE SYSTEM IS INSTALLED AND FUNCTIONAL. DO NOT CONVEY SEDIMENT LADEN WATER INTO DOWNSTREAM STORM DRAINAGE SYSTEM.
 - STABILIZE ALL AREAS THAT REACH FINAL GRADE WITHIN SEVEN DAYS. SEED OR SOD ANY AREAS TO REMAIN UNWORKED FOR MORE THAN 30 DAYS.
 - UPON COMPLETION OF THE PROJECT, ALL DISTURBED AREAS MUST BE STABILIZED AND BEST MANAGEMENT PRACTICES REMOVED IF APPROVED BY CITY.
 - IF GRADING OPERATIONS OCCUR DURING WET SEASON, ALL PRACTICES SHALL CONFORM WITH KING COUNTY WET SEASON REQUIREMENTS. SEE REQUIREMENTS THIS SHEET.

D.5.2 WET SEASON REQUIREMENTS

Any site with exposed soils during the wet season (October 1 to April 30) shall be subject to the special provisions below. In addition to the ESC cover measures (see Section D.3.2, p. D-10), these provisions include covering any newly seeded areas with mulch and identifying and seeding as much disturbed area as possible prior to September 23 in order to provide grass cover for the wet season. A "wet season ESC plan" must be submitted and approved by the County before work proceeds or continues.

Wet Season Special Provisions

All of the following provisions for wet season construction are detailed in the referenced sections. These requirements are listed here for the convenience of the designer and the reviewer.

- The allowed time that a disturbed area may remain unworked without cover measures is reduced to two consecutive working days, rather than seven (Section D.3.2).
- Stockpiles and steep cut and fill slopes are to be protected if unworked for more than 12 hours (Section D.3.2).
- Cover materials sufficient to cover all disturbed areas shall be stockpiled on site (Section D.3.2).
- All areas that are to be unworked during the wet season shall be seeded within one week of the beginning of the wet season (Section D.3.2.5).
- Mulch is required to protect all seeded areas (Section D.3.2.1).
- Fifty linear feet of silt fence (and the necessary stakes) per acre of disturbance must be stockpiled on site (Section D.3.3.1).
- Construction road and parking lot stabilization are required for all sites unless the site is underlain by coarse-grained soil (Section D.3.4.2).
- Sediment retention is required unless no offsite discharge is anticipated for the specified design flow (Section D.3.5).
- Surface water controls are required unless no offsite discharge is anticipated for the specified design flow (Section D.3.6).
- Phasing and more conservative BMPs must be evaluated for construction activity near surface waters (Section D.5.3).
- Any runoff generated by dewatering may be required to discharge to the sanitary sewer (with appropriate discharge authorization), portable sand filter systems, or holding tanks.
- The frequency of maintenance review increases from monthly to weekly (Section D.5.4).

Revision: 1
 Date: 6/20/16
 By: AS
 Checked: JAS
 Approved: DBS
 Date: 12/02/15

Title: T.E.S.C. NOTES AND DETAILS THE RESERVE AT WOODINVILLE PANATTONI DEVELOPMENT

For: PANATTONI DEVELOPMENT COMPANY
 900 SW 16TH ST., SUITE 330
 RENTON, WA 98057
 (206) 248-0280

Scale: Horizontal 1"=100'
 Vertical N/A

Date: 06/03/2016

Job Number: 15985.1
 Sheet: 13 of 13

File: \\pdc\pdc\Projects\150051\15985\Engineering\15985-1-ED2.dwg

UTILITY CONFLICT NOTE:
CAUTION:
 THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION, DIMENSION, AND DEPTH OF ALL EXISTING UTILITIES WHETHER SHOWN ON THESE PLANS OR NOT BY POT-HOLING THE UTILITIES AND SURVEYING THE HORIZONTAL AND VERTICAL LOCATION PRIOR TO CONSTRUCTION. THIS SHALL INCLUDE CALLING UTILITY LOCATE @ 1-800-424-5555 AND THEN POT-HOLING ALL OF THE EXISTING UTILITIES AT LOCATIONS OF NEW UTILITY CROSSINGS TO PHYSICALLY VERIFY WHETHER OR NOT CONFLICTS EXIST. LOCATIONS OF SAID UTILITIES AS SHOWN ON THESE PLANS ARE BASED UPON THE UNVERIFIED PUBLIC INFORMATION AND ARE SUBJECT TO VARIATION.

NOTES AND DETAILS

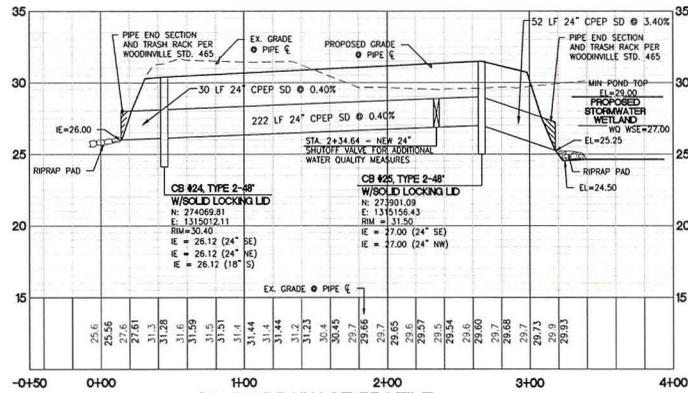
THE RESERVE AT WOODINVILLE

PANATTONI DEVELOPMENT

NW 1/4, SECTION 15, TOWNSHIP 26 NORTH, RANGE 5 EAST, W.M.
 CITY OF WOODINVILLE, KING COUNTY, WA

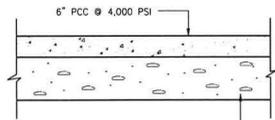
EXHIBIT 7
PAGE 12 OF 13

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 1-800-424-5555



STORM DRAINAGE PROFILE FROM POND TO RIVER DISCHARGE

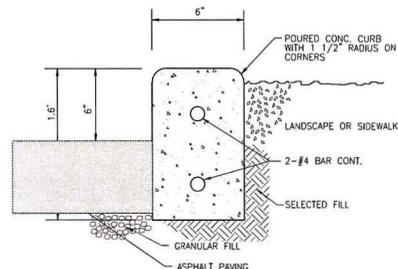
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12\"/>

CONCRETE PAVEMENT SECTION (LOADING DOCK AREA)

NOT TO SCALE

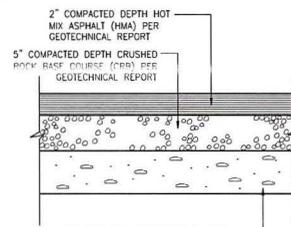


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NOT TO SCALE

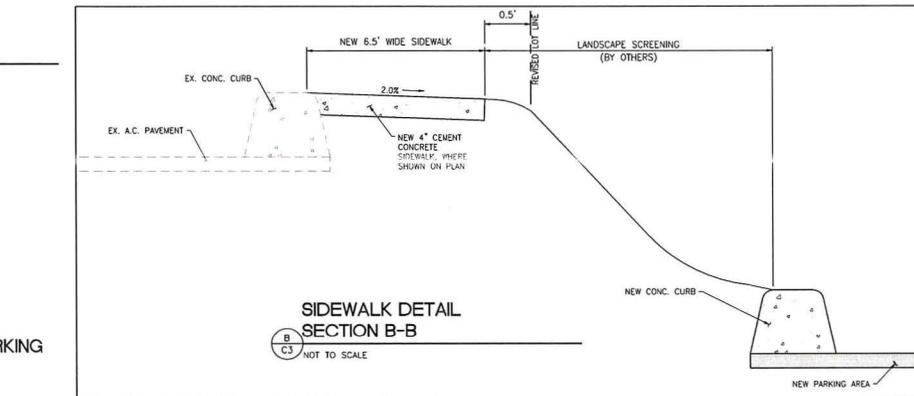
CAST IN-PLACE CONCRETE CURB

NOT TO SCALE



ASPHALT PAVEMENT SECTION - LIGHT TRAFFIC AND PARKING

NOT TO SCALE
 ALTERNATE: 2\"/>

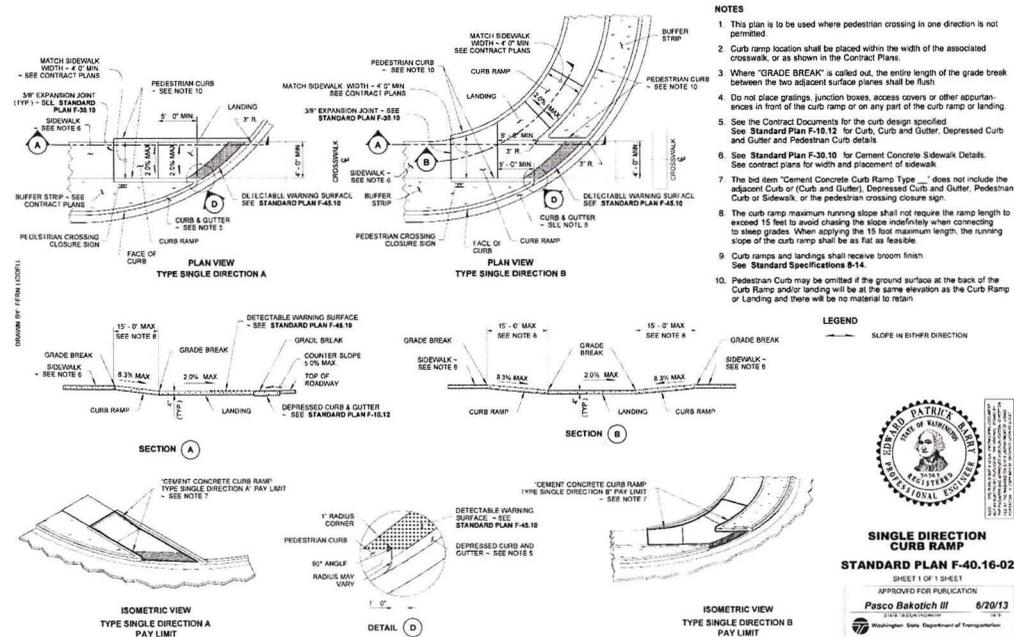
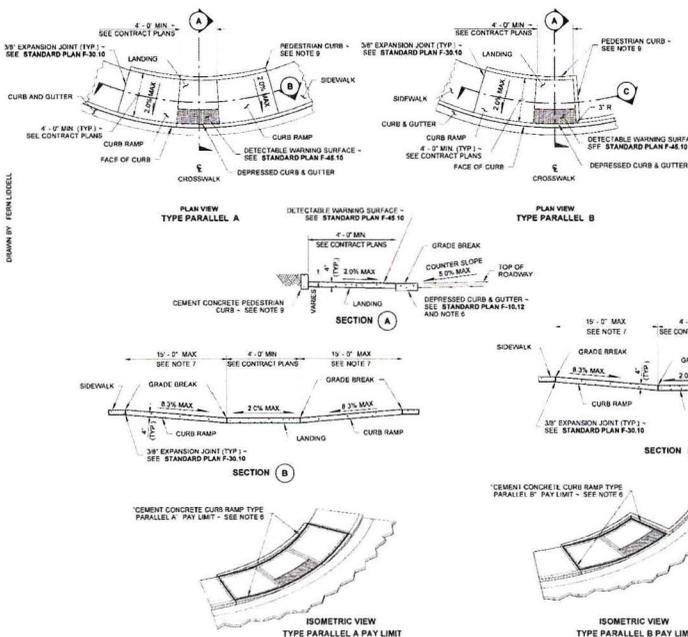


SIDEWALK DETAIL SECTION B-B

NOT TO SCALE

NOTES

- Provide a separate Curb Ramp for each marked or unmarked crosswalk. Curb Ramp location shall be placed within the width of the associated crosswalk or as shown in the Contract Plans.
- Where "GRADE BREAK" is called out, the entire length of the grade break between the two adjacent surface planes shall be flush.
- Do not place Gratings, Junction Boxes, Access Covers, or other appurtenances in front of the Curb Ramp or on any part of the Curb Ramp or Landing.
- See Contract Plans for the curb design specified. See Standard Plan F-10.12 for Curb, Curb and Gutter, Depressed Curb and Gutter, and Pedestrian Curb details.
- See Standard Plan F-30.10 for Cement Concrete Sidewalk Details. See Contract Plans for width and placement of sidewalk.
- The bid item "Cement Concrete Curb Ramp Type ___" does not include the adjacent Curb, Curb and Gutter, Depressed Curb and Gutter, Pedestrian Curb, or Sidewalks.
- The Curb Ramp maximum running slope shall not require the same length to exceed 15 feet to avoid chasing the slope indefinitely when connecting to steep grades. When applying the 15-foot max. length, the running slope of the curb ramps shall be as flat as feasible.
- Curb Ramp, Landing, and Flares shall receive broom finish. See Standard Specifications 8-14.
- Pedestrian Curb may be omitted if the ground surface at the back of the Curb Ramp and/or Landing will be at the same elevation as the Curb Ramp or Landing and there will be no material to retain.



PARALLEL CURB RAMP
STANDARD PLAN F-40.12-02
 SHEET 1 OF 1 SHEET
 APPROVED FOR PUBLICATION
 Pasco Rakotich III 6/20/13
 Washington State Department of Transportation



SINGLE DIRECTION CURB RAMP
STANDARD PLAN F-40.16-02
 SHEET 1 OF 1 SHEET
 APPROVED FOR PUBLICATION
 Pasco Rakotich III 6/20/13
 Washington State Department of Transportation

Revision
 No. Date By Desc. Appr.
 1 6/03/14 JAH AS [unclear] [unclear] PER CITY REVIEW

NOTES AND DETAILS
THE RESERVE AT WOODINVILLE
PANATTONI DEVELOPMENT

Title:
 For: PANATTONI DEVELOPMENT COMPANY
 900 SW 16TH ST., SUITE 330
 RENTON, WA 98057
 (206) 248-0280



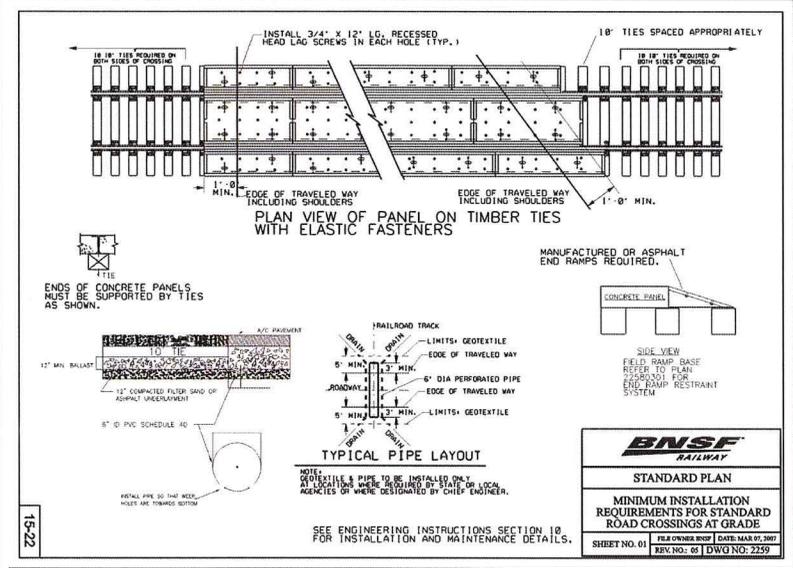
Scale:
 Horizontal AS NOTED
 Vertical N/A
 Date: 12/02/15

18215 72ND AVENUE SOUTH
 KENT, WA 98032
 (425) 251-6222 FAX
 (425) 251-8782 FAX
 CIVIL ENGINEERING, LAND PLANNING,
 SURVEYING, ENVIRONMENTAL SERVICES
BARGHAUSEN CONSULTING ENGINEERS

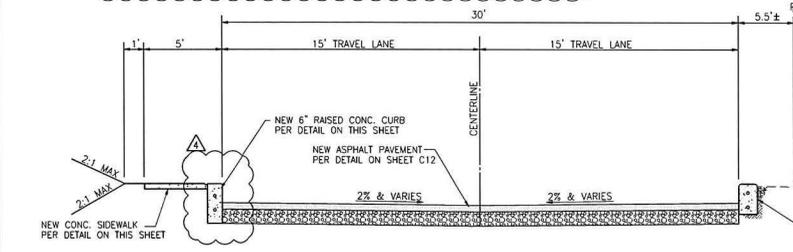


Job Number: 159851
 Sheet: C12 of 13

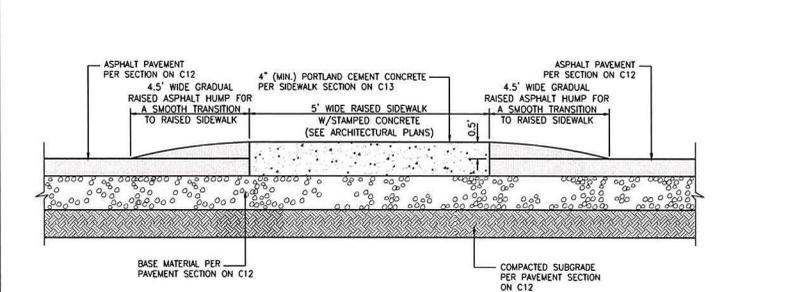
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CONCRETE RAIL ROAD CROSSING DETAIL
 NOT TO SCALE



SITE ACCESS ROAD TYPICAL SECTION (PRIVATE ROAD)
 NOT TO SCALE



RAISED CONCRETE SIDEWALK/CROSSWALK DETAIL
 NOT TO SCALE

ON-SITE FLUSH CONCRETE SIDEWALK
 NOT TO SCALE

NOTES AND DETAILS

THE RESERVE AT WOODINVILLE

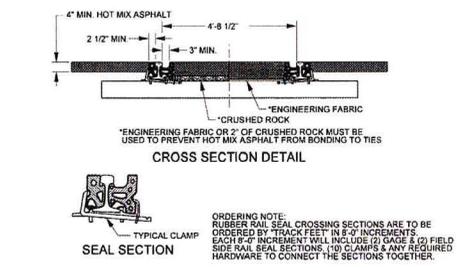
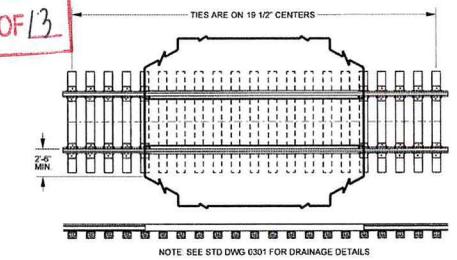
PANATTONI DEVELOPMENT

NW 1/4, SECTION 15, TOWNSHIP 26 NORTH, RANGE 5 EAST, W.M.
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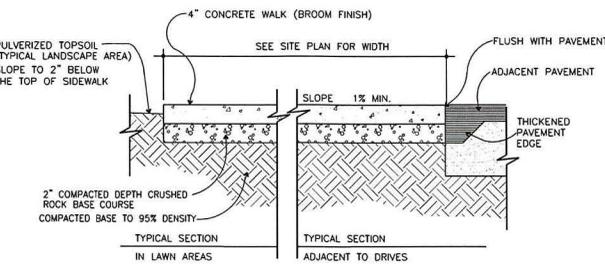
EXHIBIT 7
 PAGE 13 OF 13

CALL BEFORE YOU DIG:
 1-800-424-5555

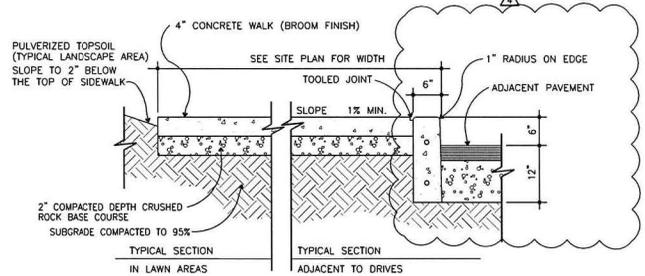
- SOIL PREPARATION:**
 TOPSOIL, AMENDMENT, AND BACKFILL ARE GENERAL REQUIREMENTS FOR ALL LANDSCAPE AREAS, UNLESS NOTED OTHERWISE ON THE PLANS. SOIL AMENDMENTS AND FERTILIZER NOTED BELOW ARE TO BE USED FOR BID PRICE BASIS ONLY. SPECIFIC AMENDMENTS AND FERTILIZERS WILL BE MADE AFTER SOIL SAMPLES ARE LABORATORY TESTED BY THE CONTRACTOR. PROVIDE CHANGE ORDER FOR ADDITIONAL OR REDUCTION OF MATERIALS REQUIRED OR NOT REQUIRED BY THE SOILS REPORT.
- SOIL FERTILITY AND AGRICULTURAL SUITABILITY ANALYSIS:**
 AFTER ROUGH GRADING AND PRIOR TO SOIL PREPARATION, CONTRACTOR TO OBTAIN TWO REPRESENTATIVE SOIL SAMPLES FROM LOCATIONS AS DIRECTED BY THE LANDSCAPE ARCHITECT, TO NORTHERN LIGHTS ANALYTICAL & CONSULTING INC. RAVENSDALE, WA, TEL. 253-653-5770 OR, EQUIVALENT TESTING LABORATORY. FOR TEST #A05-2. SUBMIT RESULTS TO LANDSCAPE ARCHITECT FOR REVIEW. TESTS TO INCLUDE FERTILITY AND SUITABILITY ANALYSIS WITH WRITTEN RECOMMENDATIONS FOR SOIL AMENDMENT, FERTILIZER CONCENTRATIONS, APPLICATION RATES, AND POST-CONSTRUCTION MAINTENANCE PROGRAM. TESTS TO BE CONTRACTED WITH AND PAID FOR BY THE CONTRACTOR.
- A) TOPSOIL:**
 CONTRACTOR IS RESPONSIBLE FOR SUPPLYING ALL TOPSOIL AND FOR DETERMINING THE VOLUME OF TOPSOIL REQUIRED PER THE INFORMATION ON PLANS AND NOTED HERE-IN. CONTRACTOR IS RESPONSIBLE FOR ANY NECESSARY WEED CONTROL RESULTING FROM CONTAMINATED OFF-SITE SOURCES.
- B) TOPSOIL TO CONSIST OF WINTER MIX AS PRODUCED AND REMOVED BY PACIFIC TOPSOILS, INC.** WINTER MIX TO CONSIST OF 1/3 BY VOLUME SANDY LOAM, 1/3 BY VOLUME COMPOSTED GARDEN MULCH, AND 1/3 BY VOLUME COARSE WASHED SAND OR EQUIVALENT. AT MINIMUM, TOPSOIL PRODUCTS BROUGHT ON SITE TO CONTAIN AMENDMENTS AS LISTED IN "C".
- C) TOPSOIL TO INCLUDE THE FOLLOWING AMENDMENTS AS NECESSARY:**
 THE FOLLOWING AMOUNT PER 1,000 SQUARE FEET:
 1. 6-CUBIC YARDS ORGANIC COMPOST, COMPOST TO BE FREE OR NON-FARM ANIMAL SOURCES, NOR TO BE FROM SOURCES CONTAINING REMNANT OF CECID PRODUCTS.
 2. 30-POUNDS NITROFORM (38-0-0)
 3. 2-POUNDS AMMONIUM SULFATE
 4. 40-POUNDS CALCIUM CARBONATE LIMESTONE
 5. 40-POUNDS DOLOMITE LIMESTONE
 6. 5-QUINES BORON (AS BORAX)
 ALL AMENDMENTS TO BE THOROUGHLY MIXED PRIOR TO INCORPORATION INTO TOPSOIL.
- D) PLANTING BACKFILL FOR ALL TREES, SHRUBS, AND GROUNDCOVERS:**
 1. 0.6-CUBIC YARDS PER VOLUME TOPSOIL
 2. 0.4-CUBIC YARDS ORGANIC COMPOST,
 3. 3-POUNDS NITROFORM (38-0-0)
 4. 1-POUNDS AMMONIUM SULFATE
 5. 2-POUNDS CALCIUM CARBONATE LIMESTONE
 6. 2-POUNDS DOLOMITE LIMESTONE
- E) TOPSOIL PREPARATION AND INSTALLATION:**
 1. VERIFY SUBGRADES TO -7 INCHES IN LANDSCAPE AREAS AND -18/24 INCHES IN PARKING LOT ISLANDS BELOW FINISH ELEVATION, OR AS INDICATED ON PLANS. THIS ACCOMMODATES TOPSOIL, AMENDMENTS, AND MULCH.
 2. ERADICATE ANY SURFACE VEGETATION ROOTED IN THE SUB-GRADE PRIOR TO SUB-GRADE PREPARATION.
 3. THOROUGHLY SCARIFY AND RIP ALL LANDSCAPE SUB-GRADES WHICH HAVE BECOME COMPACTED TO A DEPTH OF 12 INCHES WITH MULTIPLE PASSES, 90 DEGREES TO EACH OTHER. SCARIFY AREAS INACCESSIBLE TO MECHANIZED EQUIPMENT AND AROUND EXISTING PLANTINGS NOTED TO REMAIN WITH HAND TOOLS.
 4. REMOVE SOIL LUMPS, ROCK, VEGETATION AND/OR DEBRIS LARGER THAN 2 INCHES FROM ALL SUB-GRADE PRIOR TO PLACEMENT OF SPECIFIED TOPSOIL.
 5. REMOVE ANY ASPHALT EXTENDING BEYOND 6 INCHES FROM CURBS INTO ADJACENT LANDSCAPE AREAS.
 6. PARKING LOT PLANTER ISLANDS TO BE OVER EXCAVATED BY BACKHOE, REMOVE PAVING WASTE, GRAVEL BASE MATERIAL, AND UNDERLYING SUBSOIL TO 18 INCHES BELOW TOP OF PAVING. SCARIFY AND OVER EXCAVATE PLANT PIT BOTTOM 12 INCHES TO MINIMIZE STRUCTURAL COMPACTION.
- F) TOPSOIL PLACEMENT:**
 1. PROVIDE A TOTAL FINISH COURSE OF 4 INCHES OF TOPSOIL FOR LANDSCAPE AREAS AND 18/24 INCHES IN PARKING LOT ISLANDS.
 2. IN ALL LANDSCAPE AREAS, PLACE 2 INCHES (6 INCHES IN PARKING LOT ISLANDS) OF TOPSOIL MIX WITH AMENDMENTS OVER THE PREPARED SUB-GRADE AND THOROUGHLY ROTOTILL WITH MULTIPLE PASSES INTO THE TOP 6 INCHES OF SUB-GRADE FOR A TOTAL DEPTH OF 8 INCHES IN LANDSCAPE AREAS (12 INCHES IN PARKING LOT ISLANDS), PLACE AN ADDITIONAL 2 INCH LIFT OF TOPSOIL, IN ALL LANDSCAPE AREAS AND A MINIMUM 12 INCH LIFT IN ALL PARKING LOT ISLANDS, FOR THE FINAL TOPSOIL DEPTH OF 4 INCHES IN LANDSCAPE AREAS AND 18/24 INCHES IN PARKING LOT ISLANDS.
 3. PLACE ADDITIONAL TOPSOIL AND SOIL MIX AS REQUIRED TO MEET FINISH ELEVATIONS.



ASPHALT ROAD CROSSING WITH RUBBER SEAL SECTIONS
 NOT TO SCALE



ON-SITE FLUSH CONCRETE SIDEWALK
 NOT TO SCALE



**ON-SITE CONCRETE SIDEWALK W/6\"/>
 NOT TO SCALE**

- NOTES**
- SIDEWALKS WIDTH VARIES (WIDTH PER PLAN) CONTROL JOINTS TO BE PLACED AT SPACING EQUAL TO SIDEWALK WIDTH.
 - PROVIDE EXPANSION JOINTS AT 28' TO 30' O.C. MAXIMUM.
 - WHEN WALK IS ADJACENT TO THE BUILDING PROVIDE 3/8" X 4" IMPREGNATED FIBERBOARD.

Revision
 15-22
 15/03/18 JH LAS DMB REVISED PER CITY REVIEW
 Date of Issue
 Title
 Job Number
 159851
 Sheet
 C13 13

NOTES AND DETAILS

THE RESERVE AT WOODINVILLE
PANATTONI DEVELOPMENT

For
PANATTONI DEVELOPMENT COMPANY
 900 SW 16TH ST., SUITE 330
 RENTON, WA 98057
 (206) 248-0280

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 Horizontal AS NOTED
 Vertical N/A

Designed AS
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